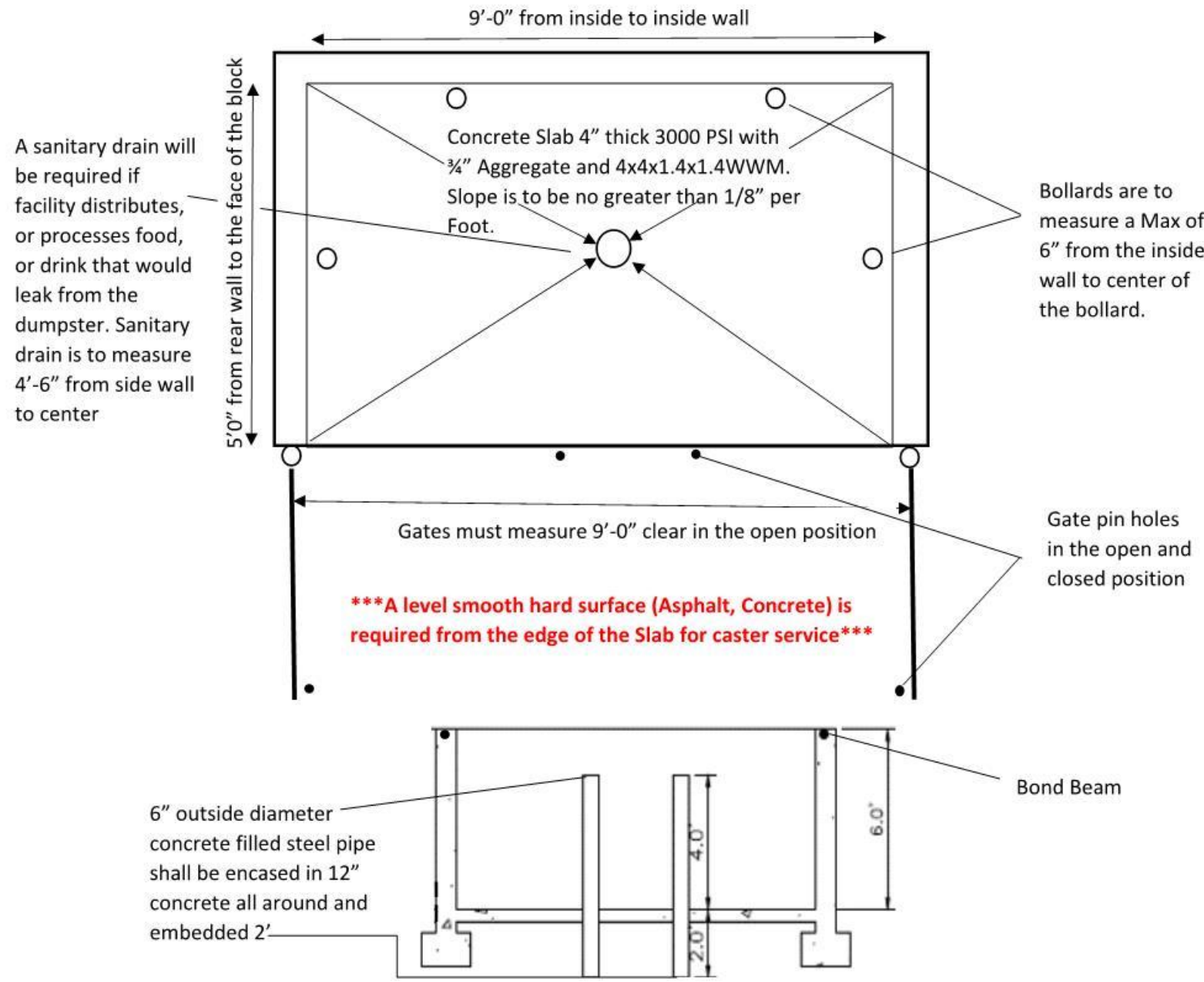


ASSET PRO LLC
GROWING FACILITY
1011 4th Street NW
Albuquerque, NM 87102

Approved for access by the
Solid Waste Department for a single Swanson trash enclosure
Herman Gallegos 09-07-22. **Owner will provide a 1-cubic yard Swanson dumpster
that is compatible with the COA refuse vehicles,
and make all repairs to access the property. These listed items will be contingent
for final CO sign off. ** *Herman Gallegos*

City of Albuquerque
Solid Waste Management Department
4600 Edith Blvd NE
Albuquerque, NM 87107

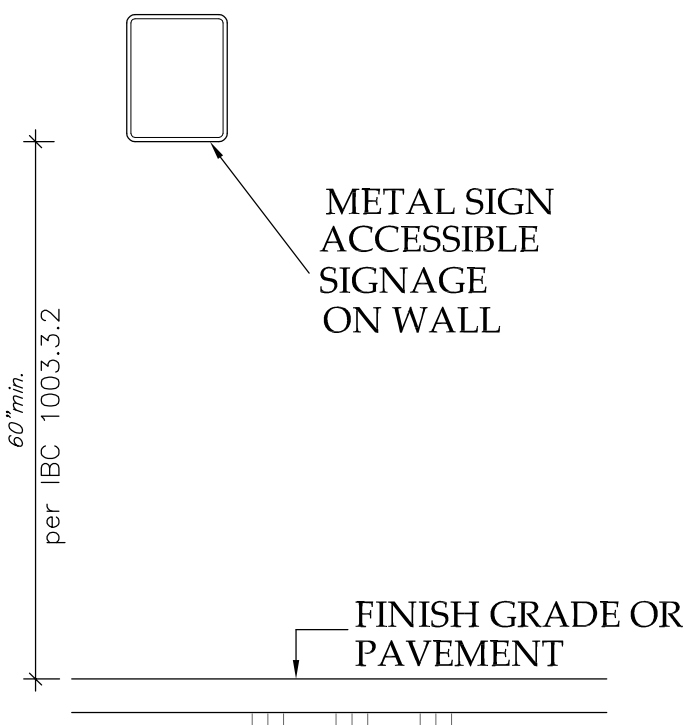
Minimum Requirements for a Swanson Enclosure



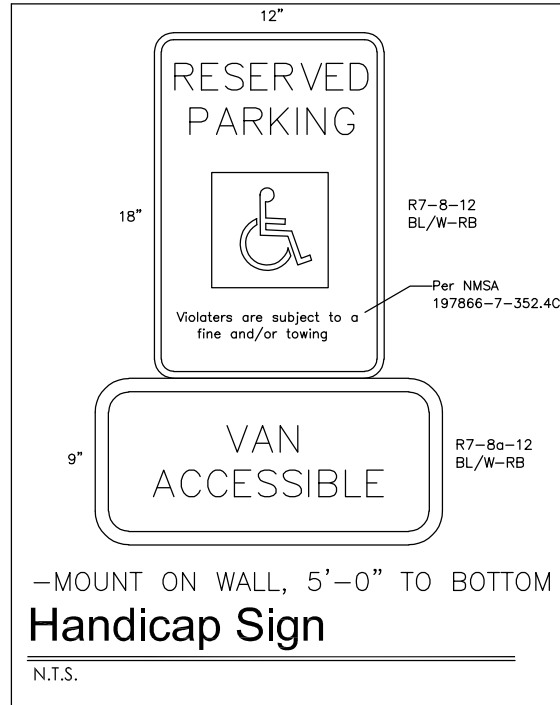
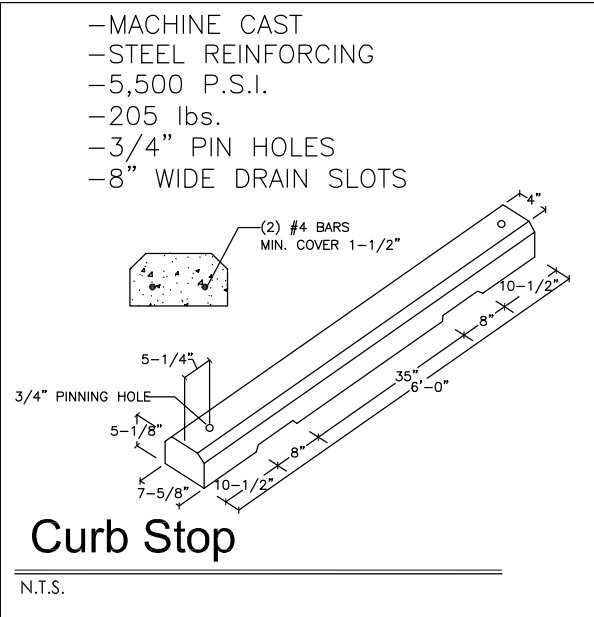
Additional information concerning these specifications may be
obtained by calling the Solid Waste department at (505) 761-8125

KEYED NOTES

1. New 1 cubic yard dumpster to be provided by Owner, must meet City Solid Waste Department size standards for this size of dumpster, Owner will coordinate. There will be no hazardous/contaminated materials disposed of here, this facility will not process food or drink.
The Facility workers will have to wheel the dumpster 2' from the gate opening on service day, and place it back into the trash enclosure after being serviced
2. Concrete dumpster slab: 4" thick 3000 PSI (28 days) with 3/4" aggregate and 4 x 4 1.4 x 1.4 welded wire fabric
3. 6" o.d. steel pipe bollard filled with concrete and encased in 12" thick concrete min. all around below grade. Concrete to be a min. of 24" below grade, 4' ht bollards
4. H.C. Parking Space & Access Aisle, NO PARKING letters shall be capital letters 1"ht. minimum and 2" wide, at rear of space where an adjacent vehicle's rear tires would be placed
5. Transformer and Concrete pad
6. BUSINESS OWNER SHALL PROVIDE, TO THE SOLID WASTE REPRESENTATIVE, ACCESS TO THE PROPERTY BY WAY OF KEY FOB, A CLICKER/REMOTE OPENER, OR CITY LOCK. THIS IS NOT A LIMITED ACCESS POINT
THE SOLID WASTE REPRESENTATIVES MUST HAVE ACCESS TO THE SITE FROM 5 AM TO 8 PM ON SCHEDULED PICK-UP DAYS
7. 6" CMU Dumpster enclosure, Tan or desert sand color to match existing adjacent building. Provide horizontal reinforcement 16" o.c.
8. Existing Fence and gate shall be repaired as necessary to meet City Solid Waste Department access requirements



Typical Parking Signs
N.T.S. NMAC, SECTION 14.7.2.19 J



ZONING: MX-L LOT C BOGHS ADDN
DOWNTOWN NEIGHBORHOOD AREA - CPO-3

APPLICABLE CODES:
2015 NEW MEXICO BUILDING CODE
2015 INTERNATIONAL BUILDING CODE
2015 INTERNATIONAL EXISTING BUILDING CODE
2015 INTERNATIONAL FIRE CODE
2018 INTERNATIONAL ENERGY CONSERVATION CODE
ACCESSIBILITY 2011 NEW MEXICO BARRIER FREE CODE ANSI A117.1
2015 UNIFORM PLUMBING CODE
2015 UNIFORM MECHANICAL CODE
2017 NATIONAL ELECTRIC CODE

BASED ON THE 2015 INTERNATIONAL BUILDING CODE

NEW GROWING FACILITY REMODEL OF EXISTING COMMERCIAL BUILDING
CHANGE OF OCCUPANCY FROM 'B' TO 'F-1'
ALTERATION LEVEL 3
THIS BUILDING WAS BUILT PRE-1969 IN 1964

SEISMIC CLASSIFICATION C

GROSS FLOOR AREA:
IBC TABLE 504.3, 504.4 & 506.2

ALLOWABLE AREA 9,000 S.F. / 1 STORY/140' ht.
ACTUAL AREA 3,757 S.F. / 1 STORY/ 13'

OCCUPANCY CLASSIFICATION

F 1 MODERATE HAZARD FACTORY INDUSTRIAL

BUILDING TYPE:
IBC TABLE 601 & SECTION 602
CONSTRUCTION TYPE TYPE V-B NS
FIRE-RESISTIVE REQUIREMENTS PER IBC TABLE 601
STRUCTURAL FRAME 0 HR
BEARING WALLS 0 HR
NON-BEARING WALLS 0 HR
ROOF CONSTRUCTION 0 HR

AREA SEPARATION:
THERE ARE NO AREA SEPARATIONS REQUIRED

OCCUPANT LOAD:
IBC TABLE 1004.1.2

F 1	USE	AREA/FACTOR	OCCUPANTS
	GROW ROOMS	2366/300 (Gross)	8
	BATHROOMS/CIRCULATION/OFFICE/SALES	613/100 (Gross)	7
	STORAGE	120/300 (Gross)	1
	STORAGE (FUTURE RETAIL/RECEPTION) under Separate Future Building Permit	650/300 (Gross)	3
	TOTAL BUILDING		19

AUTOMATIC SPRINKLER SYSTEM:
NOT SPRINKLERED

MEANS OF EGRESS:
IBC SECTION 1006.2.1, MIN. EXITS OCCUPANT LOAD/TYPE = 2 EXITS REQ., 2 PROVIDED
ACTUAL EXIT WIDTH = 2 EXITS @ 36" EACH MIN.
MAX TRAVEL DISTANCE PER TABLE 1017.2 = 200 FT
ACTUAL MAX TRAVEL DISTANCE = 91'-0" FT

PLUMBING FIXTURE COUNTS:
IBC TABLE 2902.1
35 OCCUPANTS / 2 = 18 MEN AND 17 WOMEN
WATER CLOSETS REQUIRED: 1 PER SEX
LAVATORIES REQUIRED: 1 PER SEX
- WATER CLOSET & LAVATORY REQUIREMENTS PROVIDED IN:
1 UNISEX BATHROOM - 1 WATER CLOSET, 1 LAVATORY / ACCESSIBLE
1 UNISEX BATHROOM - 1 WATER CLOSET, 1 LAVATORY / ACCESSIBLE

1 NEW SERVICE SINK PROVIDED 1 SET OF DRINKING FOUNTAINS

PARKING CRITERIA

LIGHT MANUFACTURING 2976 SF - 1 SPACE PER 1000 SF GROSS
3757 SF / 1000 = 3.7 x 1 = 4 SPACES REQUIRED
4 SPACES PROVIDED
1 OF WHICH IS HANDICAPPED ACCESSIBLE

REFUSE

A NEW 1 C.Y. DUMPSTER AND DUMPSTER PAD/ENCLOSURE WILL BE PROVIDED

SITE LIGHTING

ANY EXTERIOR BUILDING MOUNTED OR SITE
LIGHT FIXTURES WILL NOT SHINE DIRECTLY ON ANY PUBLIC RIGHT-OF-WAY
OR OTHER RESIDENTIAL/COMMERCIAL PREMISES

DRAWING SHEET INDEX

- A0 COVER SHEET/SITE PLAN/CODE ANALYSIS
- SW SOLID WASTE SITE PLAN
- D1 DEMOLITION PLAN
- A1 FLOOR PLAN
- A2 REFLECTED CEILING PLAN
- A3 BUILDING SECTIONS
- F2 FIRE 2
- P1 WASTE PIPING PLAN
- P2 WATER PIPING PLAN
- P3 CO2 PLUMBING PLAN
- M1 MECHANICAL PLAN
- E1 LIGHTING PLAN
- E2 POWER PLAN
- E3 RISER & SCHEDULES



North
Solid Waste
SITE PLAN
SCALE: 1" = 10' - 0"

CANNABIS GROWING FACILITY REMODEL

TL Design Services
Eric V. Munn
777 Ogden Drive NE Albuquerque, NM 87109-8894

ASSET PRO LLC
ALBUQUERQUE, NEW MEXICO 87102
1011 4th STREET NW

SHEET

SW

9 - 7 - 22
DATE