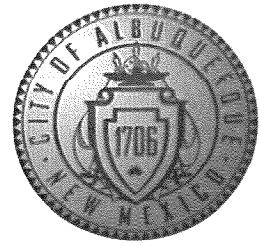


CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

September 2, 2022

Clint Wilsey, RA
Clint Wilsey 66 Architect, LLC.
901 Adams St. NE
Albuquerque, NM 87110

Re: Broadway Cultivation Facility
1340 Broadway Blvd. NE
Traffic Circulation Layout
Architect's Stamp 06-15-22 (J14-D202)

Dear Mr. Wilsey,

Based upon the information provided in your submittal received 08-19-22, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please see attached Minimum Distance from Commercial Site Access Points to the Intersection. Also, note that Broadway Blvd. is classified as Principal Arterial, and Kinley Ave. classified as Local St.
2. Curb Return Access design need to provided.
3. Maximum access width for arterial, collector, and local streets are as follows:

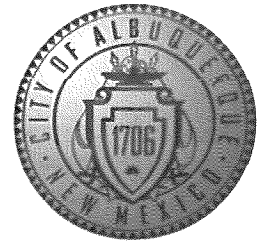
	Arterial& Collector	Local Streets
One-way Drive	20'-25'	12'-20'
Two-Lane Drive	22'-30'	22'-24'
Three-Lane Drive	24'-35'	22'-30'
Larger Vehicles	≤50'	≤30'

4. Please list the width and length for all existing and proposed parking spaces. Some dimensions are not shown.
5. The minimum parking stall dimensions are:

Type of parking	Min. Width	Min. Length	Min. Overhang
Standard	8.5'	18'	2'
Compact	7.5'	15'	1.5'
Motorcycle	4'	8'	N/A
ADA	8.5'	18'	2'

CITY OF ALBUQUERQUE

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6. ADA Ramp at the corner of Broadway Blvd. and Kinley Ave. need to be updated to current COA standard.
7. ADA curb ramps must be updated to current standards and have truncated domes installed.
8. Motorcycle parking spaces shall be designated by its own conspicuously posted upright sign, either free-standing or wall mounted per the zoning code. Please provide signs details.
9. The pavement marking "MC" should be shown in the opposite direction for motorcycles entering the parking space.
10. All bicycle racks shall be designed according to the following guidelines:
 - a. The rack shall be a minimum 30 inches tall and 18 inches wide.
 - b. The bicycle frame shall be supported horizontally at two or more places. Comb/toaster racks are not allowed.
 - c. The rack shall be designed to support the bicycle in an upright position. See the IDO for additional information.
 - d. The rack allows varying bicycle frame sizes and styles to be attached.
 - e. The user is not required to lift the bicycle onto the bicycle rack.
 - f. Each bicycle parking space is accessible without moving another bicycle.
11. Bicycle racks shall be sturdy and anchored to a concrete pad.
12. A 1-foot clear zone around the bicycle parking stall shall be provided.
13. Bicycle parking spaces shall be at least 6 feet long and 2 feet wide.
14. Per the IDO, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.
15. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the ADA parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.
16. ADA accessible pedestrian pathway should not be placed behind parking space or adjacent to a vehicular way. Vehicle and pedestrian/wheel chair conflicts should be avoided as much as possible.
17. Parking areas shall have barriers to prevent vehicles from extending over public sidewalk, public right-of-way, or abutting lots. Provide details for the barriers curb.
18. Refuse vehicle maneuvering shall be contained on-site. The refuse vehicle shall not back into the public right of way. provide a copy of refuse approval.
19. Please provide a sight distance exhibit
20. Show the clear Intersection sight distance and add the following note to the plan:
"Landscaping and signage will not interfere with clear sight requirements. Therefore,

PO Box 1293

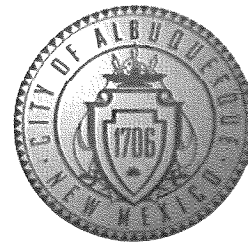
Albuquerque

NM 87103

www.cabq.gov

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle. See attached

21. Please specify the City Standard Drawing Number when applicable.
22. Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
23. Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing.
24. Please provide a letter of response for all comments given.
25. Traffic Studies: See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination (**Contact Matt Grush: mgrush@cabq.gov**).

PO Box 1293

Once corrections are complete resubmit

Albuquerque

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
4. The \$75 re-submittal fee.

NM 87103

For log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3675.

www.cabq.gov

Sincerely,

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

\ma via: email
C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Broadway Cultivation Facility **Building Permit #:** BP-2022-2999 **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: TRACT 1E PLAT OF TRACT NO 1 SPRINGER CORPORATION
City Address: 1340 Broadway Blvd. NE, Albuquerque, NM 87108

Applicant: Clint Wilsey 66Architect, LLC **Contact:** Clint Wilsey
Address: 901 Adams St. NE, Albuquerque, NM 87110
Phone#: 505-280-0043 **Fax#:** _____ **E-mail:** clint@66architect.com

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: 1 PLAT (# of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE _____

IS THIS A RESUBMITTAL? _____ Yes x No

DEPARTMENT x TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 8/18/22 **By:** 

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

SITE PLAN KEY NOTES

1. NEW TRASH ENCLOSURE PER CITY OF ABQ SOLID WASTE SPEC. SEE DETAIL D3/AS-101
2. NEW ELECTRICAL TRANSFORMER
3. NEW PARKING STRIPING
4. NEW HANDICAP PARKING SPACE. SEE DETAIL C3/AS-101.
5. NEW MOTORCYCLE PARKING SPACES (2) @ 4'x8'
6. NEW BICYCLE RACK
7. INFILL EXISTING DEPRESSED LOADING AREAS TO MATCH EXISTING GRADES.
8. PATCH/REPAIR RECOAT ASPHALT AS NEEDED.
9. EXISTING SIDEWALK
10. EXISTING CURB CUT DRIVEWAY
11. PROPERTY LINE
12. H.C. ACCESSIBLE RAMP. SEE DETAIL B3/AS-101
13. EXISTING LOADING ZONE

PROJECT DESCRIPTION

ALTERATION/REMODEL OF EXISTING 37,838sf. WAREHOUSE TO BECOME NEW CANNABIS CULTIVATION FACILITY. WORK INCLUDES IMPROVEMENTS TO GROUND FLOOR ONLY (MEZZANINE TO REMAIN). INTERIOR WORK INCLUDES NEW SELF CONTAINED CULTIVATION ROOMS, STORAGE, RESTROOMS AND BREAK ROOM. MINOR ALTERATIONS TO SITE, INCLUDING NEW PARKING STRIPING, HC RAMP AND DUMPSTER ENCLOSURE. NEW/REVISED MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS. UPDATED FIRE SPRINKLER SYSTEM (UNDER SEPERATE PERMIT.)

DESIGN DATA:
CONSTRUCTION TYPE: III-A, SPRINKLED
ALTERATION LEVEL: 3, CHANGE OF USE
BUILDING GROSS FLOOR AREA: 45,400 sf.
GROSS FLOOR AREA OF PROJECT: 37,838 sf.
SHELL SPACE 1 (FUTURE): 4,147sf.
SHELL SPACE 2 (FUTURE): 3,415sf.

LEGAL DESCRIPTION:
LOTS 1E, SPRINGER CORP. TRACT 1 ADDN.
ZONE: NR-LM
UPC# 101405846132310838
ZONE ATLAS: J14
LOT AREA: 1.94ac.

PARKING DATA

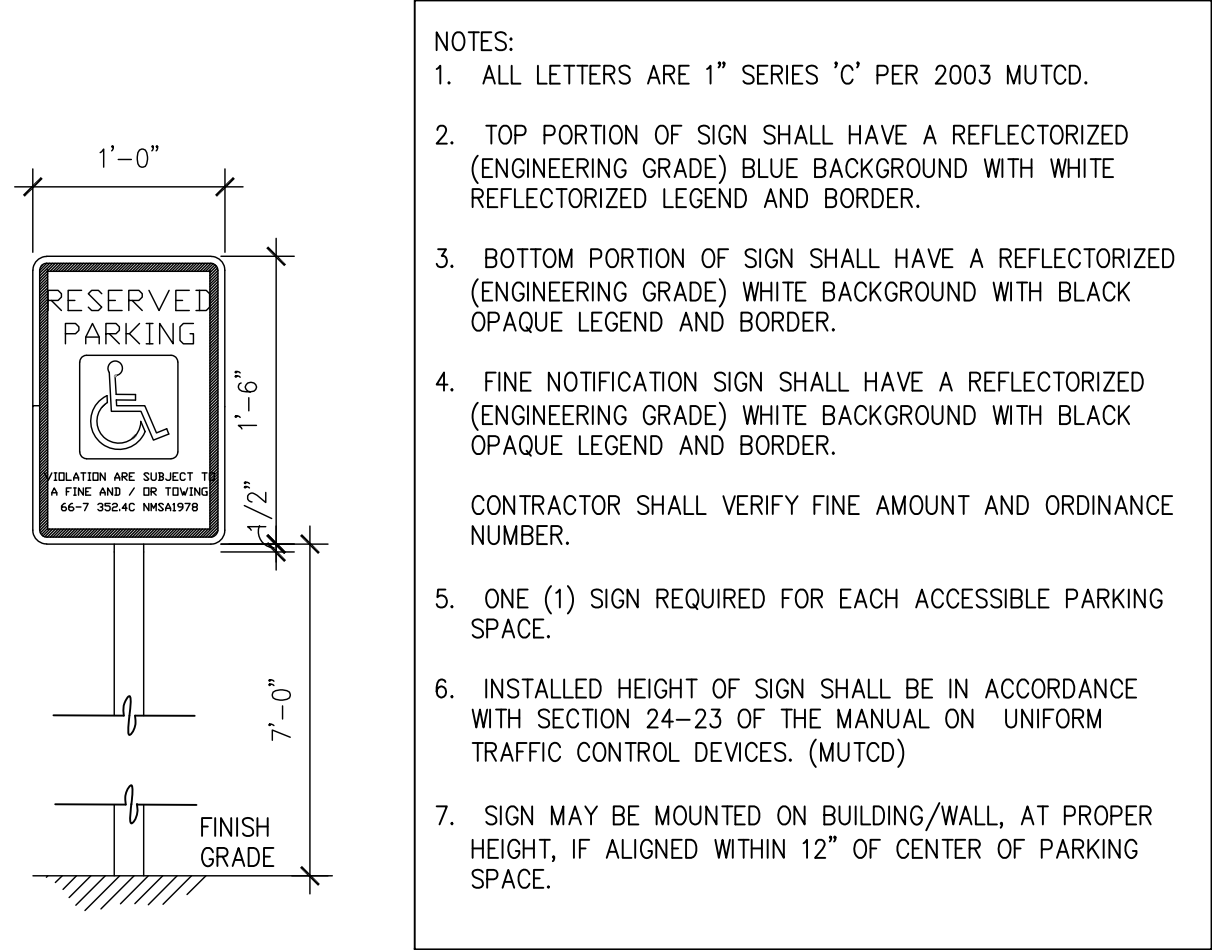
*NOTE: PER CITY OF ABQ IDO, SECTION 5-5(B)(2)(b):
'Primary buildings constructed prior to 1965 do not have to meet minimum off-street parking requirements...

PARKING REQUIREMENTS BELOW FOR REFERENCE ONLY

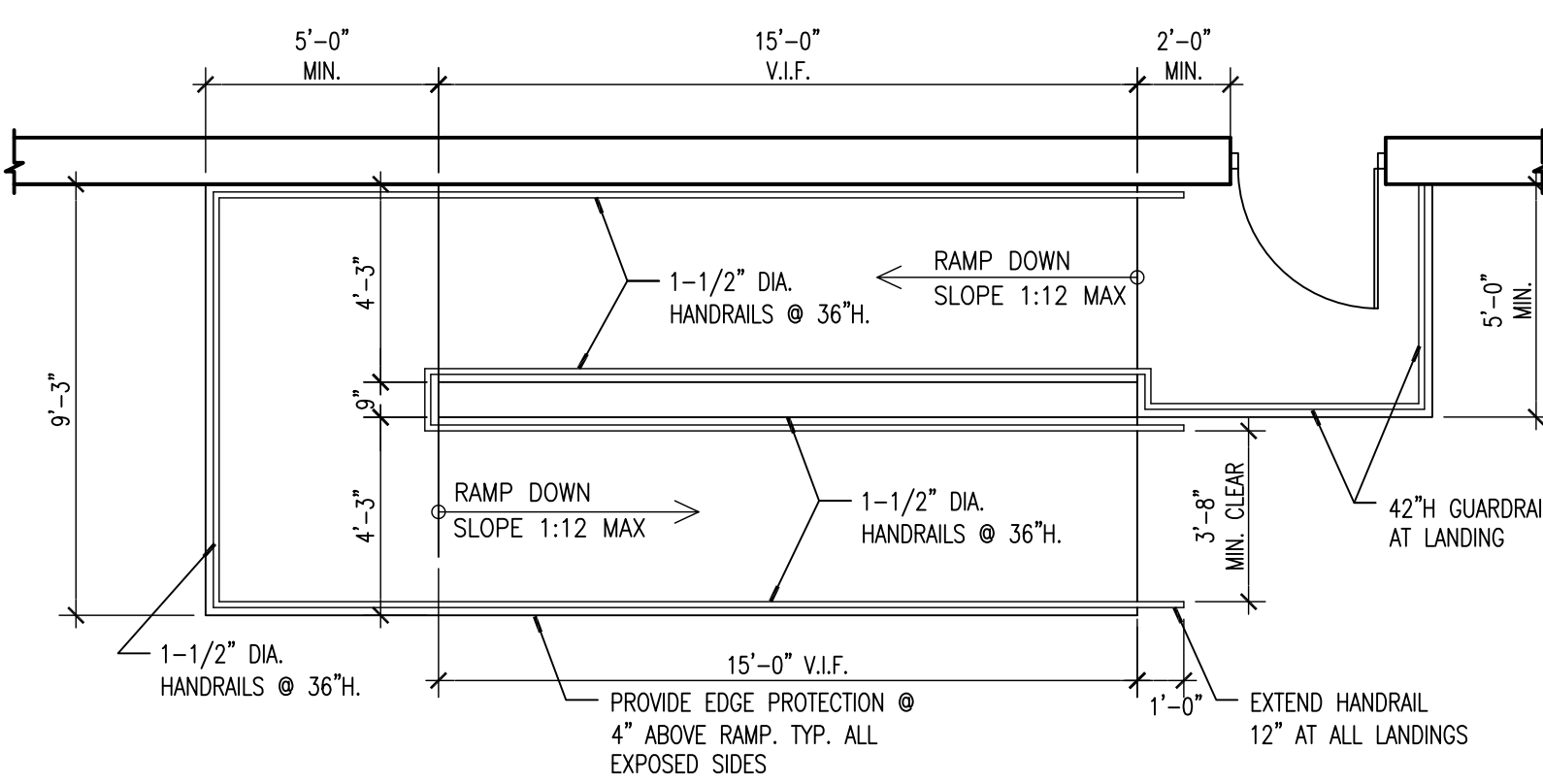
REQUIRED PER IDO TABLE 5-5-1:
(LIGHT INDUSTRIAL) 1 SPACES PER 1000 SF.
CULTIVATION FACILITY: 32,035 SF.
(FUTURE RETAIL): 3,328 SF.
(FUTURE OFFICE): 9,156 SF.
TOTAL SPACES REQUIRED FOR CULTIVATION: 33 SPACES

10% REDUCTION FOR PROXIMITY TO TRANSIT
33 SPACES REQUIRED W/ REDUCTION = -3 SPACES

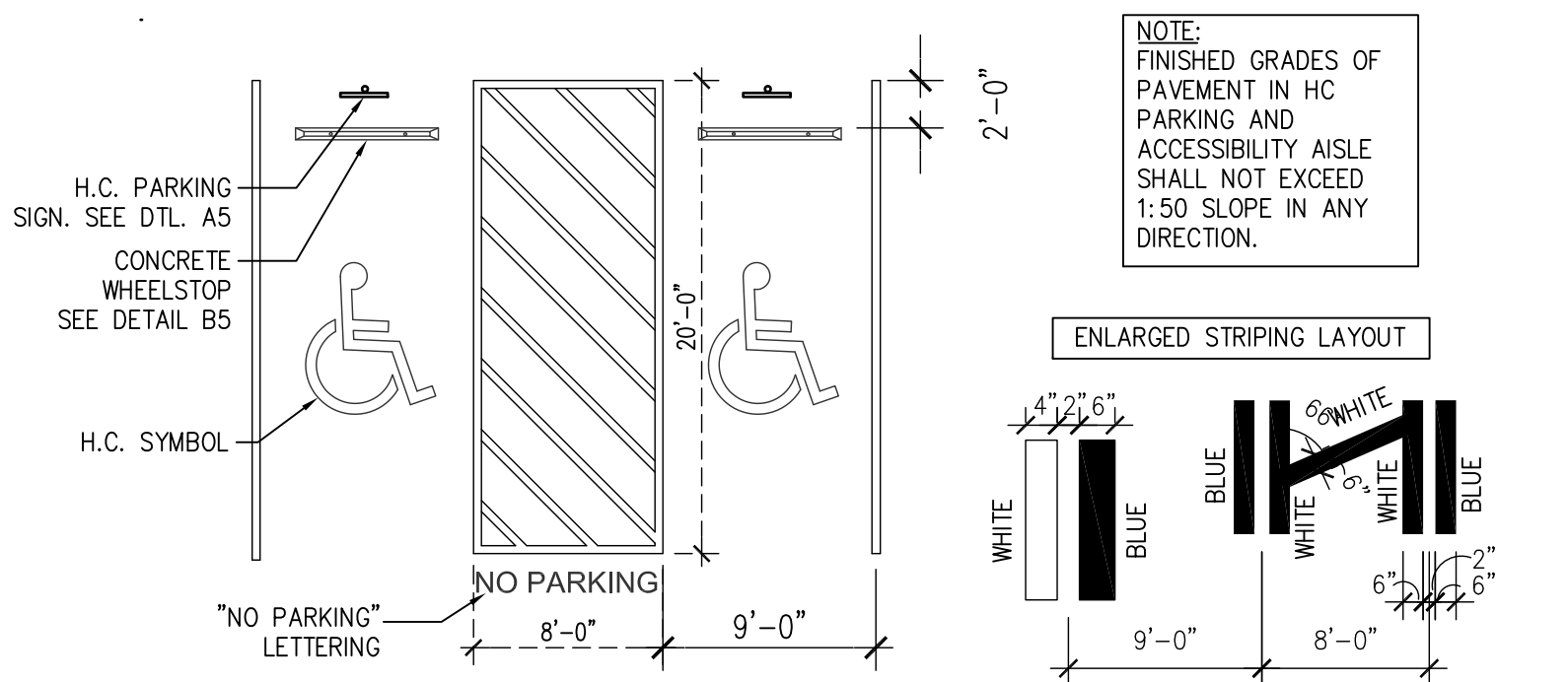
TOTAL OFFSTREET PARKING AFTER REDUCTIONS = 30 SPACES
TOTAL OFFSTREET PARKING PROVIDED = 45 SPACES
TOTAL H.C. PARKING PROVIDED = 2 SPACES
TOTAL MOTORCYCLE PARKING PROVIDED = 2 SPACES
1 BICYCLE RACK PROVIDED.



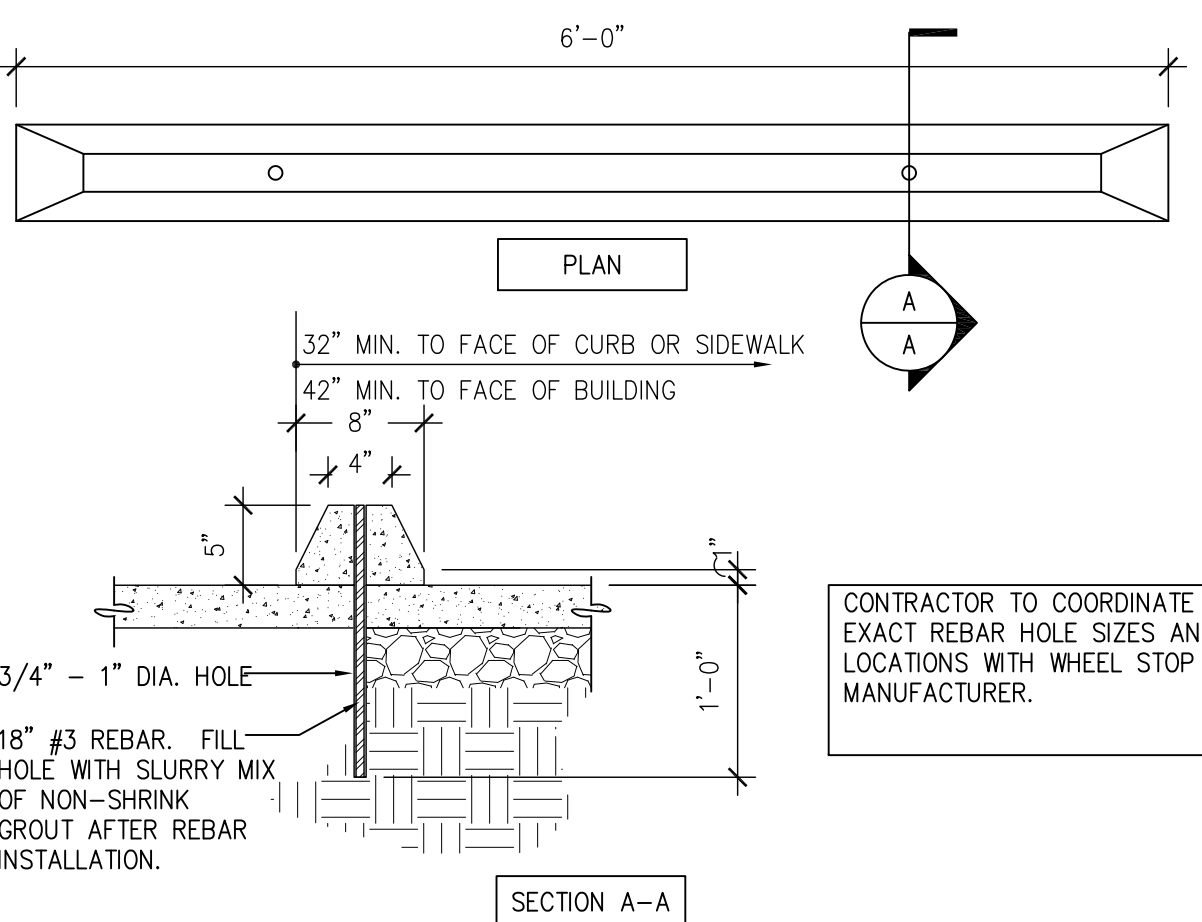
C5 HANDICAP PARKING SIGN
Scale: 1" = 1'-0"



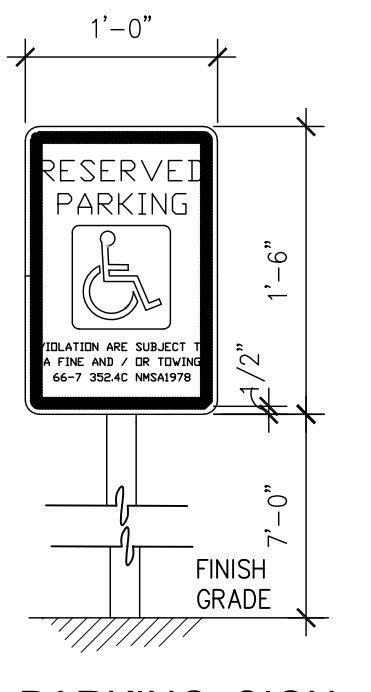
B3 H.C. RAMP DETAILS
Scale: 1/4" = 1'-0"



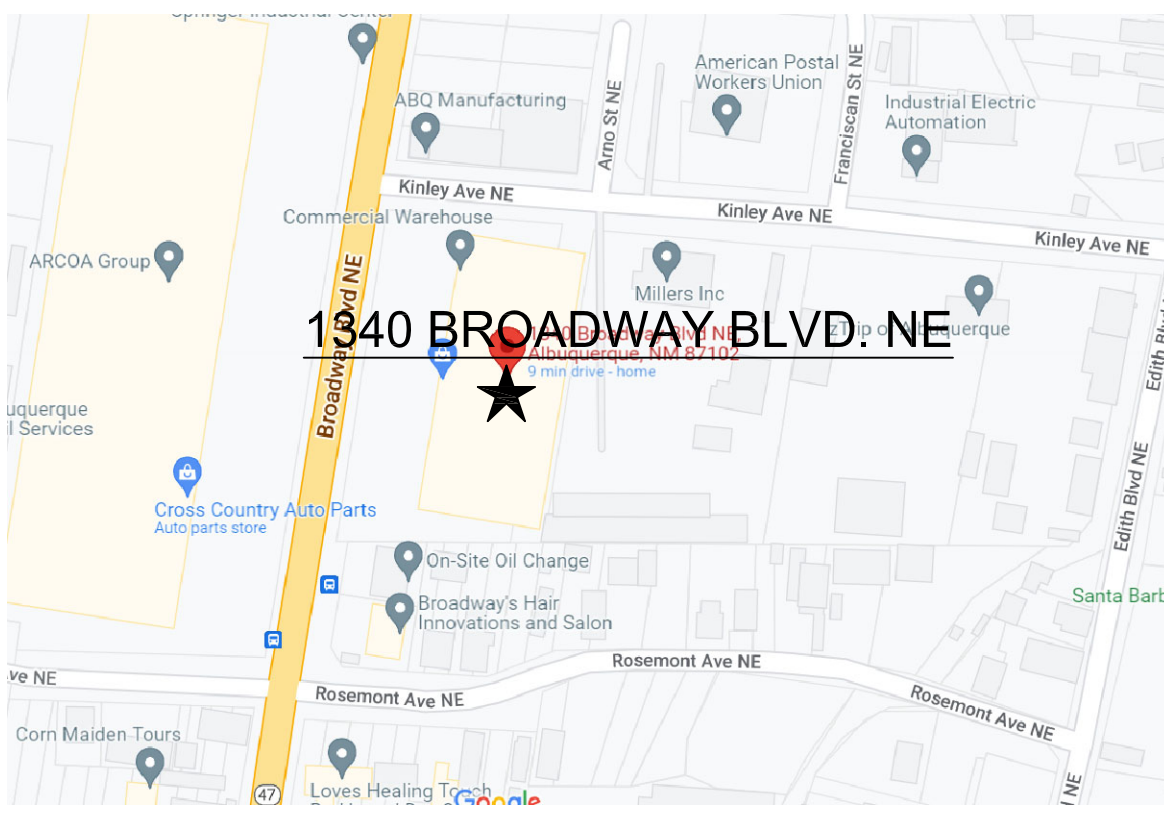
A3 H.C. PARKING DETAILS
Scale: 1/8" = 1'-0"



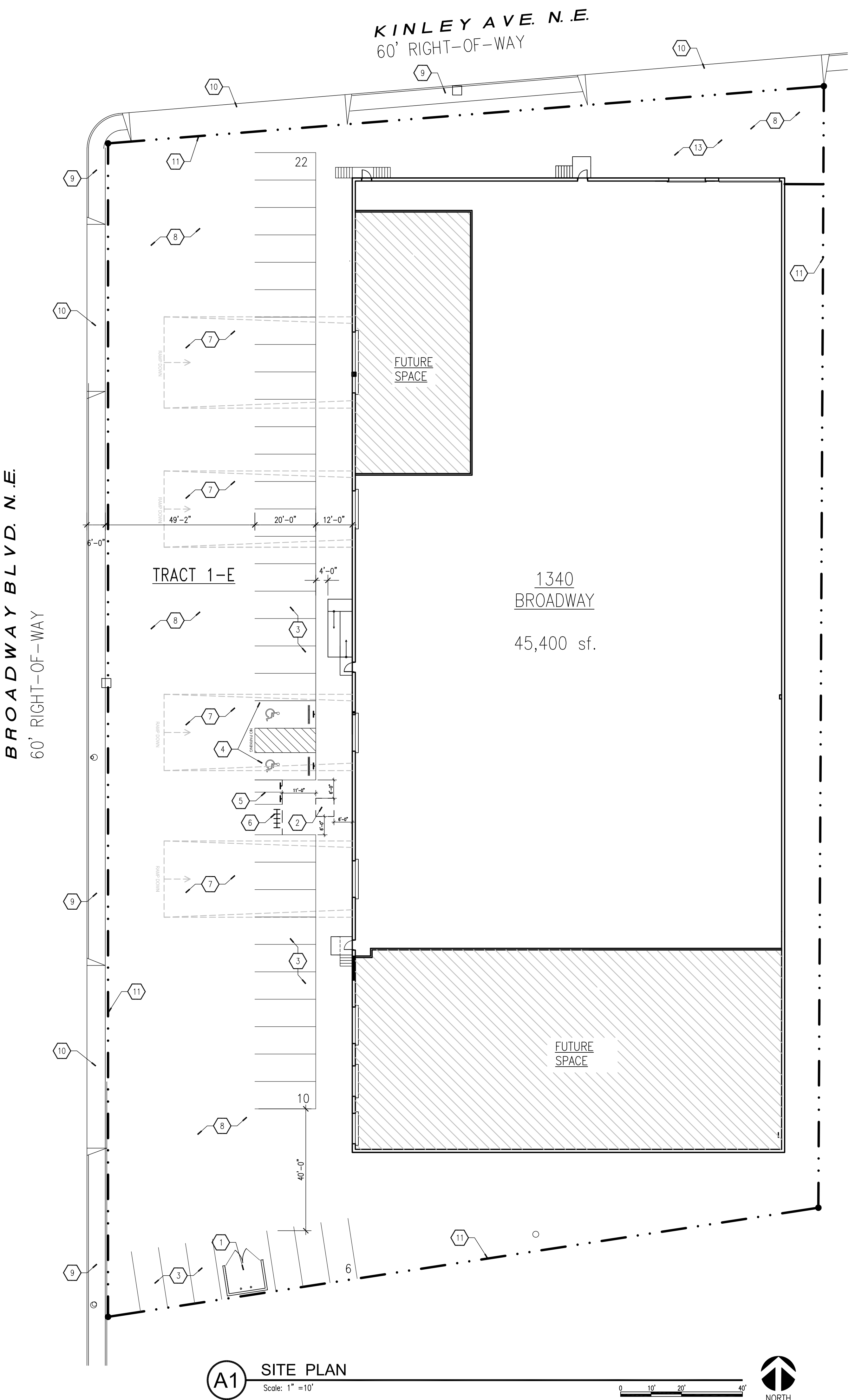
B5 WHEEL STOP
Scale: 1/2" = 1'-0"



A5 H.C. PARKING SIGN VAN ACCESSIBLE
Scale: 1" = 1'-0"



A7 VICINITY MAP
NOT TO SCALE

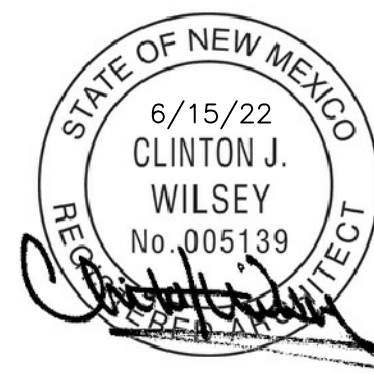


A1 SITE PLAN
Scale: 1" = 10'

CONSULTANT:

ARCHITECT:

66ARCHITECT, LLC
Clint Wilsey, Architect
clint@66architect.com
505.280.0043



DATE: 8-1-22
REVISION: PLAN CHECK REVS

ISSUE: PERMIT SET

BROADWAY
CULTIVATION FACILITY
1340 Broadway Blvd. NE
Albuquerque, NM 87102

DATE: 6/15/22

SHEET TITLE:
TRAFFIC
CIRCULATION
PLAN

TCL