

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

January 9, 2024

Shawn Biazar
SBS Construction and Engineering, LLC
10209 Snowflake Ct. NW
Albuquerque, NM 87114

**RE: 911 Franciscan St NE
Grading & Drainage Plan
Engineer's Stamp Date: 12/11/23
Hydrology File: J14D207**

Dear Mr. Biazar:

Based upon the information provided in your submittal received 01/03/2024, the Grading and Drainage Plan is approved for Building Permit and Grading Permit. **Since this site is relatively flat, a pad certification is not needed for this project.** Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

PRIOR TO CERTIFICATE OF OCCUPANCY:

1. Engineer's Certification, per the DPM Part 6-14 (F): Engineer's Certification Checklist For Non-Subdivision is required.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: 911 FRANCISCAN ST., NE Building Permit #: Hydrology File #: _____

DRB#: EPC#: Work Order#: _____

Legal Description: LOTS 21 AND 22, BLOCK 3, MAYOAND ROSS ADDITION

City Address: 8035 KIBO, NW

Applicant: SBS CONSTRUCTION AND ENGINEING, LLC Contact: SHAWN BIAZAR

Address: 7632 WILLIAM MOYERS AVE., NE, ALBUQUERQUE, NM 87122

Phone#: (505) 804-5013 Fax#: (505) 897-4996 E-mail: AECLLC@AOL.COM

Other Contact: Contact: _____

Address: _____

Phone#: Fax#: E-mail: _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes No

DEPARTMENT _____ TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ENGINEER/ARCHITECT CERTIFICATION
- PAD CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE REPORT
- DRAINAGE MASTER PLAN
- FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ELEVATION CERTIFICATE
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- STREET LIGHT LAYOUT
- OTHER (SPECIFY) _____
- PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- FLOODPLAIN DEVELOPMENT PERMIT
- OTHER (SPECIFY) _____

DATE SUBMITTED: 1-2-2024 By: SHAWN BIAZAR

COA STAFF: _____

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

Location

Lots 21 and 22, Block 3, Mayo and Ross Addition is located at 119 Franciscan St., NE, Albuquerque NM 87102. See attached portion of Vicinity Map J-14-Z for exact location.

Purpose

The purpose of this drainage report is to present a grading and drainage solution for the proposed buildings.

Existing Drainage Conditions

This lot is very flat and drains from east to west. No offsite runoff enters this site. There was existing house that was removed for a new construction.

Proposed Conditions and On-Site Drainage Management Plan

The drainage patterns will remain the same. The additional runoff volume generated by this project garage will be retained on site. The total volume requirement under proposed conditions is 641.37 cf based on the 100-yr/10-day volume. Retention volume provided is 729.00 cf. First Volume requirement is (0.42/12*3,195.00) 111.83 cf.

VOLUME CALCULATIONS FOR 10 DAY STORM

BASIN	AREA (SF)	AREA (AC)	AREA (MI ²)
ON-SITE	7,100.00	0.1630	0.007375

$E = \frac{EA(AA) + EB(AB) + EC(AC) + ED(AD)}{AA + AB + AC + AD}$

$V-360 = E(AA + AB + AC + AD)$

- EA = 0.62
- EB = 0.80
- EC = 1.03
- ED = 2.33

- P-60 = 1.78
- P-360 = 2.29
- P-1440 = 2.59
- P-10 Day = 3.62

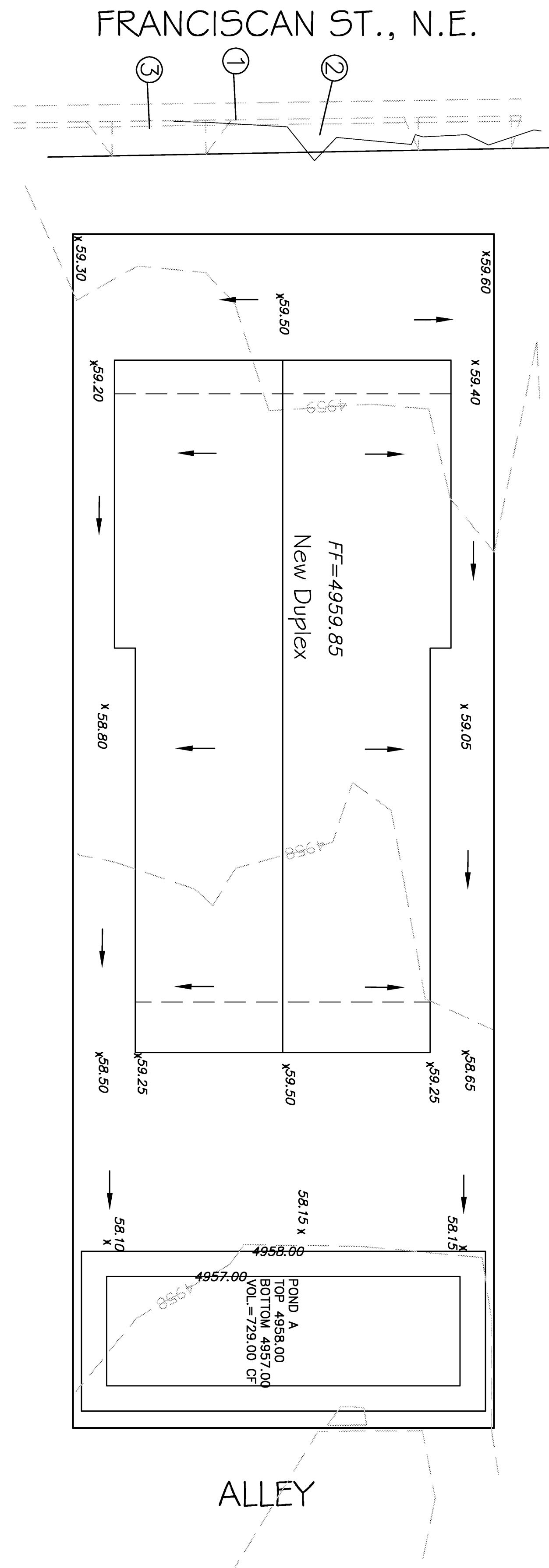
EXISTING CONDITIONS **PROPOSED CONDITIONS**

AA = 55.00%	AA = 0.00%
AB = 10.00%	AB = 10.00%
AC = 10.00%	AC = 45.00%
AD = 25.00%	AD = 45.00%
E = 1.1065 IN	E = 1.5290 IN
V-360 = 0.0155 AC-FT (654.68 CF)	V-360 = 0.0216 AC-FT (941.93 CF)
AD = 0.0407 AC	AD = 0.0733 AC
V-10 DAY = 869.75 CF	V-10 DAY = 1,296.05 CF

V (REQUIRED) = 941.93 - 654.68 = 287.25 CF USING V-360
V (REQUIRED) = 1,296.05 - 654.68 = 641.37 CF USING V-10 DAY

PONDING VOLUME CALCULATION

POND A
 BOTTOM AREA (@ 4957.00) = 654.68 SF
 TOP AREA (@ 4958.00) = 1296.05 SF
 DEPTH = 1.00'
 POND VOLUME = (1296.05 + 654.68) / 2 * 1.00
 total POND VOLUME = 729.00 CF



GENERAL NOTES:

- 1: CONTOUR INTERVAL IS ONE (1.00) FOOT.
- 2: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION 22_J14, HAVING AN ELEVATION OF 4973.647 FEET ABOVE SEA LEVEL.
- 3: UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/ OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS. A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES SHALL NOT
- 4: THIS IS UNIFORMATIONAL PURPOSES ONLY AND FOUND PROPERTY CORNERS ARE FOR
- 5: SLOPES ARE AT 3:1 MAXIMUM.

NOTICE TO CONTRACTORS

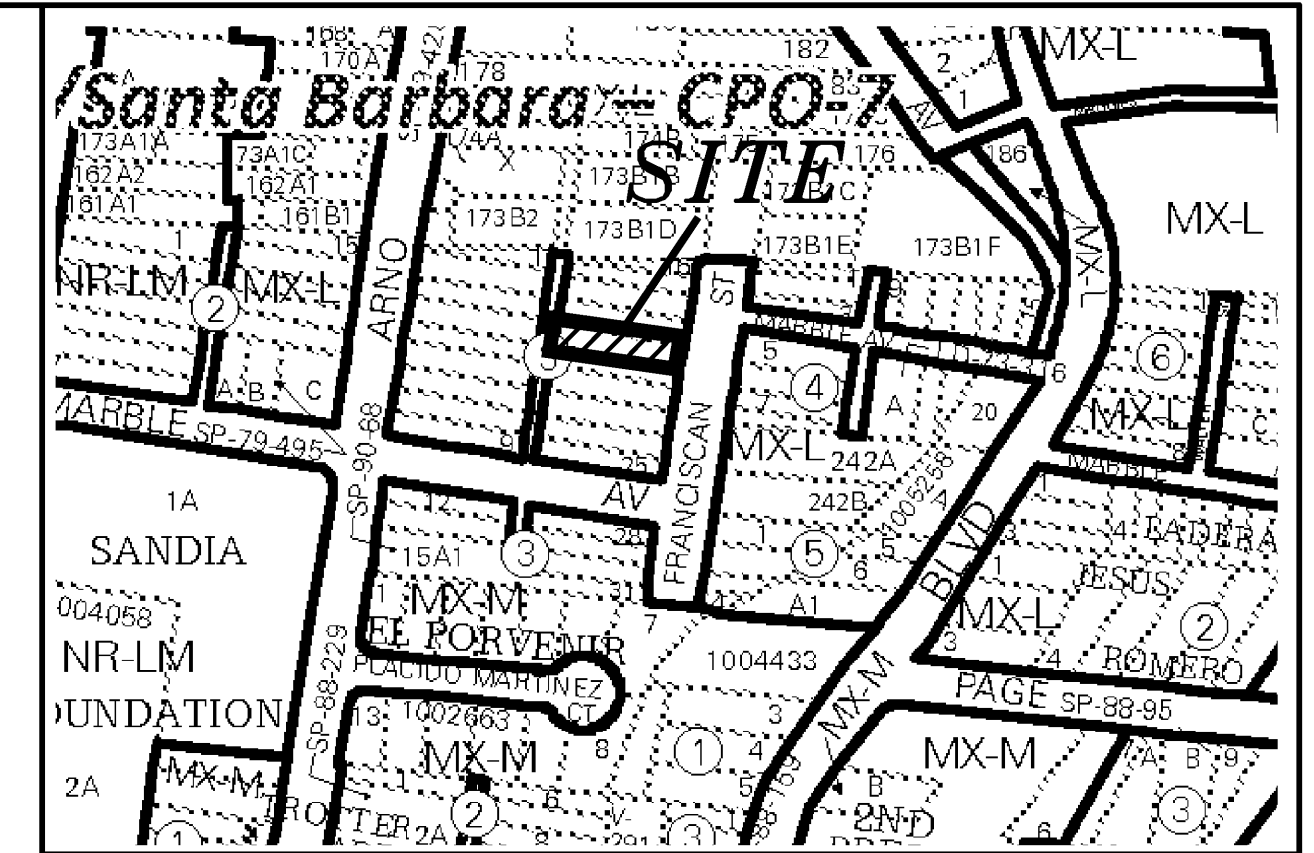
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

KEYED NOTES:

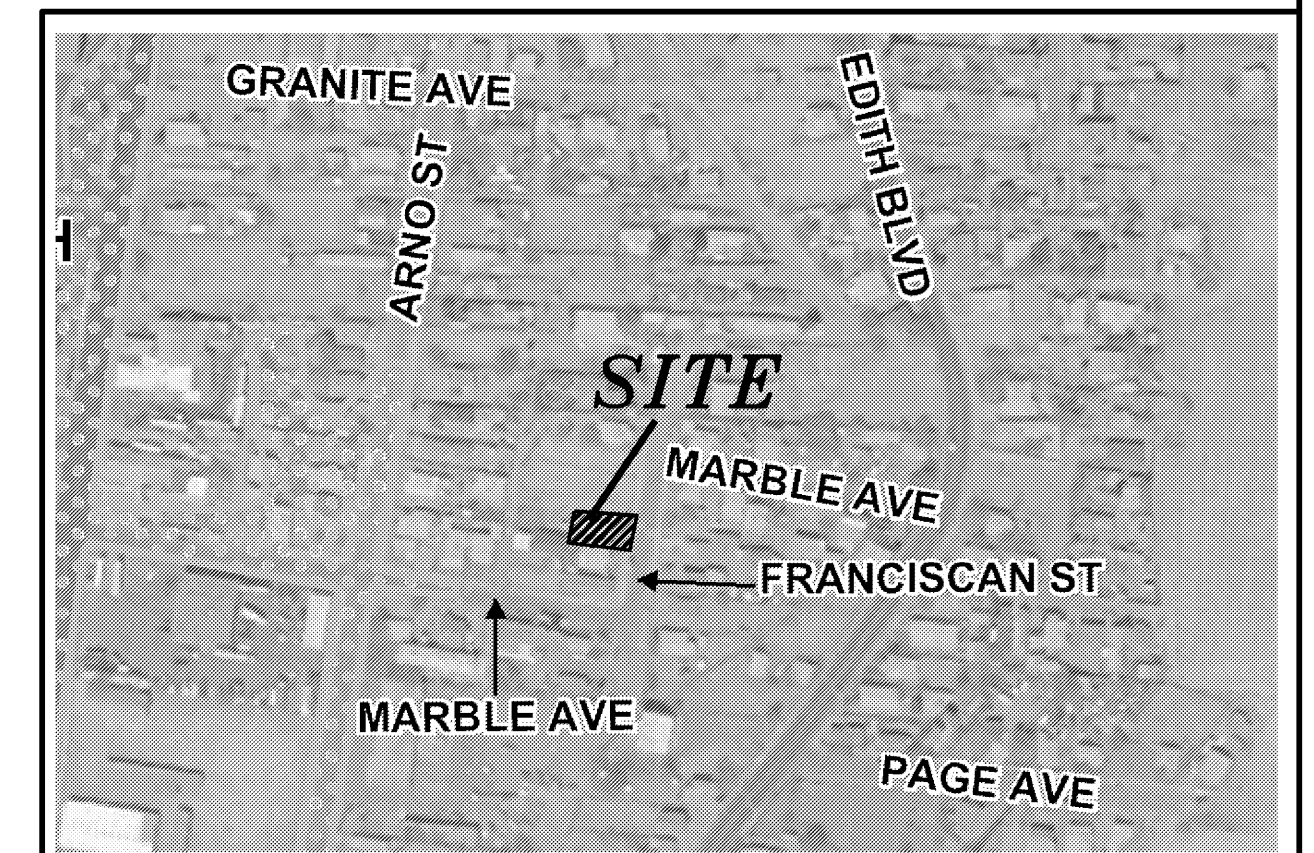
1. EXISTING CURB & GUTTER.
2. EXISTING SIDEWALK.
3. EXISTING DRIVEWAY.



APPROVAL OF GRADING & DRAINAGE PLAN(S) SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.



VICINITY MAP: J-14-Z



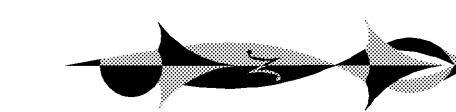
FIRM MAP: 35001C0334G

LEGAL DESCRIPTION:
 LOT 21 AND 22, BLOCK 3, MAYO AND ROSS ADDITION.
 ADDRESS: 911 FRANCISCAN ST., NE, ALBUQUERQUE, NM 87102

BENCH MARK
 CITY OF ALBUQUERQUE MON. 22_J14, HAVING AN ELEVATION OF 4973.647 FEET

LEGEND

- 5030--- EXISTING CONTOUR (MAJOR)
- 5029--- EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- X 42.70 PROPOSED SPOT ELEVATION
- X 5029.16 EXISTING GRADE
- X 5075.65 EXISTING FLOWLINE ELEVATION FL
- PROPOSED RETAINING WALL
- BC=41.30 BOTTOM OF CHANEL
- TF=42.00 TOP OF FOOTING
- TRW=45.12 TOP OF RETAINING WALL
- HP HIGH POINT
- 5181.13 AS-BUILT GRADES
- 5180.65 AS-BUILT SPOT ELEVATIONS
- x81.65



GRAPHIC SCALE



REZA AFAGHPOUR
 P.E. #11814

911 FRANCISCAN ST., NE GRADING PLAN

DRAWING:	DRAWN BY:	DATE:	SHEET #
202138GD.DWG	SH-B	12-11-2023	1