

# CITY OF ALBUQUERQUE

*Planning Department*  
Alan Varela, Acting Director



*Mayor Timothy M. Keller*

February 2, 2022

Kenneth Myers, RA  
Kenneth Myers Architect  
220 Hermosa Dr. NE  
Albuquerque, NM 87108

**Re: E+E ON Mountain/ 601 Mountain Rd. NW**  
**Request for Certificate of Occupancy**  
**Transportation Development Final Inspection**  
Architect's Stamp dated 06-23-2020 (J14-D195)  
Certification dated 1-26-22

Dear Mr. Salvador,

Based upon the information provided in your submittal received 1-26-2022, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Jeanne Wolfenbarger at (505) 924-3991.

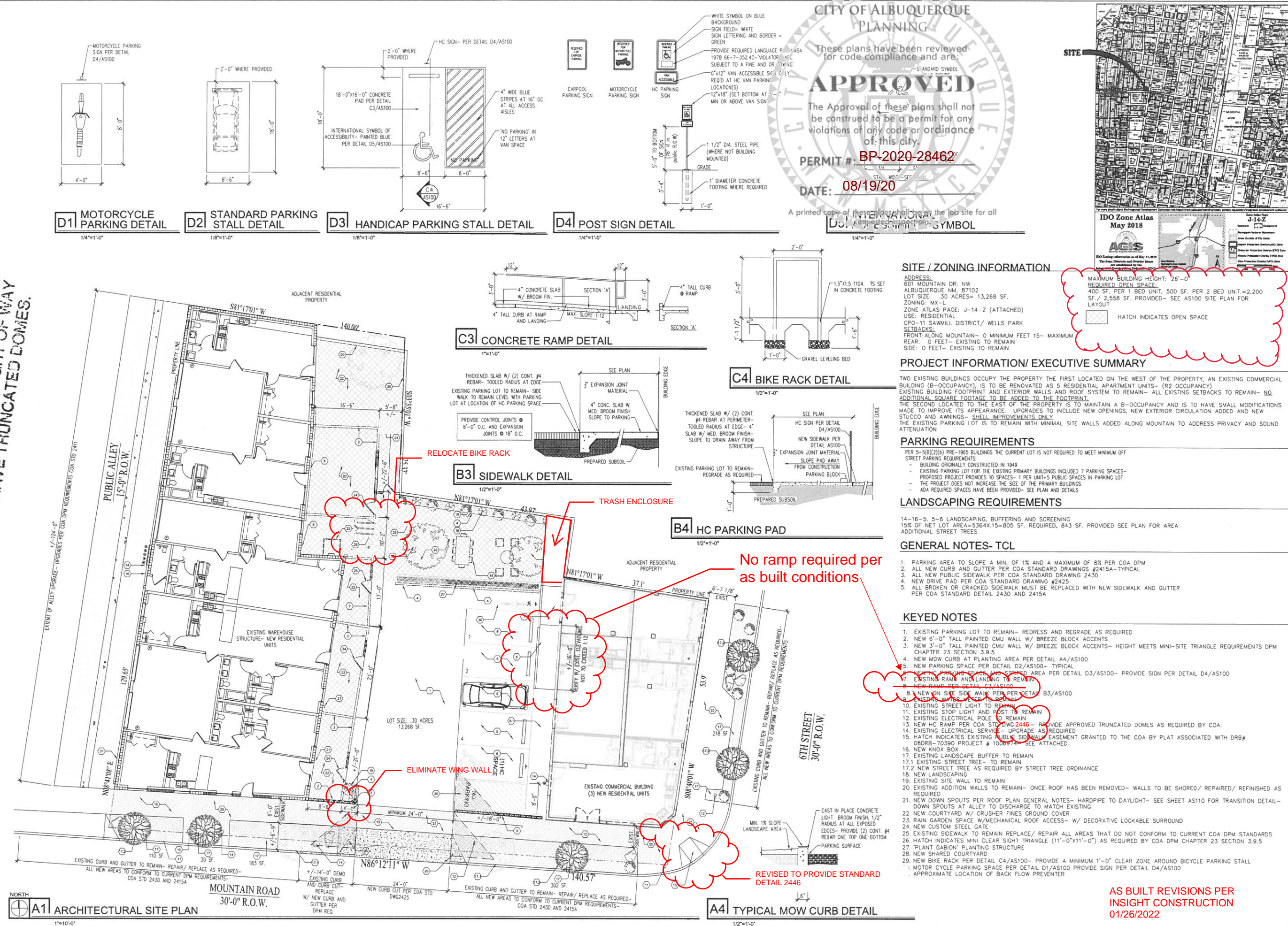
Sincerely,

Jeanne Wolfenbarger, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

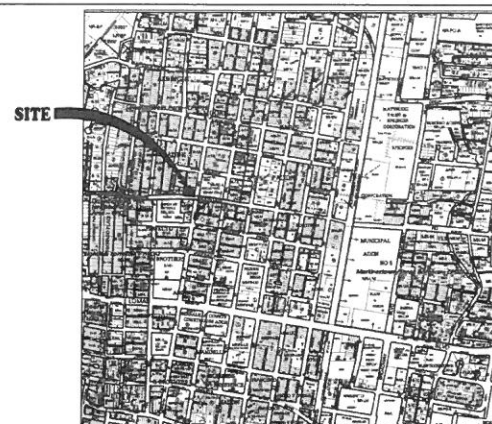
\xxx via: email  
C: CO Clerk, File



ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.



CITY OF ALBUQUERQUE  
PLANNING  
These plans have been reviewed  
for code compliance and are:  
**APPROVED**  
The Approval of these plans shall not  
be construed to be a permit for any  
violations of any code or ordinance  
of this city.  
PERMIT # **BP-2020-28462**  
DATE: **08/19/20**



601 MOUNTAIN ROAD NW  
ALBUQUERQUE, NM 87102

**SITE / ZONING INFORMATION**  
ADDRESS: 601 MOUNTAIN DR. NW, ALBUQUERQUE NM, 87102  
LOT SIZE: .30 ACRES= 13,268 SF.  
ZONING: MX-L  
ZONE ATLAS PAGE: J-14-Z (ATTACHED)  
USE: RESIDENTIAL  
CPO-11 SAWMILL DISTRICT/ WELLS PARK  
SETBACKS:  
FRONT: ALONG MOUNTAIN- 0 MINIMUM FEET 15- MAXIMUM  
REAR: 0 FEET- EXISTING TO REMAIN  
SIDE: 0 FEET- EXISTING TO REMAIN  
MAXIMUM BUILDING HEIGHT: 26'-0"  
REQUIRED OPEN SPACE:  
400 SF. PER 1 BED UNIT, 500 SF. PER 2 BED UNIT=2,200  
SF./ 2,558 SF. PROVIDED- SEE AS100 SITE PLAN FOR  
LAYOUT  
HATCH INDICATES OPEN SPACE

**PROJECT INFORMATION/ EXECUTIVE SUMMARY**  
TWO EXISTING BUILDINGS OCCUPY THE PROPERTY THE FIRST LOCATED ON THE WEST OF THE PROPERTY, AN EXISTING COMMERCIAL BUILDING (B-OCCUPANCY), IS TO BE RENOVATED AS 5 RESIDENTIAL APARTMENT UNITS- (R2 OCCUPANCY) EXISTING BUILDING FOOTPRINT AND EXTERIOR WALLS AND ROOF SYSTEM TO REMAIN- ALL EXISTING SETBACKS TO REMAIN- NO ADDITIONAL SQUARE FOOTAGE TO BE ADDED TO THE FOOTPRINT.  
THE SECOND LOCATED TO THE EAST OF THE PROPERTY IS TO MAINTAIN A B-OCCUPANCY AND IS TO HAVE SMALL MODIFICATIONS MADE TO IMPROVE ITS APPEARANCE. UPGRADES TO INCLUDE NEW OPENINGS, NEW EXTERIOR CIRCULATION ADDED AND NEW STUCCO AND AWNINGS- SHELL IMPROVEMENTS ONLY.  
THE EXISTING PARKING LOT IS TO REMAIN WITH MINIMAL SITE WALLS ADDED ALONG MOUNTAIN TO ADDRESS PRIVACY AND SOUND ATTENUATION

**PARKING REQUIREMENTS**  
PER 5-5(B)(2)(b) PRE-1965 BUILDINGS THE CURRENT LOT IS NOT REQUIRED TO MEET MINIMUM OFF STREET PARKING REQUIREMENTS.  
- BUILDING ORIGINALLY CONSTRUCTED IN 1949  
- EXISTING PARKING LOT FOR THE EXISTING PRIMARY BUILDINGS INCLUDED 7 PARKING SPACES- PROPOSED PROJECT PROVIDES 10 SPACES- 1 PER UNIT+5 PUBLIC SPACES IN PARKING LOT  
- THE PROJECT DOES NOT INCREASE THE SIZE OF THE PRIMARY BUILDINGS  
- ADA REQUIRED SPACES HAVE BEEN PROVIDED- SEE PLAN AND DETAILS

**LANDSCAPING REQUIREMENTS**  
14-16-5, 5-6 LANDSCAPING, BUFFERING AND SCREENING  
15% OF NET LOT AREA=5,364X.15=805 SF. REQUIRED, 843 SF. PROVIDED SEE PLAN FOR AREA ADDITIONAL STREET TREES

**GENERAL NOTES- TCL**  
1. PARKING AREA TO SLOPE A MIN. OF 1% AND A MAXIMUM OF 8% PER COA DPM  
2. ALL NEW CURB AND GUTTER PER COA STANDARD DRAWINGS #2415A-TYPICAL  
3. ALL NEW PUBLIC SIDEWALK PER COA STANDARD DRAWING 2430  
4. NEW DRIVE PAD PER COA STANDARD DRAWING #2425  
5. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH NEW SIDEWALK AND GUTTER PER COA STANDARD DETAIL 2430 AND 2415A

**KEYED NOTES**  
1. EXISTING PARKING LOT TO REMAIN- REDRESS AND REGRADE AS REQUIRED  
2. NEW 6'-0" TALL PAINTED CMU WALL W/ BREEZE BLOCK ACCENTS  
3. NEW 3'-0" TALL PAINTED CMU WALL W/ BREEZE BLOCK ACCENTS- HEIGHT MEETS MINI-SITE TRIANGLE REQUIREMENTS DPM CHAPTER 23 SECTION 3.9.5  
4. NEW MOW CURB AT PLANTING AREA PER DETAIL A4/AS100  
5. NEW PARKING SPACE PER DETAIL D2/AS100- TYPICAL  
6. NEW PARKING SPACE AND STAIR AREA PER DETAIL D3/AS100- PROVIDE SIGN PER DETAIL D4/AS100  
7. EXISTING RAMPS AND LANDING TO REMAIN  
8. NEW RAMPS PER DETAIL C3/AS100  
9. NEW ON SITE SIDE WALK PER DETAIL B3/AS100  
10. EXISTING STREET LIGHT TO REMAIN  
11. EXISTING STOP LIGHT AND POST TO REMAIN  
12. EXISTING ELECTRICAL POLE TO REMAIN  
13. NEW HC RAMP PER COA STD DWG 2446- PROVIDE APPROVED TRUNCATED DOMES AS REQUIRED BY COA.  
14. EXISTING ELECTRICAL SERVICE- UPGRADE AS REQUIRED  
15. HATCH INDICATES EXISTING PUBLIC SIDEWALK EASEMENT GRANTED TO THE COA BY PLAT ASSOCIATED WITH DRB# 080RB-70390 PROJECT # 1006974- SEE ATTACHED.  
16. NEW KNOX BOX  
17. EXISTING LANDSCAPE BUFFER TO REMAIN  
17.1 EXISTING STREET TREE- TO REMAIN  
17.2 NEW STREET TREE AS REQUIRED BY STREET TREE ORDINANCE  
18. NEW LANDSCAPING  
19. EXISTING SITE WALL TO REMAIN  
20. EXISTING ADDITION WALLS TO REMAIN- ONCE ROOF HAS BEEN REMOVED- WALLS TO BE SHORED/ REPAIRED/ FINISHED AS REQUIRED  
21. NEW DOWN SPOUTS PER ROOF PLAN GENERAL NOTES- HARDPIPE TO DAYLIGHT- SEE SHEET AS110 FOR TRANSITION DETAIL- DOWN SPOUTS AT ALLEY TO DISCHARGE TO MATCH EXISTING  
22. NEW COURTYARD W/ CRUSHER FINES GROUND COVER  
23. RAIN GARDEN SPACE W/ MECHANICAL ROOF ACCESS- W/ DECORATIVE LOCKABLE SURROUND  
24. NEW CUSTOM STEEL GATE  
25. EXISTING SIDEWALK TO REMAIN REPLACE/ REPAIR ALL AREAS THAT DO NOT CONFORM TO CURRENT COA DPM STANDARDS  
26. HATCH INDICATES MINI CLEAR SIGHT TRIANGLE (11'-0"x11'-0") AS REQUIRED BY COA DPM CHAPTER 23 SECTION 3.9.5  
27. PLANT GABION PLANTING STRUCTURE  
28. NEW SHARED COURTYARD  
29. NEW BIKE RACK PER DETAIL C4/AS100- PROVIDE A MINIMUM 1'-0" CLEAR ZONE AROUND BICYCLE PARKING STALL  
30. MOTOR CYCLE PARKING SPACE PER DETAIL D1/AS100 PROVIDE SIGN PER DETAIL D4/AS100  
31. APPROXIMATE LOCATION OF BACK FLOW PREVENTER

TRAFFIC CIRCULATION LAYOUT  
APPROVED  
06/23/20  
Date  
Signed

06-23-2020- TCL COMMENT REVISIONS  
Architect Stamp:  
STATE OF NEW MEXICO  
KENNETH MYERS  
No. 006751  
REGISTERED ARCHITECT  
06/23/2020  
+KMA  
KENNETH MYERS, ARCHITECT  
220 Hermosa Dr. NE  
Albuquerque, NM 87108  
T: 518-364-9914  
KENNY@KENNETHMYERS.COM  
Project: 6TH AND MOUNTAIN  
Drawn By: KMA Checked By: KMA  
Permit Set  
Date: 06/17/2020  
Drawing Title: ARCHITECTURAL SITE PLAN TRAFFIC CIRCULATION PLAN  
Project Number: 19012  
Sheet Number: AS100

AS BUILT REVISIONS PER  
INSIGHT CONSTRUCTION  
01/26/2022