

CITY OF ALBUQUERQUE

Planning Department

Alan Varela, Director



Mayor Timothy M. Keller

March 1, 2024

Eric Munn, RA
T.I. Design Services
717 Cagua Dr NE
Albuquerque, NM 87108

Re: Asset Pro Cannabis
1011 4th St NW
Request for Certificate of Occupancy
Transportation Development Final Inspection
Plan Approval Date 11-10-22 (J14D203)
Certification dated 2-23-24

Dear Mr. Munn;

Based upon the information provided in your submittal received 2-26-24, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

If you have any questions, please contact me at ccherne@cabq.gov or (505) 924-3986.

Albuquerque

Sincerely,
Curtis A Cherne

NM 87103

Curtis Cherne, P.E.
Senior Engineer, Planning Dept.
Development Review Services

www.cabq.gov

C: Laurie Elliot, Yvette Lucero, Desiree Gonzales, Wendi Alcalá, James Broomfield



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 1/2016)

Project Title: Assd Pro Cannabis **Building Permit #:** BP-2022-38316 **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: Lot C Boghs Addn
City Address: 1011 4th St. NW ABQ NM 87102

Applicant: T.I. Design Services **Contact:** Eric Munn
Address: 717 Laguna Dr. NE ABQ NM 87108
Phone#: 505-688-2914 **Fax#:** _____ **E-mail:** holybarbarian@yahoo.com

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

- HYDROLOGY/ DRAINAGE
- TRAFFIC/ TRANSPORTATION
- MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- AS-BUILT CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE MASTER PLAN
- DRAINAGE REPORT
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- NEIGHBORHOOD IMPACT ASSESMENT (NIA)
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- OTHER (SPECIFY) _____

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- GRADING/ESC PERMIT APPROVAL
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- PRE-DESIGN MEETING?**
- OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: Yes No

DATE SUBMITTED: 2.26.2024 By: [Signature]

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____

FEE RECEIVED: _____

T.I. Design Services - Eric Munn
717 Cagua Drive NE Albuquerque NM

TRAFFIC CERTIFICATION

I, Eric Munn, NMRA/Owner, TI Design Services, HEREBY CERTIFY THAT THIS PROJECT, Asset Pro Growing Facility, (J14-D203) & BP-2022-38306, IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED TCL PLAN DATED 11-9-2022. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY Eric Munn, TI Design Services. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON February 23, 2024_ AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED AND AMENDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR Certificate of Occupancy.

Exceptions: More parking spaces provided than required

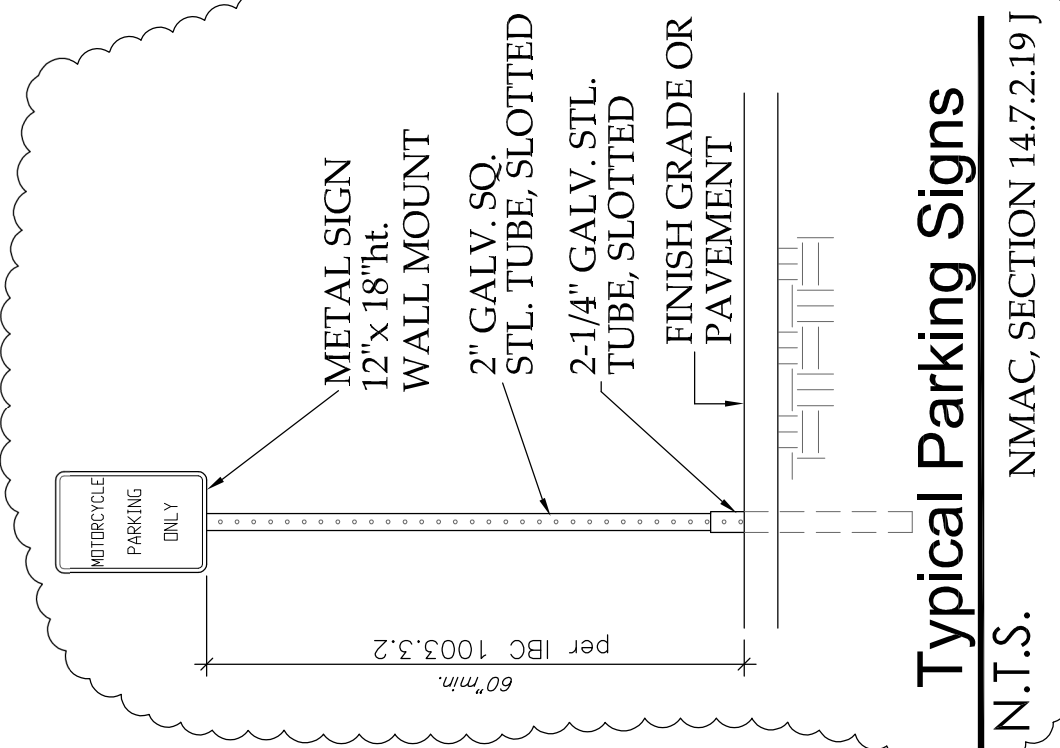
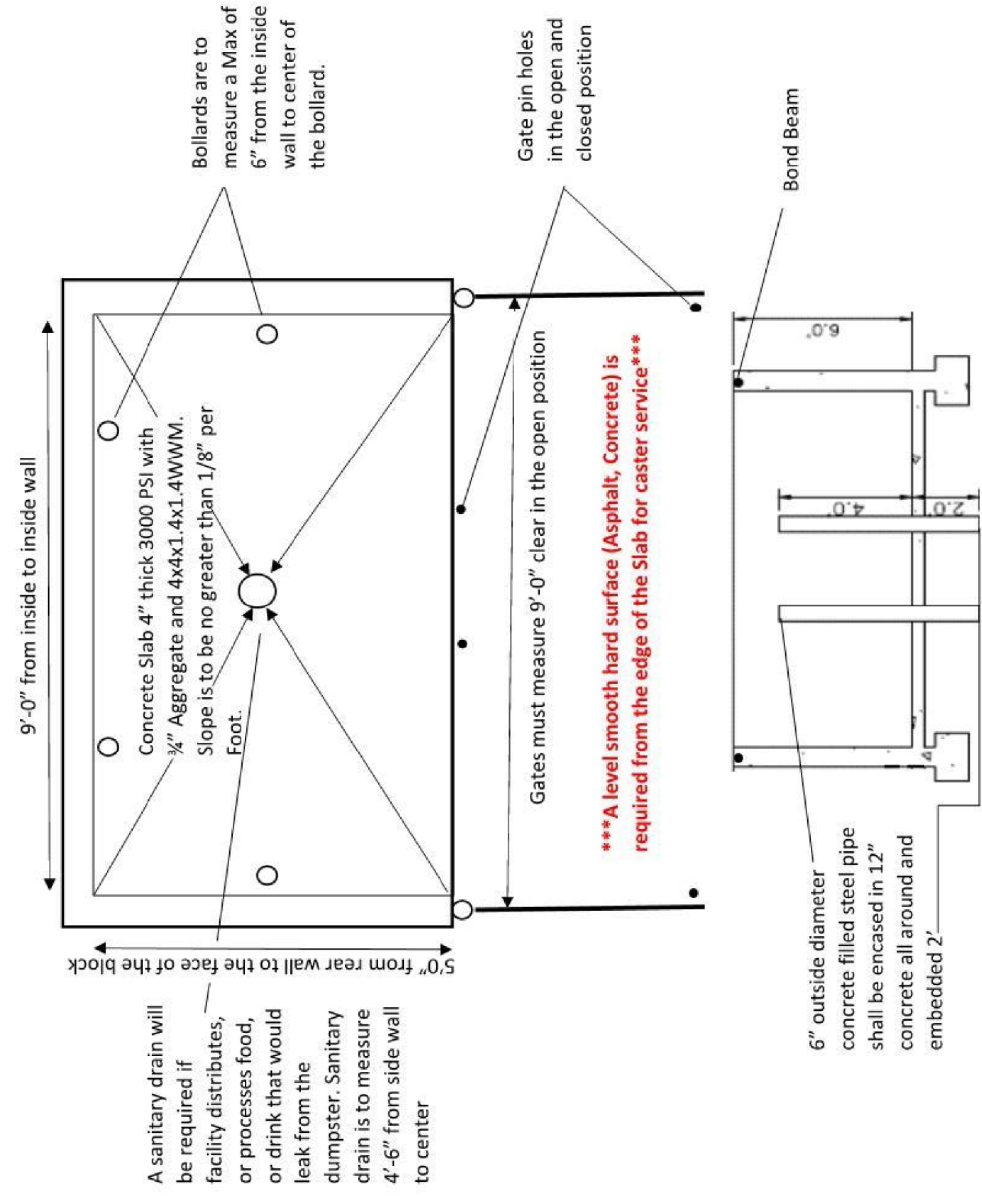
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



TRAFFIC CIRCULATION LAYOUT APPROVED
 Signed: Ernest Omya 11/10/2022
 Date:

City of Albuquerque
 Solid Waste Management Department
 4600 Edith Blvd NE
 Albuquerque, NM 87107

Minimum Requirements for a Swanson Enclosure



Typical Parking Signs
 N.T.S. NMAC SECTION 14.7.2.19 J

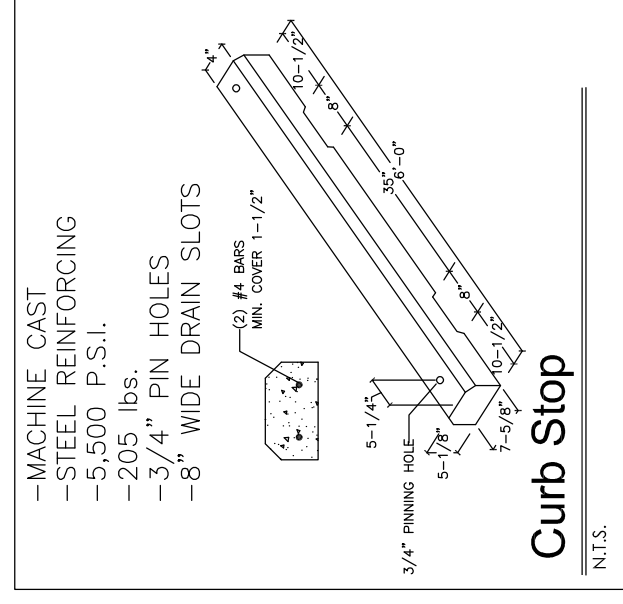
KEYED NOTES

- New 1 cubic yard dumpster to be provided by Owner, must meet City Solid Waste Department size standards for this size of dumpster, Owner will coordinate. There will be no hazardous/contaminated materials disposed of here, this facility will only process loads of debris to wheel to the dumpster 2' from the gate opening on service day, and place it back into the trash enclosure after being serviced.
- Concrete dumpster slab: 4" thick 3000 PSI (28 days) with 3/4" aggregate and 4 x 4 1.4 x 1.4 welded wire fabric.
- 6" o.d. steel pipe bollard filled with concrete and encased in 12" thick concrete min. all around below grade. Concrete to be a min. of 24" below grade, 4" ht bollards minimum and 2" wide, at rear of space where an adjacent vehicle's rear tires would be placed.
- H.C. Parking Space & Access Aisle, NO PARKING letters shall be capital letters 1"ht, minimum and 2" wide, at rear of space where an adjacent vehicle's rear tires would be placed.
- Transformer and Concrete pad.
- BUSINESS OWNER SHALL PROVIDE, TO THE SOLID WASTE REPRESENTATIVE, ACCESS TO THE PROPERTY BY WAY OF KEY FOB, A CLICKER/REMOTE OPENER, OR CITY LOCK. THIS IS NOT A LIMITED ACCESS POINT. THE SOLID WASTE REPRESENTATIVES MUST HAVE ACCESS TO THE SITE FROM 5 AM to 8 PM ON SCHEDULED PICK-UP DAYS.
- 6" CMU Dumpster enclosure, Tan or desert sand color to match existing adjacent building. Provide horizontal reinforcement 16'o.c.
- Existing Fence and gate shall be repaired as necessary to meet City Solid Waste Department access requirements.

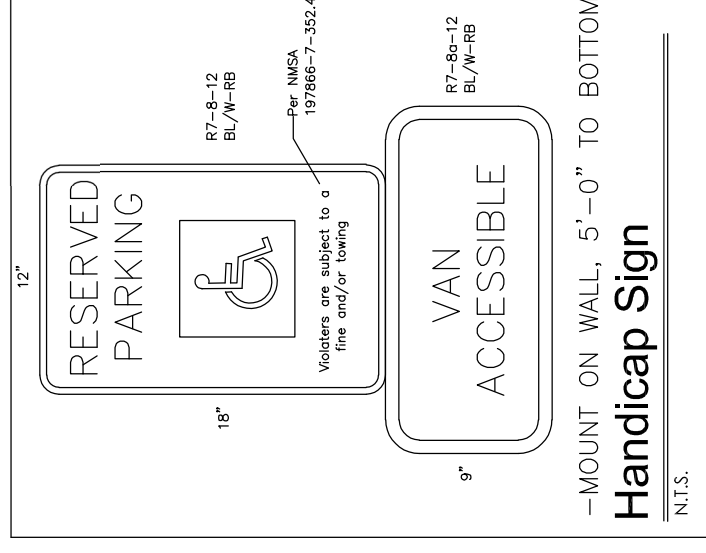
METAL SIGN ACCESSIBLE SIGNAGE ON WALL

FINISH GRADE OR PAVEMENT

Typical Parking Signs
 N.T.S. NMAC SECTION 14.7.2.19 J



Curb Stop
 N.T.S.



Handicap Sign
 N.T.S.



IDO Zone Atlas
 May 2018

AGIS
 Albuquerque Geographic Information System

IDO Zoning information as of May 17, 2018. The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

For more details about the Integrated Development Ordinance visit: <http://www.ci.albuquerque.nm.us/development>

Zone Map Legend: J-14-Z

- Element
- Escarpment
- National Monument
- Area Outside of City Limits
- Support Protection Overlay (SPO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Scale: 0 250 500 1,000 Feet

Unused Curb Cuts must be replaced w/ sidewalk, curb & gutter per City standard drawing 2430 & 2415A

All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter per City standard drawing 2430 Standard C & G

LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3' AND 8' TALL (AS MEASURED FROM THE CUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

Bicycle racks shall be sturdy and anchored to a concrete pad. A 1-foot clear zone around the bicycle parking stall shall be provided. Bicycle parking spaces shall be at least 6 feet long and 2 feet wide.

a. The rack shall be a minimum 30" tall and 18" wide.

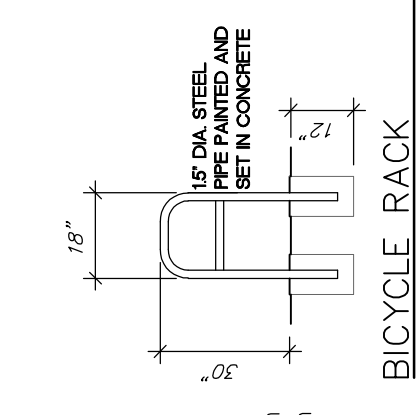
b. The bicycle frame shall be supported horizontally at 2 or more places. Comb/loaster racks are not allowed.

c. The rack shall be designed to support the bicycle in an upright position. See the DPM 7-4(b)(2) & IDO 14-16-5(E) for additional information.

d. The rack allows varying bicycle frame sizes and styles to be attached.

e. The user is not required to lift the bicycle onto the bicycle rack.

f. Each bicycle parking space is accessible without moving another bicycle.



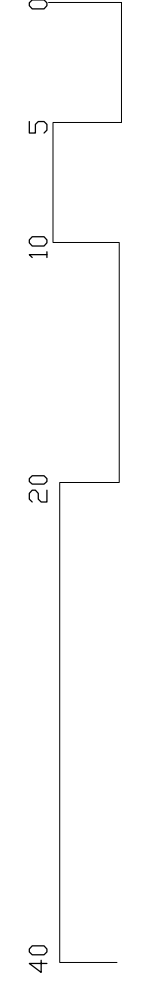
PARKING CRITERIA UC-AC-MS-PT

- CANNABIS CULTIVATION 3757 SF = 1 SPACE PER 1000 SF GROSS
- 3757 SF / 1000 = 3.7 x 1 = 4 SPACES REQUIRED
- 4 SPACES REQUIRED (x30% on Transit Route) = 3 REQUIRED SPACES
- 3 SPACES PROVIDED
- 1 OF WHICH IS HANDICAPPED ACCESSIBLE
- 1 MOTORCYCLE SPACE REQUIRED, 1 MOTORCYCLE SPACE PROVIDED
- 3 BICYCLE SPACES REQUIRED, 5 BICYCLE SPACES PROVIDED

REFUSE

A NEW 1 C.Y. DUMPSTER AND DUMPSTER PAD/ENCLOSURE WILL BE PROVIDED

SITE LIGHTING
 ANY EXTERIOR BUILDING MOUNTED OR SITE LIGHT FIXTURES WILL NOT SHINE DIRECTLY ON ANY PUBLIC RIGHT-OF-WAY OR OTHER RESIDENTIAL/COMMERCIAL PREMISES



TRAFFIC CIRCULATION LAYOUT
 1/8" = 1'-0"