

September 21, 2020

Kenneth Myers, RA
220 Hermosa Dr. NE
Address
Albuquerque NM 87108

Re: **601 Mountain NW- Phase change**
Traffic Circulation Layout
Architect's Stamp 09-02-2020 (J14-D195)

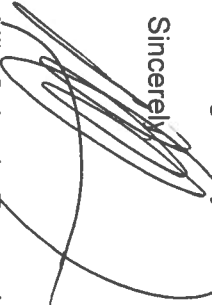
Dear Mr. Myers,

The TCL submittal received 09-17-2020 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,



Nilo Salgado-Fernandez, P.E.
~~Senior Engineer~~, Planning Dept.
Development Review Services

C: CO Clerk, File

601 MOUNTAIN ROAD NW
ALBUQUERQUE, NM 87102

ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.

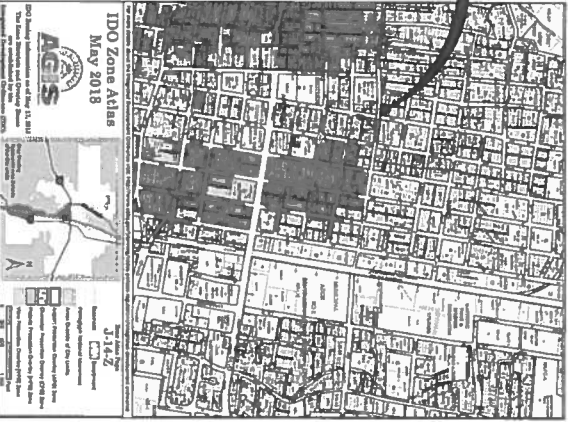


09/02/2020

+KMA
KENNETH MYERS, ARCHITECT
220 MEMORIAL DR. NE
ALBUQUERQUE, NM 87108
T. 505.364.9314
KMA@KENNETHMYERS.COM

09/02/2020
PERMIT SET
ARCHITECTURAL
SITE PLAN
TRAFFIC
CIRCULATION
PLAN
190112

AS100



SITE / ZONING INFORMATION

ADDRESS: 601 MOUNTAIN DR NW
ALBUQUERQUE, NM, 87102
LOT SIZE: 13.288 ACRES
LOT AREA: 13,288 SF
ZONING: R-1 (ATTACHED)
USE: RESIDENTIAL
CITY: SANTIAGO DISTRICT / WELLS PARK
SETBACKS:
FRONT: 10' ALONG MOUNTAIN - 0' MINIMUM FEET 15' - MAXIMUM
SIDE: 0' FEET - EXISTING TO REMAIN
REAR: 0' FEET - EXISTING TO REMAIN

PROJECT INFORMATION/ EXECUTIVE SUMMARY

TWO EXISTING BUILDINGS OCCUPY THE PROPERTY. THE FIRST LOCATED ON THE WEST OF THE PROPERTY, AN EXISTING COMMERCIAL BUILDING (B-1 OCCUPANCY), IS TO BE RENOVATED AS 5 RESIDENTIAL APARTMENT UNITS - (R2 OCCUPANCY). EXISTING BUILDING FOOTPRINT AND EXTERIOR WALLS AND ROOF SYSTEM TO REMAIN - ALL EXISTING SETBACKS TO REMAIN - NO ADDITIONAL SETBACKS REQUIRED. THE SECOND LOCATED TO THE EAST OF THE FIRST, A 1-1/2 STORY CONCRETE FRAME BUILDING, IS TO BE DEMOLISHED. THE EXISTING PARKING LOT IS TO BE REPAIRED AND IMPROVED TO INCLUDE NEW OPENINGS, NEW EXTERIOR CIRCULATION ADDED AND NEW ATTERMENTION.

PARKING REQUIREMENTS

PER 5-5807.01, PRE-1985 BUILDINGS THE CURRENT LOT IS NOT REQUIRED TO MEET MINIMUM OF STREET PARKING REQUIREMENTS.
- BUILDING ORIGINALLY CONSTRUCTED IN 1949
- EXISTING PARKING LOT FOR THE EXISTING PRIMARY BUILDINGS INCLUDED 7 PARKING SPACES - PROPOSED PROJECT PROVIDES 9 SPACES - PER UNIT 1 PUBLIC SPACES IN PARKING LOT
- 2 SEPARATE RESIDENTIAL PROJECTS - NO HC PARKING REQUIRED

LANDSCAPING REQUIREMENTS

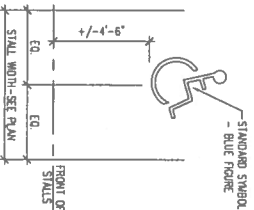
14-16-5-5-6 LANDSCAPING, BUFFERING AND SCREENING
15% OF NET LOT AREA=536X15=805 SF. REQUIRED. 843 SF PROVIDED SEE PLAN FOR AREA
ADDITIONAL STREET TREES

GENERAL NOTES- TCL

1. PARKING AREA TO SLOPE A MIN OF 1% AND A MAXIMUM OF 5% PER COA DPM
2. ALL NEW CURB AND GUTTER PER COA STANDARD DRAWINGS #2425
3. ALL NEW PUBLIC SIDEWALK PER COA STANDARD DRAWING #2430
4. NEW DRIVE PAD PER COA STANDARD DRAWING #2430
5. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH NEW SIDEWALK AND GUTTER PER COA STANDARD DRAWING #2430 AND #2434

KEYED NOTES

1. EXISTING PARKING LOT TO REMAIN - REDRESS AND REGRADE AS REQUIRED
2. NEW 6'-0" TALL PLANTED CHU WALL W/ BREZZE BLOCK ACCENTS
3. NEW 3'-0" TALL PLANTED CHU WALL W/ BREZZE BLOCK ACCENTS - HEIGHT MEETS MIN-SITE TRIANGLE REQUIREMENTS DPM CHAPTER 23 SECTION 3.9.5
4. NEW MOW CURB AT PLANTING AREA PER DETAIL A4/AS100
5. NEW PARKING SPACE PER DETAIL D2/AS100- TYPICAL
6. EXISTING PARKING SPACE AND STRIPED AREA PER DETAIL D3/AS100- PROVIDE SIGN PER DETAIL D4/AS100
7. EXISTING PARKING SPACE AND STRIPED AREA PER DETAIL D3/AS100- PROVIDE SIGN PER DETAIL D4/AS100
8. NEW RAMP PER DETAIL C3/AS100
9. NEW ON SITE SIDE WALK PER PER DETAIL B3/AS100
10. EXISTING STREET LIGHT TO REMAIN
11. EXISTING STREET LIGHT AND POSTS TO REMAIN
12. EXISTING ELECTRICAL SERVICE - UPGRADE AS REQUIRED
13. NEW HC RAMP PER COA STD DWG 2416 - PROVIDE APPROVED TRUNCATED DOWNS AS REQUIRED BY COA.
14. EXISTING ELECTRICAL SERVICE - UPGRADE AS REQUIRED
15. HATCH INDICATES EXISTING PUBLIC SIDEWALK EASEMENT GRANTED TO THE COA BY PLAT ASSOCIATED WITH DRG# 16, NEW HATCH BOX
16. NEW HATCH BOX
17. EXISTING LANDSCAPE BUFFER TO REMAIN
- 17.1 EXISTING STREET TREE - TO REMAIN
- 17.2 NEW STREET TREE - TO REMAIN BY STREET TREE ORDINANCE
18. EXISTING SITE WALL TO REMAIN
19. EXISTING ADDITION WALLS TO REMAIN - ONCE ROOF HAS BEEN REMOVED - WALLS TO BE SHORED/ REPAIRED/ REFINISHED AS REQUIRED
20. EXISTING ADDITION WALLS TO REMAIN - ONCE ROOF HAS BEEN REMOVED - WALLS TO BE SHORED/ REPAIRED/ REFINISHED AS REQUIRED
21. NEW DOWN SPOUTS PER ROOF PLAN GENERAL NOTES- HANDPIPE TO DAYLIGHT
22. NEW COURTYARD W/ CRUISER FINES GROUND COVER W/ DECORATIVE LOCKABLE SUBROUND
23. NEW COURTYARD STEEL W/ MECHANICAL ROOF ACCESS - W/ DECORATIVE LOCKABLE SUBROUND
24. EXISTING SIDEWALK TO REMAIN REPAIR/ REPAIR ALL AREAS THAT DO NOT CONFORM TO CURRENT COA DPM STANDARDS
25. HATCH INDICATES MIN CLEAR SIGHT TRIANGLE (11'-0"x11'-0") AS REQUIRED BY COA DPM CHAPTER 23 SECTION 3.9.5
27. PLANT GARDEN PLANTING STRUCTURE
28. NEW SHARED COURTYARD
29. NEW BICYCLE PARK PER DETAIL C4/AS100 - PROVIDE A MINIMUM 1'-0" CLEAR ZONE AROUND BICYCLE PARKING STALL
30. MOTOR CYCLE PARKING SPACE PER DETAIL D1/AS100 PROVIDE SIGN PER DETAIL D4/AS100
31. APPROXIMATE LOCATION OF BACK FLOW PREVENTER

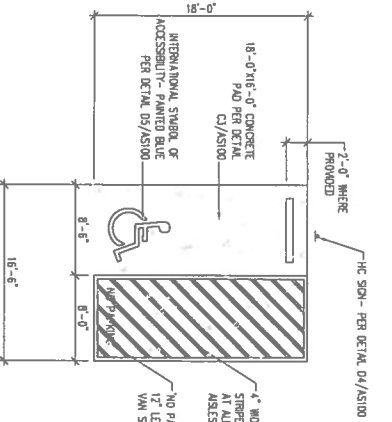


D5 INTERNATIONAL ACCESSIBILITY SYMBOL

1/4"=1'-0"

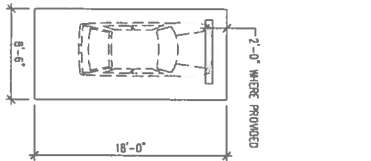
D4 POST SIGN DETAIL

1/4"=1'-0"



D3 HANDICAP PARKING STALL DETAIL

1/8"=1'-0"



D2 STANDARD PARKING STALL DETAIL

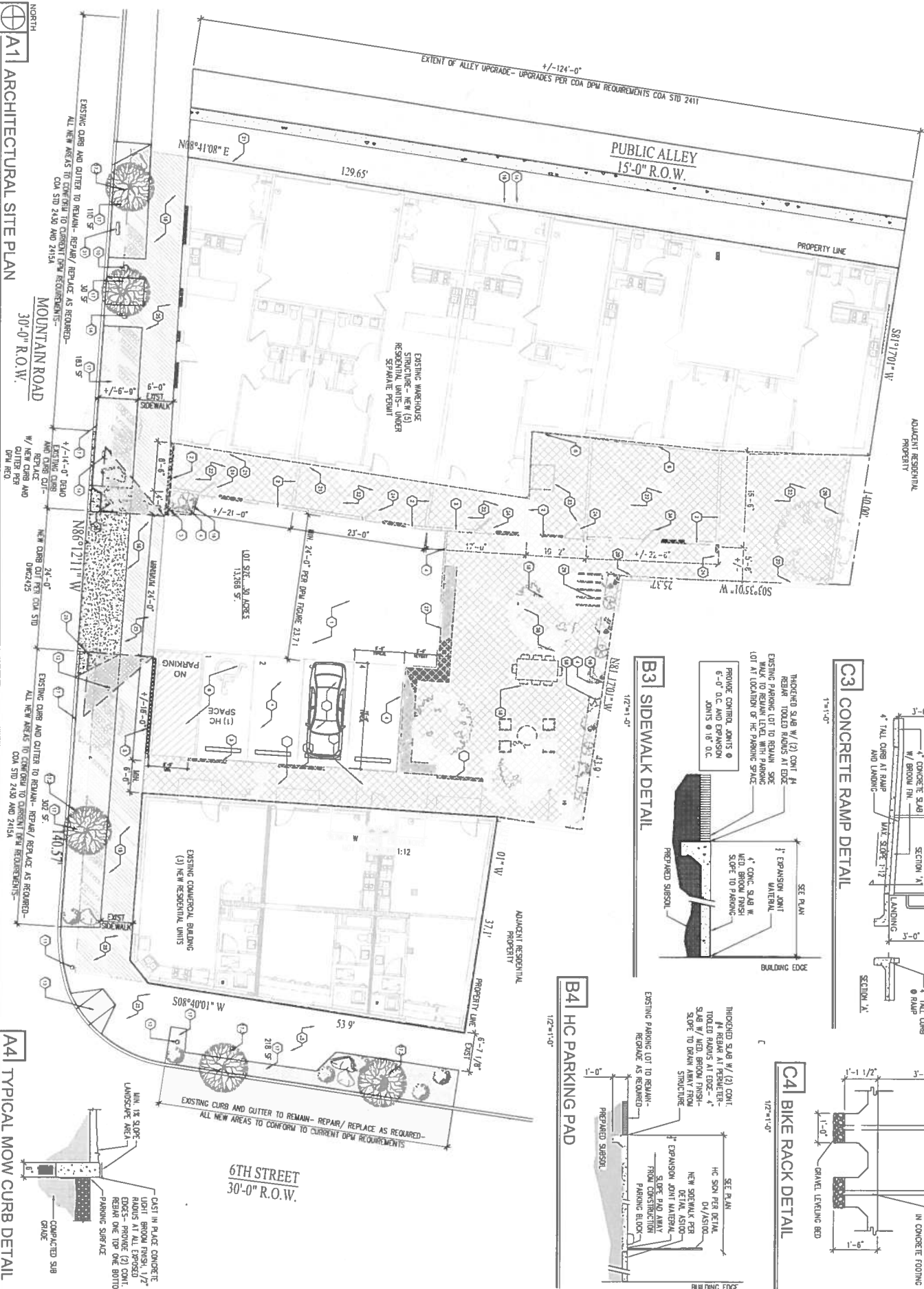
1/8"=1'-0"

TRAFFIC CIRCULATION LAYOUT APPROVED

Signed

Date

9/2/20



ARCHITECTURAL SITE PLAN

MOUNTAIN ROAD
30'-0" R.O.W.

TYPICAL MOW CURB DETAIL

1/2"=1'-0"