

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

May 13, 2022

Evan Berger
Archis Architect
4700 Lincoln Ave.
Albuquerque, NM 87109

**Re: Shalom Growers
1018 4th St. NW
Traffic Circulation Layout
Architect's Stamp 3-30-22 (J14-D199)**

Dear Mr. Berger,

The TCL submittal received 05-12-2022 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Jeanne Wolfenbarger, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\xxx via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

Project Title: Shalom Growers **Building Permit #** BP-2022-14490 **Hydrology File #** _____

DRB# _____ **EPC#** _____

Legal Description: LOTS 7 THRU 12 & PORTION OF LOT 6 **City Address OR Parcel** 1018 4th St. 87102
BLOCK A DURAN & ALEXANDER ADDITION & UNPLATTED AREA ADJACENT **CONT** .5478 AC

Applicant/Agent: Archis Architects **Contact:** Evan Berger

Address: 4700 Lincoln Rd 87109 **Phone:** 505-401-4328

Email: evan@archisdesign.net

Applicant/Owner: Shalom Growers **Contact:** Carl Ross

Address: 9637 Mendoza Ave 87109 **Phone:** 505-315-6114

Email: Carl@shalomgrowers.com

TYPE OF DEVELOPMENT: ☐ PLAT (#of lots) ☐ RESIDENCE ☐ DRB SITE ☐ ADMIN SITE: ☒

RE-SUBMITTAL: ☐ YES ☐ NO

DEPARTMENT: ☒ TRANSPORTATION ☐ HYDROLOGY/DRAINAGE

Check all that apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G&D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOOD PLAN DEVELOPMENT PERMIT APP.
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ADMINISTRATIVE
- ☐ TRAFFIC CIRCULATION LAYOUT FOR DRB APPROVAL
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

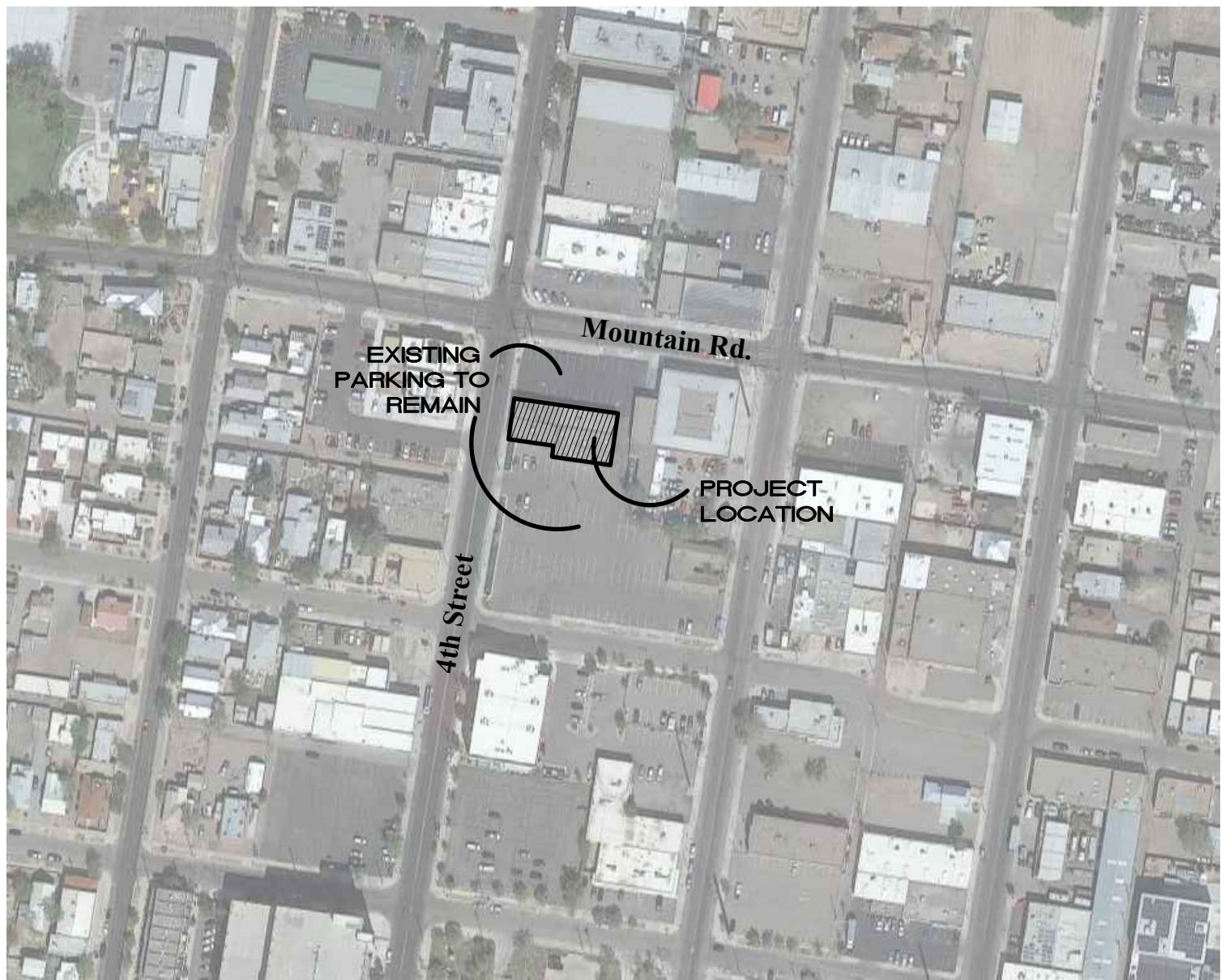
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ CONCEPTUAL TCL DRB APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOOD PLAN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 04-20-2022

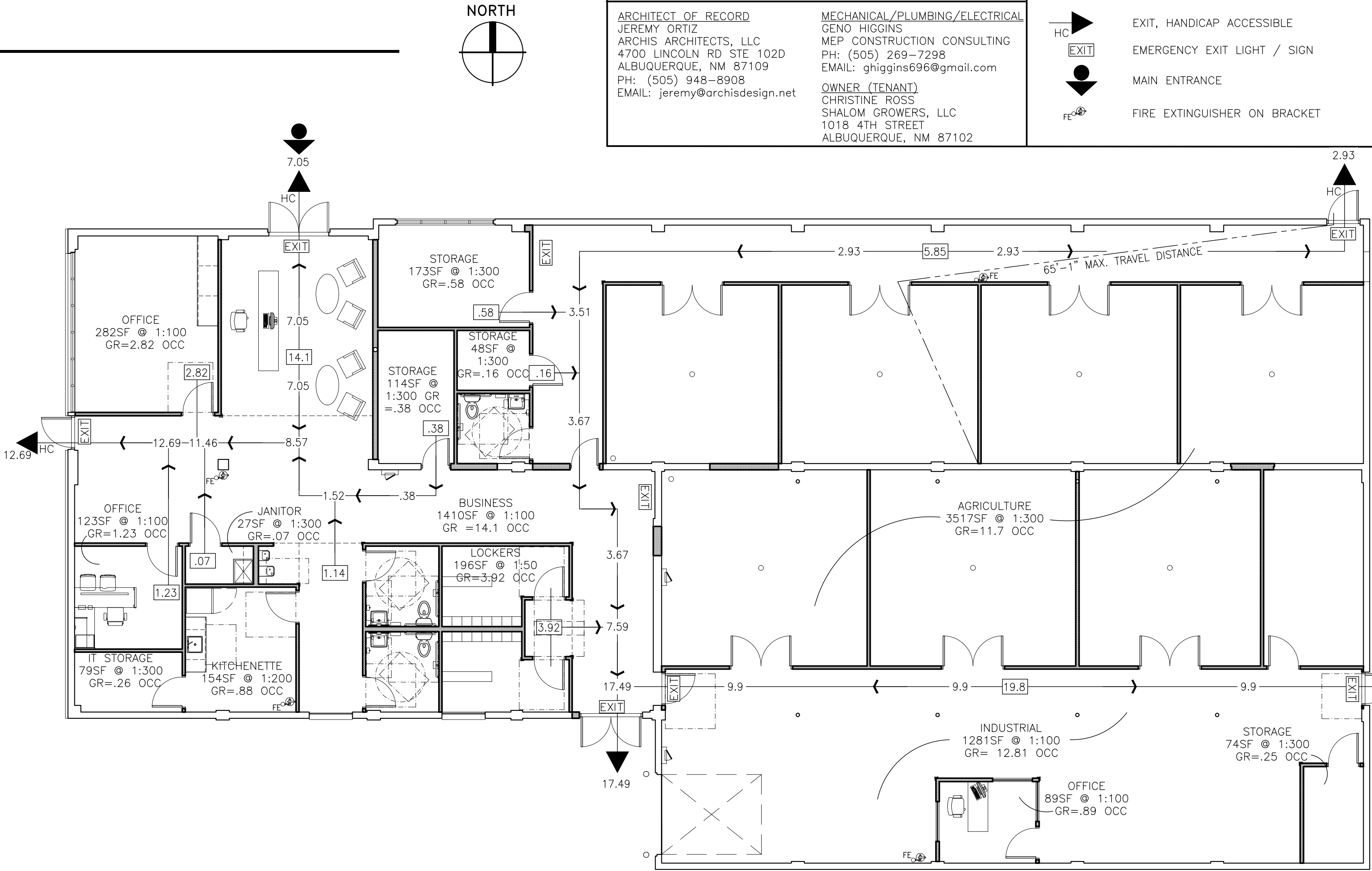
TENANT IMPROVEMENTS
SHALOM GROWERS
Interior Renovations
Level 3 Alterations



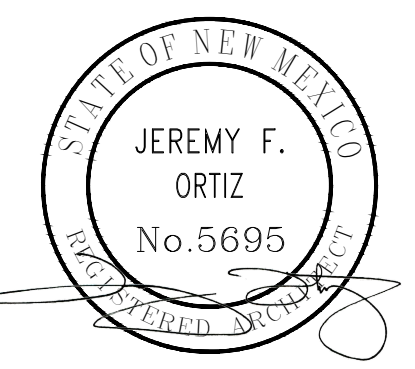
D1 VICINITY MAP
SCALE: NTS



B1 LOCATION MAP
SCALE: NTS



A3 EGRESS PLAN
SCALE: 1/8" = 1'-0"



03-30-2022



4700 LINCOLN RD NE,
SUITE 102 D
ALBUQUERQUE
NEW MEXICO 87109
(505) 998-7717
www.archisarchitects.com

SHALOM GROW FACILITY
RENOVATION
1018 4TH ST NW
ALBUQUERQUE, NEW MEXICO 87102

Project No. 21-034
Drawn by: EB
Checked by: JFO

Issue Date:
March 30, 2022

#	Date:	Revisions:	Permit Changes
1	04-22-2022	PERMIT CHANGES	1

Sheet Title:

Cover/Code

Sheet No.
G-001

CODE INFORMATION

- A. PROJECT LOCATION:
1018 4TH ST. ALBUQUERQUE NEW MEXICO 87102
- B. SCOPE OF WORK:
INTERIOR RENOVATION OF EXISTING BOXING GYMNASIUM (A-3) TO CHANGE OF OCCUPANCY INTO A CANNIBALS CULTIVATION CENTER (F-1). RENOVATION TO INCLUDE MECHANICAL, ELECTRICAL, AND PLUMBING AS REQUIRED FOR NEW OCCUPANCY.
- C. APPLICABLE CODES:
ALL CONSTRUCTION SHALL CONFORM TO THE LATEST EDITION OF APPLICABLE LOCAL, STATE AND NATIONAL CODES AND ORDINANCES. ALL CONSTRUCTION SHALL CONFORM TO THE FOLLOWING NATIONAL CODES AT A MINIMUM:
2015 IBC / 2015 NM COMMERCIAL BUILDING CODE
2015 UMC / 2015 NM MECHANICAL CODE
2015 UPC / 2015 NM PLUMBING CODE
2018 IECC / 2009 NM ENERGY CONSERVATION CODE
2015 IFC - INTERNATIONAL FIRE CODE
2017 NEC / 2017 NM ELECTRIC CODE
ANSI A117.1-2009 - ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES
- D. SEISMIC CATEGORY: D
- E. OCCUPANCY GROUP: MIXED USE (F1+B) - CHANGE OF USE FROM "A-3" (SECTION 306.2 IBC)
- F. CONSTRUCTION TYPE: II-B EXISTING (TABLE 601, SECTION 603 IBC)
- G. FIRE BARRIERS: (SECTION 601, TABLE 601, IBC)
PRIMARY STRUCTURAL FRAME 0 HRS
BEARING WALLS EXTERIOR 0 HRS (EXISTING)
BEARING WALLS INTERIOR 0 HRS
NONBEARING WALLS AND PARTITIONS 0 HRS
FLOOR CONST. AND SECONDARY MEMBERS 0 HRS
ROOF CONST. AND SECONDARY MEMBERS 0 HRS
- H. ALLOWABLE AREA AND HEIGHT: (SECTION 504, 506 & TABLE 504.3, 504.4, 506.2 IBC)
CONSTRUCTION TYPE II-B (NON-SPRINKLED)
OCCUPANCY GROUP "F-1"
ALLOWABLE HEIGHT - 2 STORY AND 55 FEET
ALLOWABLE AREA - 15,500 SF
OCCUPANCY GROUP "B"
ALLOWABLE HEIGHT - 3 STORY AND 55 FEET
ALLOWABLE AREA - 23,000 SF
ACTUAL HEIGHT - 1 STORY
AREA OF WORK THIS PROJECT - 7,567 SF TOTAL
- I. OCCUPANCY LOAD: (SECTION 1004, TABLE 1004.1.2, IBC)
AGRICULTURE (1:300) @ 3517 SF = 11.7 OCC
INDUSTRIAL (1:100) @ 1281 SF = 12.81 OCC
BUSINESS/OFFICE (1:100) @ 1904 SF = 19.04 OCC
LOCKERS (1:50) @ 196 SF = 3.92 OCC
KITCHENETTE (1:200) @ 154 SF = 0.88 OCC
STORAGE (1:300) @ 515 SF = 1.71 OCC
TOTAL BUILDING OCCUPANTS @ 7,567 SF = 50.06 OCC
TOTAL BUILDING OCCUPANTS (ROUNDED UP) = 51 OCC
- J. SPRINKLER REQUIREMENTS: (SECTION 903.2.3, IFC, TABLE 506.2 IBC)
NONE REQUIRED
NONE EXISTING
- K. EGRESS WIDTH REQUIREMENTS: (SECTION 1005, IBC):
51 (OCCUPANT LOAD) x 0.2' = 10"
- L. NUMBER OF EXITS REQUIRED AND ACCESSIBLE MEANS OF EGRESS: (SECTION 1009, TABLE 1006.2.1, 1006.3.1, & 1006.3.2(2), IBC):
2 EXITS REQUIRED: MORE THAN 49 OCCUPANTS AND 75 TRAVEL DISTANCE
EXITS PROVIDED: 2
ACCESSIBLE MEANS OF EGRESS REQUIRED: 2
ACCESSIBLE MEANS OF EGRESS PROVIDED: 3
- M. REQUIRED DOOR WIDTHS: (SECTION 1010.1.1, IBC):
DOOR MINIMUM WIDTH: 36" ~ 32 INCHES CLEAR WIDTH
PROVIDED WIDTH: 36 INCHES PER LEAF AT EXTERIOR DOORS (EXISTING)
- N. EXIT ACCESS TRAVEL DISTANCE: - (SECTION 1017 & TABLE 1017.2 IBC)
ALLOWABLE TRAVEL DISTANCE: 200 FEET (NON-SPRINKLED)
ACTUAL MAXIMUM TRAVEL DISTANCE: 65'-1"
- O. INTERIOR WALL AND CEILING FINISHES: (SECTION 803, TABLE 803.1.1, IBC)
GROUP M (NON-SPRINKLED)
-EXITS ENCLOSURES & EXIT PASSAGeways: =CLASS A
-CORRIDORS: =CLASS B
-ROOMS & ENCLOSED SPACES: =CLASS C
- P. DECORATIVE MATERIALS AND TRIM (SECTION 806.3)
DECORATIVE MATERIALS SUSPENDED FROM WALLS OR CEILINGS SHALL NOTE EXCEED 10% OF WALL OR CEILING AREA
- Q. PLUMBING CALCULATIONS (SECTION 2901, TABLE 2902.1 IBC):
51 (OCCUPANT LOAD)
GROUP F-1
WATER CLOSETS: 1 PER 100 OCC
REQUIRED: 1
PROVIDED: 3
LAVATORY: 1 PER 100 OCC
REQUIRED: 1
PROVIDED: 3
DRINKING FOUNTAIN: 1 PER 400 OCC
REQUIRED (HI-LOW): 1
PROVIDED (HI-LOW): 1
SERVICE SINK: 1
PROVIDED: 1
- R. PARKING: (ALBUQUERQUE IDO)
EXISTING PAVING TO REMAIN
RESTRIPE PARKING REQUIRED FOR NEW WORK
RE: AS101 FOR ALL SITE INFORMATION AND PARKING CALCULATIONS
- S. REFUSE: (ALBUQUERQUE IDO)
REFER TO SHEET AS101 FOR NEW REFUSE INFORMATION