

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

January 8, 2026

Richard P. Bennett, RA
RBA Architecture, PC
1104 Park Ave. SW
Albuquerque, NM 87102

Re: Aspen Warehouse
601 Aspen Ave. NW
Albuquerque, NM 87102
Traffic Circulation Layout
Architect's Stamp 09-23-25 (J14D211)

Dear Mr. Bennett,

The TCL submittal received 10-28-2025 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification and the TCL to ABQ-Plan for log in and evaluation by Transportation.

Albuquerque

NM 87103

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

www.cabq.gov

Sincerely,

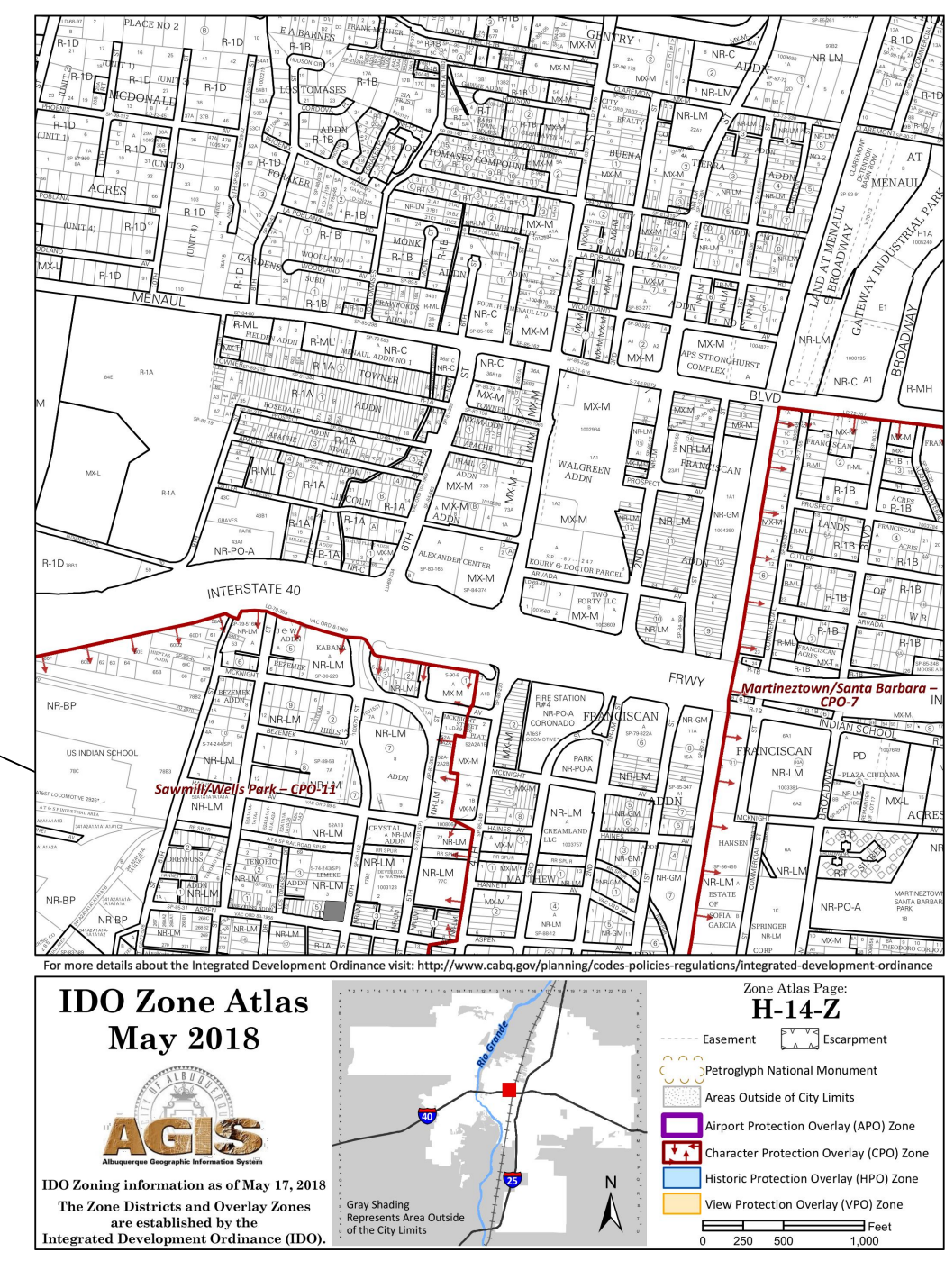
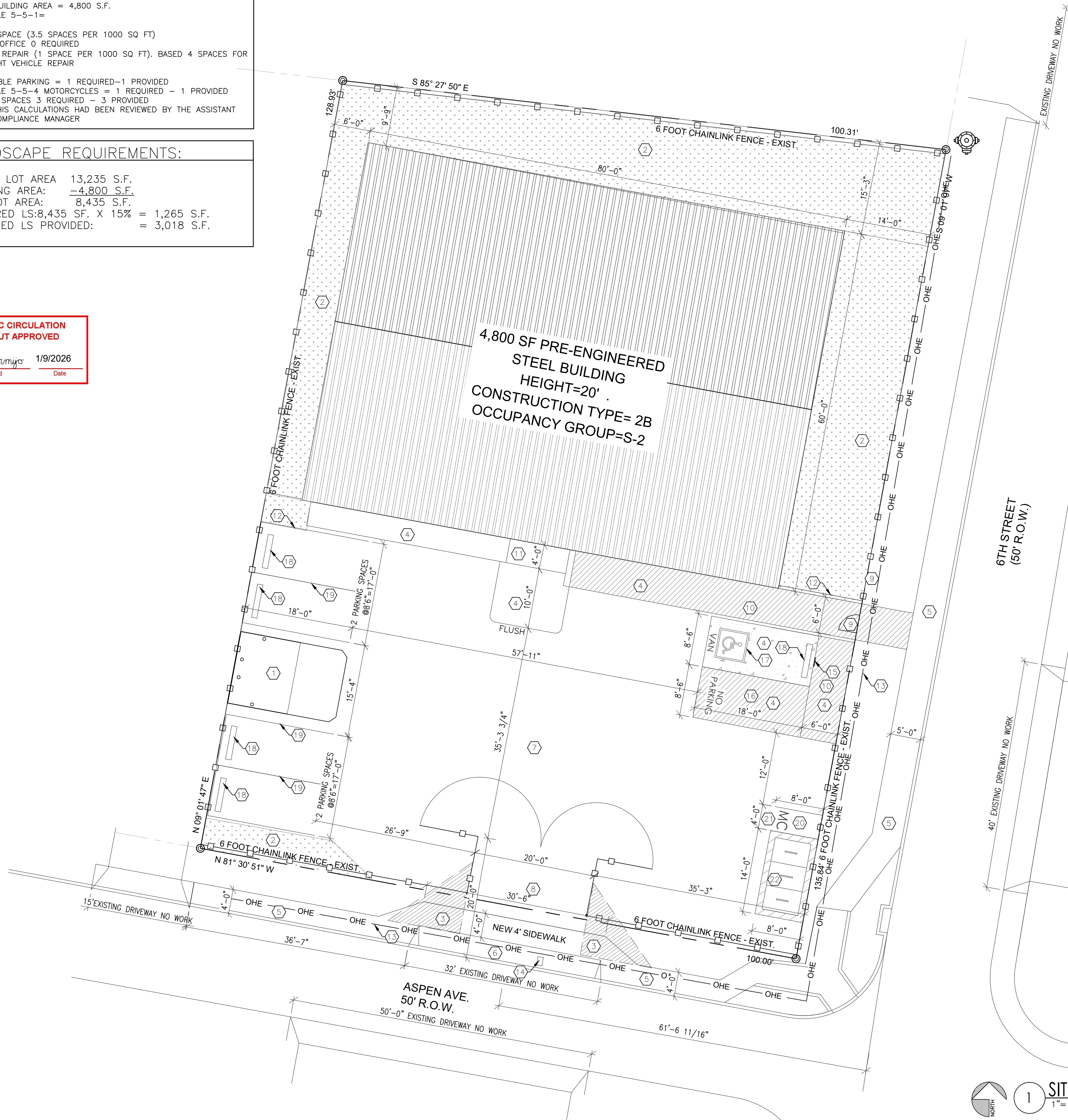
Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File

PARKING REQUIREMENTS:
 TOTAL BUILDING AREA = 4,800 S.F.
 IDO TABLE 5-5-1=
 OFFICE SPACE (3.5 SPACES PER 1000 SQ FT)
 120 SF OFFICE 0 REQUIRED
 VEHICLE REPAIR (1 SPACE PER 1000 SQ FT). BASED 4 SPACES FOR THE LIGHT VEHICLE REPAIR
 ACCESSIBLE PARKING = 1 REQUIRED-1 PROVIDED
 IDO TABLE 5-5-4 MOTORCYCLES = 1 REQUIRED - 1 PROVIDED
 BICYCLE SPACES 3 REQUIRED - 3 PROVIDED
 NOTE: THIS CALCULATIONS HAD BEEN REVIEWED BY THE ASSISTANT CODE COMPLIANCE MANAGER

LANDSCAPE REQUIREMENTS:
 GROSS LOT AREA 13,235 S.F.
 BUILDING AREA: -4,800 S.F.
 NET LOT AREA: 8,435 S.F.
 REQUIRED LS: 8,435 SF. X 15% = 1,265 S.F.
 PROVIDED LS PROVIDED: = 3,018 S.F.

TRAFFIC CIRCULATION LAYOUT APPROVED
 Ernest Arroyo 1/9/2026
 Signed Date

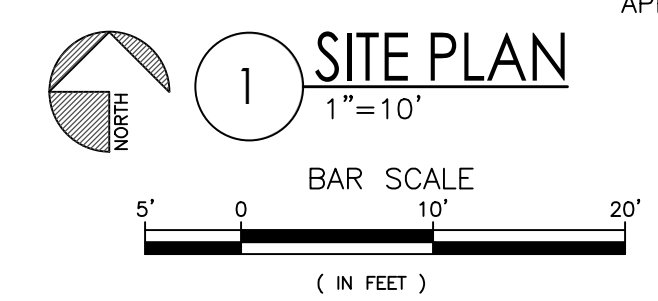


NECINITY MAP
 NTS.

THIS BUILDING IS A PRIVATE PARKING GARAGE, NOT OPEN TO THE PUBLIC
 NON-RESIDENTIAL - LIGHT MANUFACTURING ZONE DISTRICT NR-LM

- KEY NOTES**
- DUMPSTER CONCRETE PAD DET A1/AS-2.0
 - LANDSCAPING AREA.
 - 11'X11' CLEAR SIGHT TRIANGLE, LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH THE CLEAR SIGHT REQUIREMENTS. ALL SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
 - NEW 4" CONCRETE PAD A2/AS-2.0
 - EXISTING CONCRETE SIDEWALK REPAIRED AS NEEDED. (NO WORK)
 - EXISTING 32' WIDE CONCRETE DRIVEWAY, ADD 4' WIDE PEDESTRIAN ACCESS ROUTE ACCORDING TO STANDARD DRAWING 2425B
 - NEW GRAVEL DRIVEWAY OVER COMPACTED BASE COURSE
 - NEW 20' WIDE SWING GATE
 - 3' PEDESTRIAN GATE
 - 6' WIDE ADA PEDESTRIAN PATHWAY DET A3/AS2.0 NO MORE THAN 2% SLOPE IN ANY DIRECTION: SEE DETAIL A-2.1/AS2.0 FOR SIDEWALK AND CONCRETE PAD CONNECTION
 - BUILDING ACCESS
 - NEW RAISED CONCRETE CURB REF. DETAIL C3/AS2.0
 - OVERHEAD ELECTRIC LINE
 - WATER METER
 - ACCESSIBLE PARKING SIGNAGE PER CABQ STANDARDS, REF: DETAIL A7/AS-2.0.
 - PAINTED STRIPE HANDICAP ACCESSIBLE AISLE WITH "NO PARKING" IN CAPITAL LETTERS, 12" HIGH X 2" WIDE, LOCATE SIGN (66-1-4.1.B NMSA 1978). REF: DETAIL A6/AS-2.0.
 - HANDICAP SYMBOL PER CABQ STANDARDS, TYPICAL REF: DETAIL AS/AS-2.0.
 - PARKING BUMPER, TYP. REF: DETAIL C2/AS-2.0.
 - 4" WIDE PAINTED STRIPE PER C.O.A. STANDARDS, REF: DETAIL A9/AS-2.0, TYP.
 - MOTORCYCLE PARKING SIGNAGE PER CABQ STANDARDS, TYP. REF: A13/AS-2.0.
 - PAINTED "MC" IN CAPITAL LETTERS, 12" HIGH X 2" WIDE, AT MOTORCYCLE PARKING - WHITE ON PAVEMENT PER CABQ STANDARDS.
 - BIKE RACK FOR (3) BICYCLES, REF DETAIL C-1/AS-2.0.
 - BIKE PARKING SPACES SHALL BE 6'-0" LONG X 2' WIDE FOR EACH BIKE. NOTE: A 1'-0" CLEAR ZONE AROUND THE BIKE PARKING SPACE.
 - 30" TALL X 18" WIDE, BICYCLE FRAME SHALL BE SUPPORTED HORIZONTALLY AT TWO OR MORE PLACES. COMB/TOASTER RACKS ARE NOTE ALLOWED
 - THE RACK SHALL BE DESIGNED TO SUPPORT THE BICYCLE IN AN UPRIGHT POSITION. SEE THE IDO FOR ADDITIONAL INFORMATION.
 - THE RACK ALLOWS VARYING BICYCLE FRAME SIZES AND STYLES TO BE ATTACHED.
 - THE USER IS NOT REQUIRED TO LIFT THE BICYCLE ONTO THE BICYCLE RACK.
 - EACH BICYCLE PARKING SPACE IS ACCESSIBLE WITHOUT MOVING ANOTHER BICYCLE.
 - THE RACKS SHOULD BE STURDY AND ANCHORED TO A CONCRETE PAD.

NOTE:
 ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER. A BUILD NOTE MUST BE PROVIDED REFERRING TO THE APPROPRIATE CITY STANDARD DRAWING.



ASPEN WAREHOUSE
 SITE PLAN
 601 ASPEN AVE., NW
 ALBUQUERQUE, N.M. 87102
 JOB #

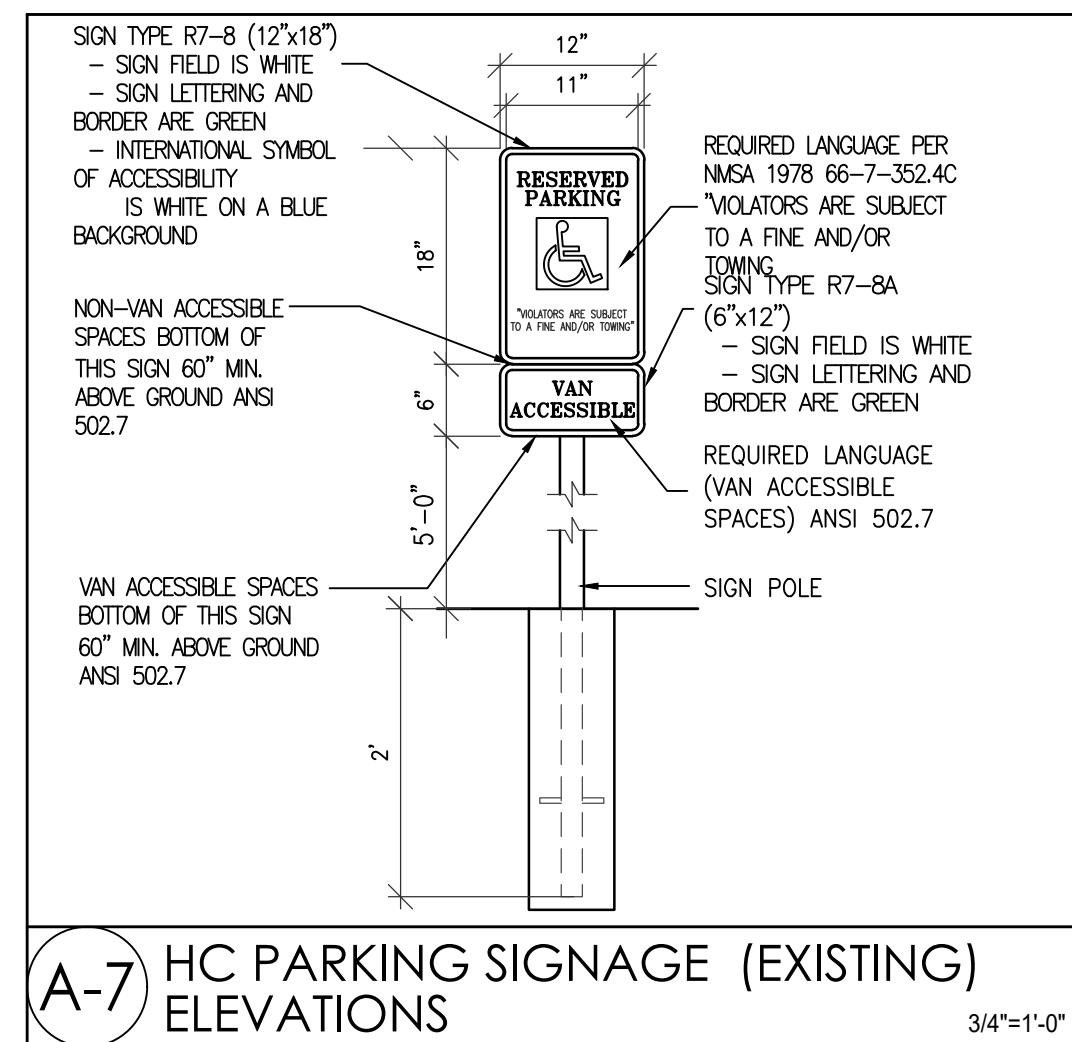
REVISION DATE

STATE OF NEW MEXICO
 RICHARD P. BENNETT
 No. 1240
 9/23/2025
 REGISTERED ARCHITECT

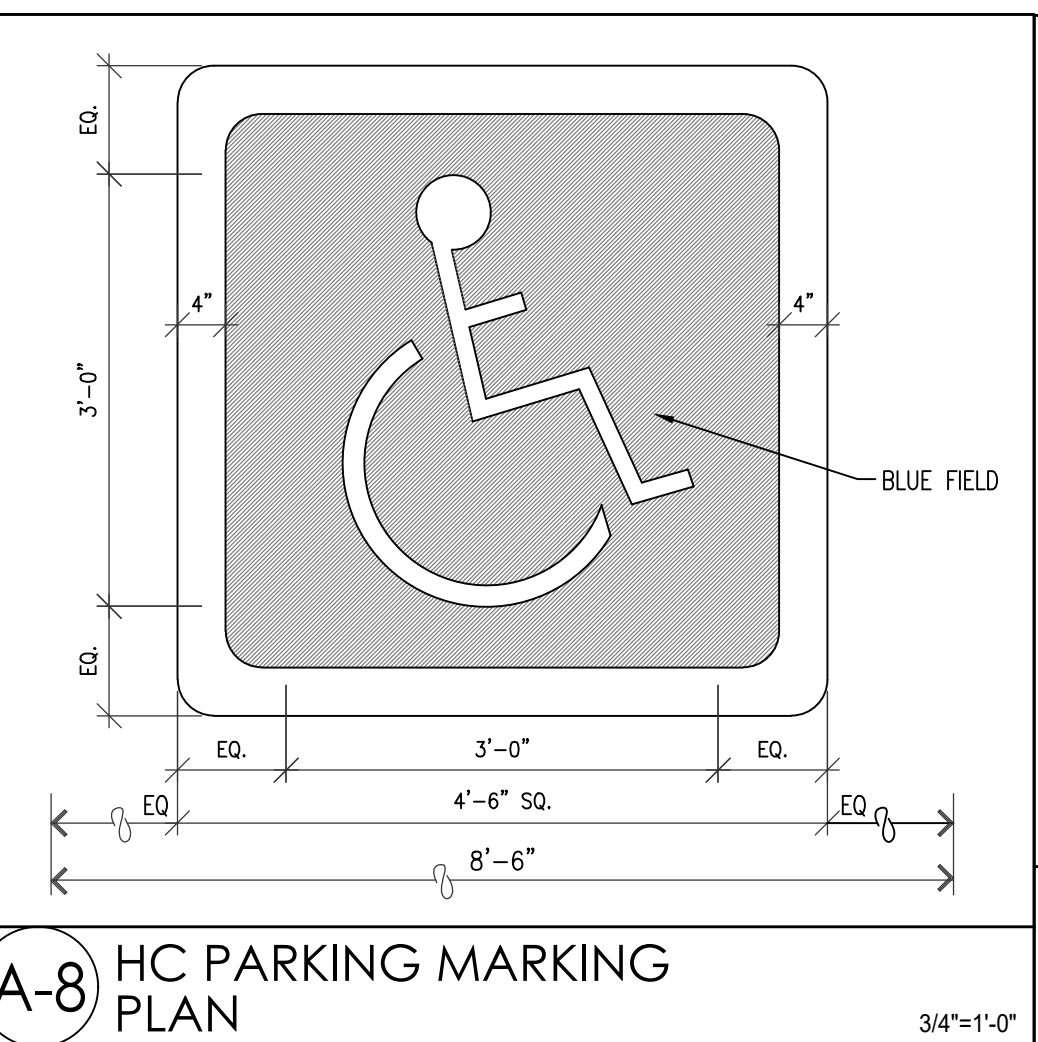
RBA ARCHITECTURE, P.C.
 ARCHITECTURE
 PLANNING
 DESIGN
 1000 W. 10TH ST. SUITE 100
 ALBUQUERQUE, NM 87102
 WWW.RBAARCH.COM

DATE
 08/26/25

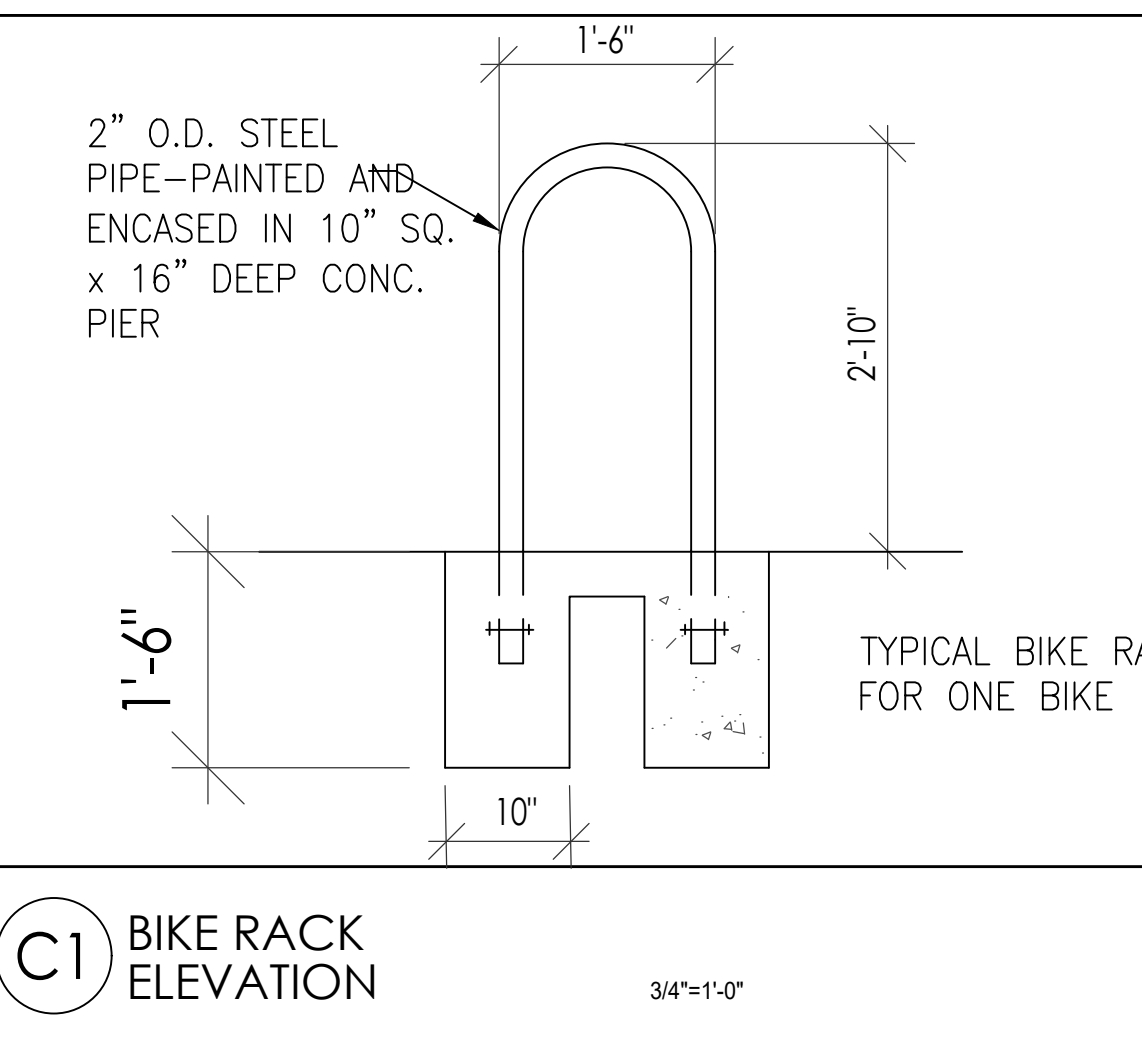
SHEET NUMBER
 AS-1.0



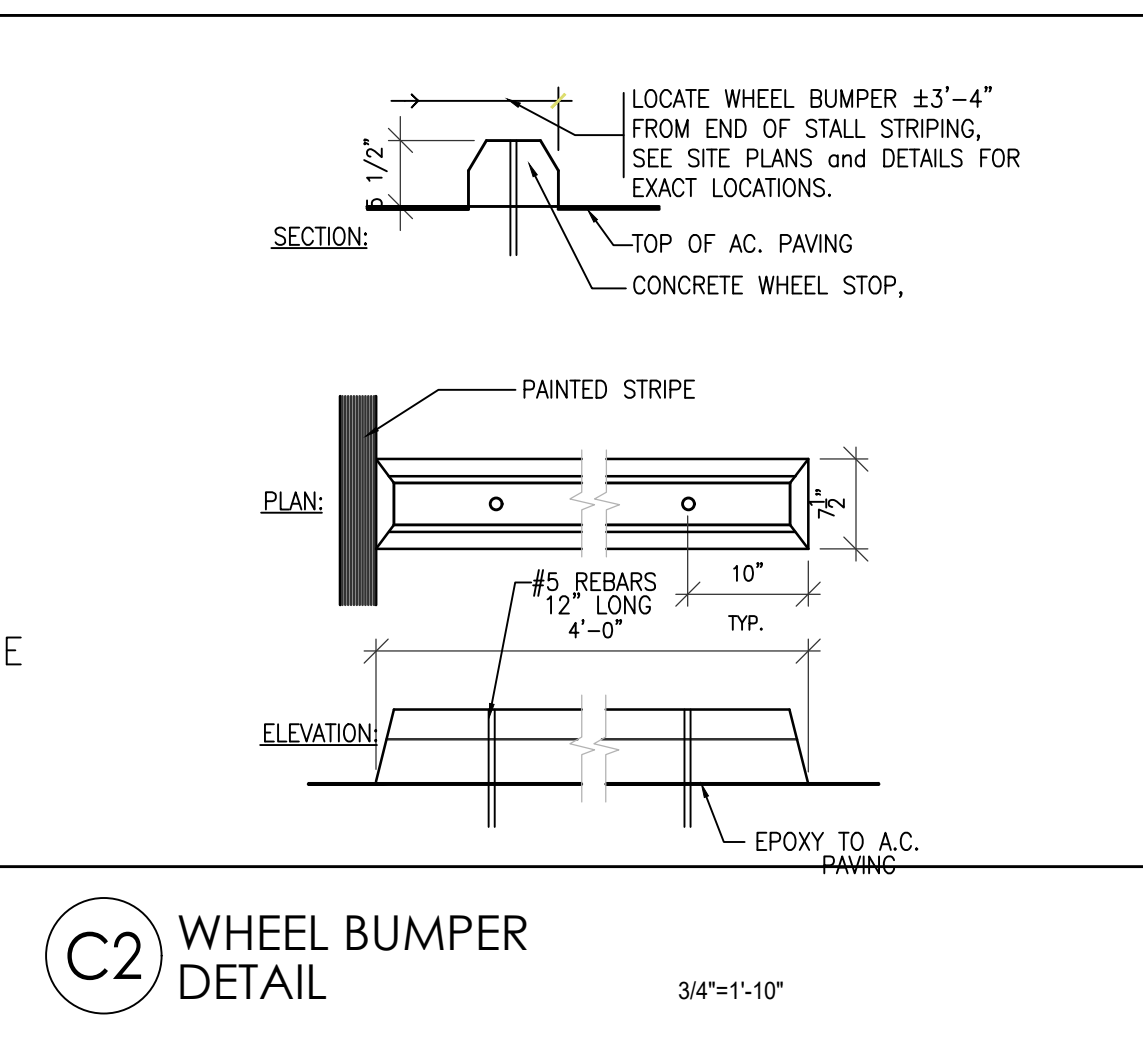
A-7 HC PARKING SIGNAGE (EXISTING) ELEVATIONS
3/4"=1'-0"



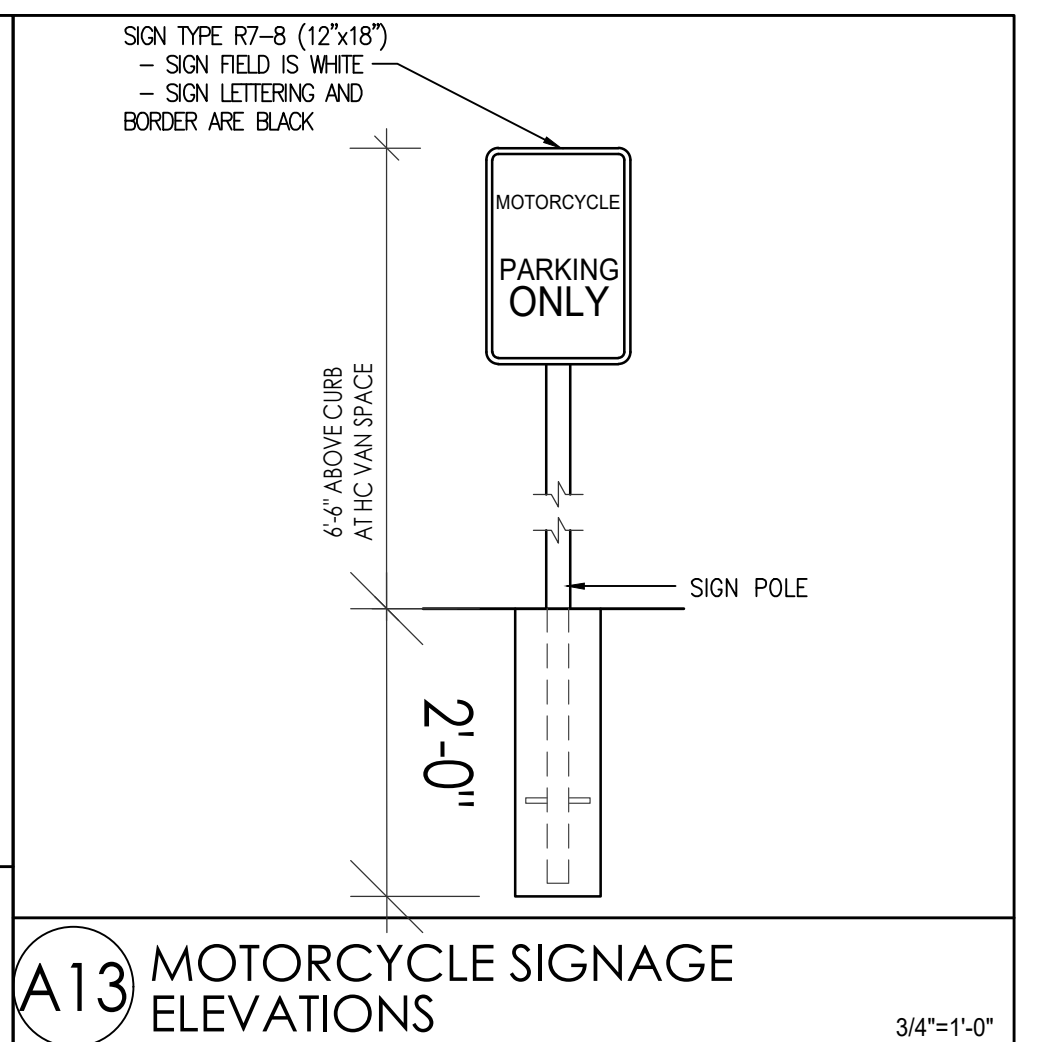
A-8 HC PARKING MARKING PLAN
3/4"=1'-0"



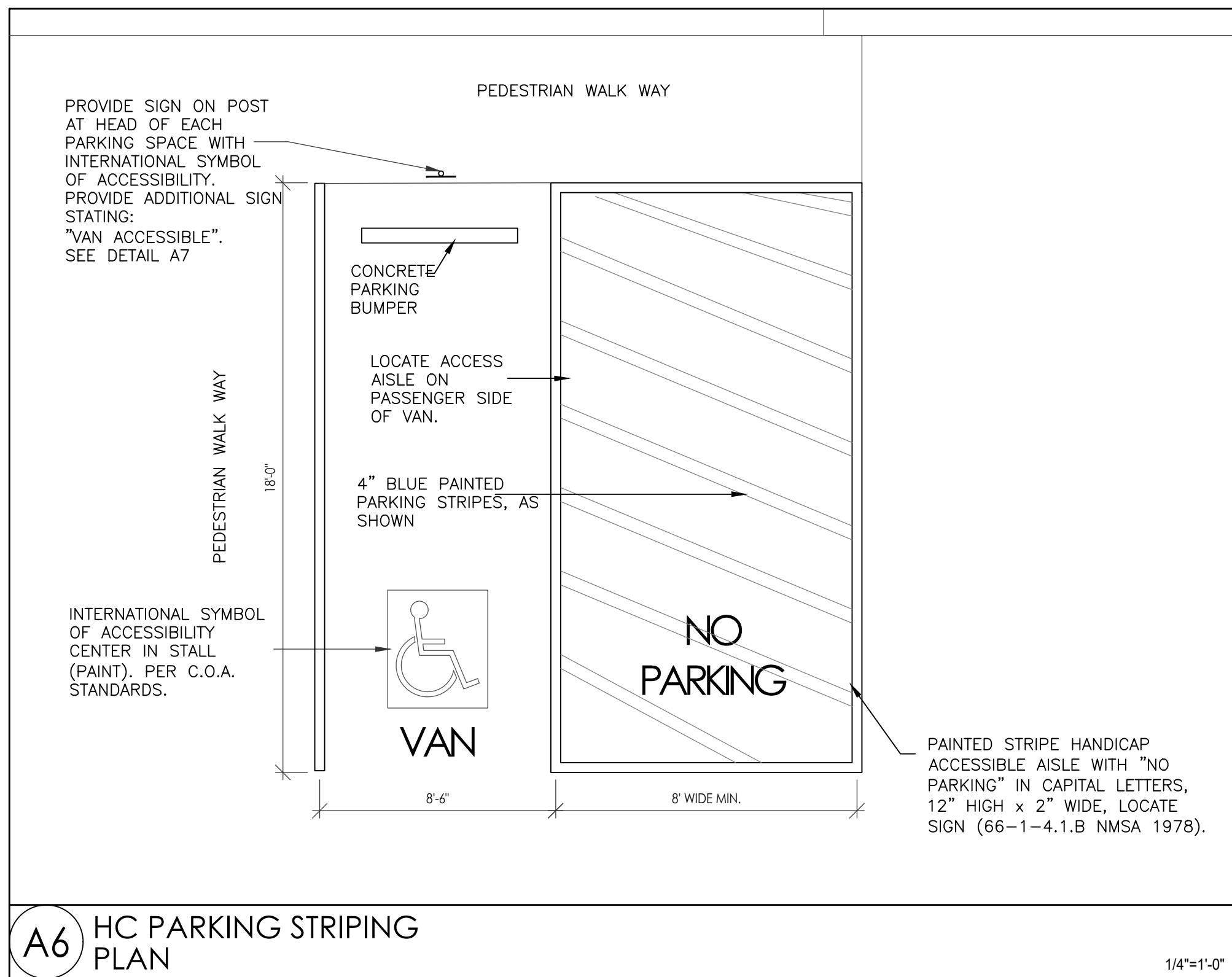
C1 BIKE RACK ELEVATION
3/4"=1'-0"



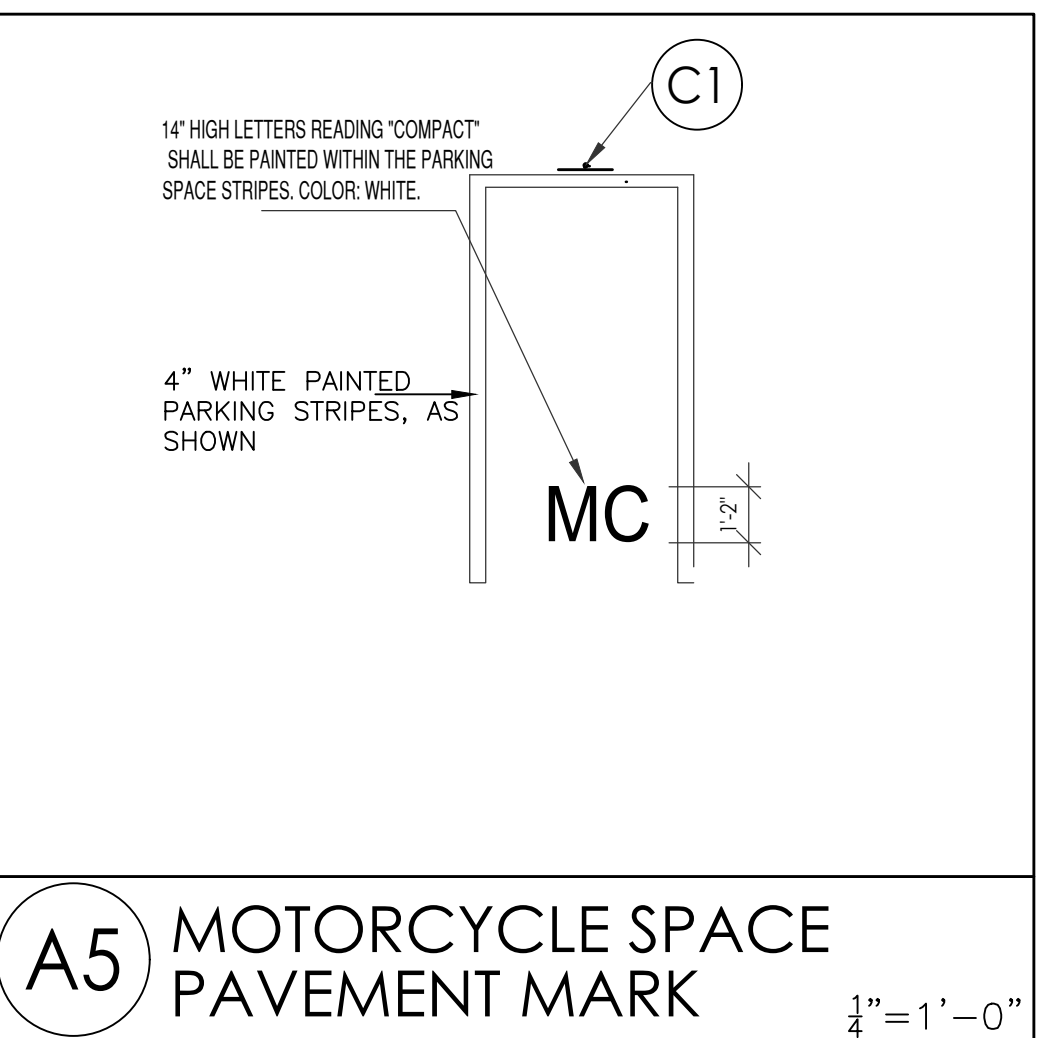
C2 WHEEL BUMPER DETAIL
3/4"=1'-10"



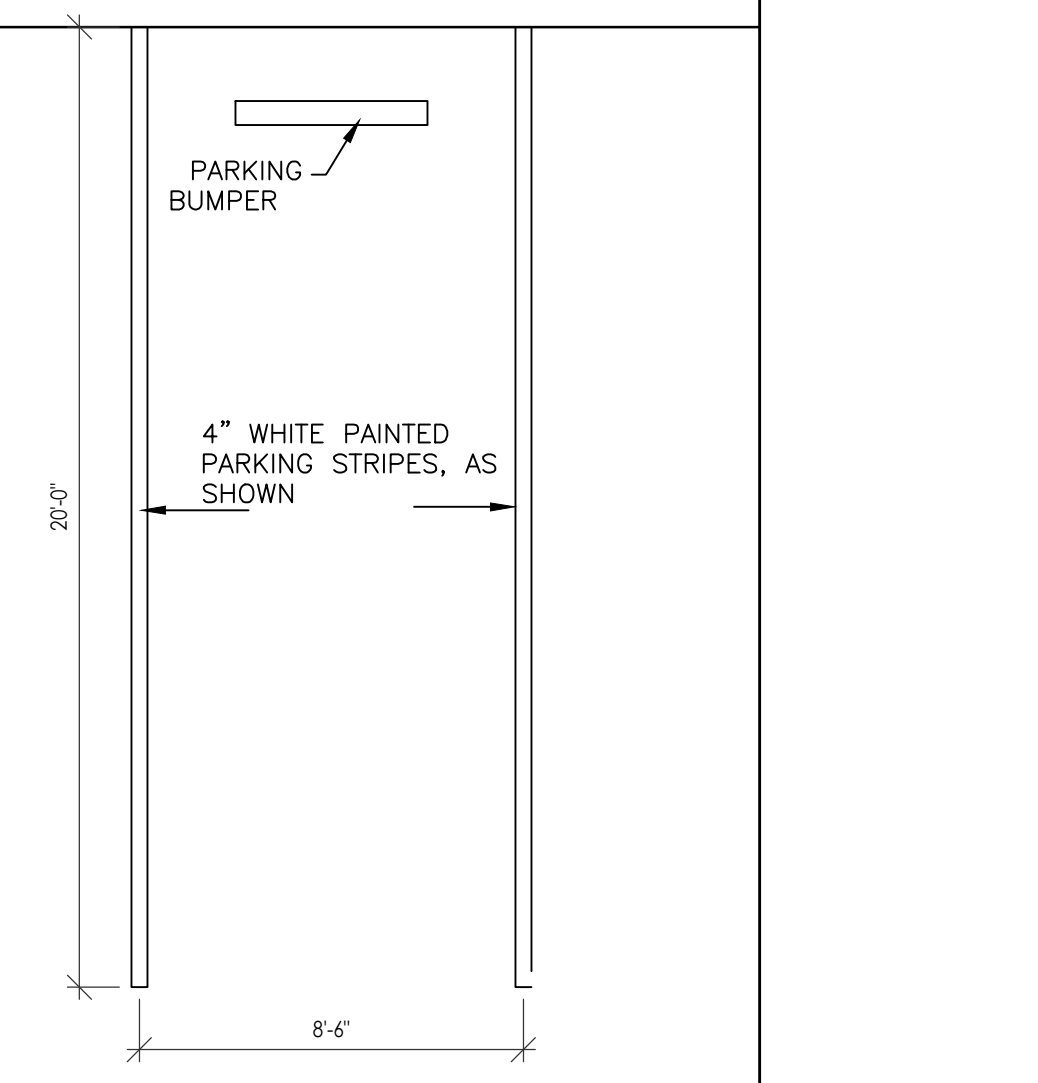
A13 MOTORCYCLE SIGNAGE ELEVATIONS
3/4"=1'-0"



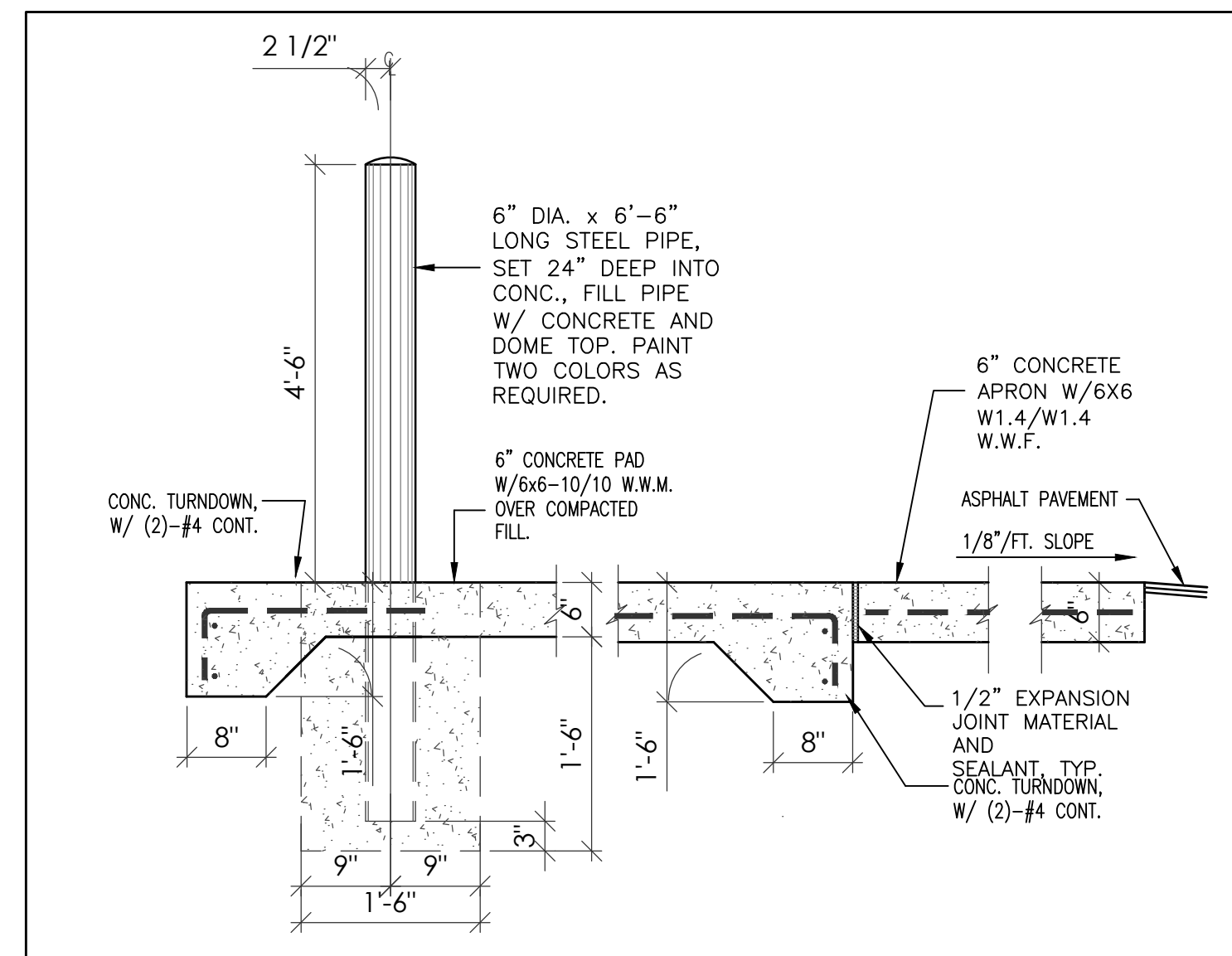
A6 HC PARKING STRIPING PLAN
1/4"=1'-0"



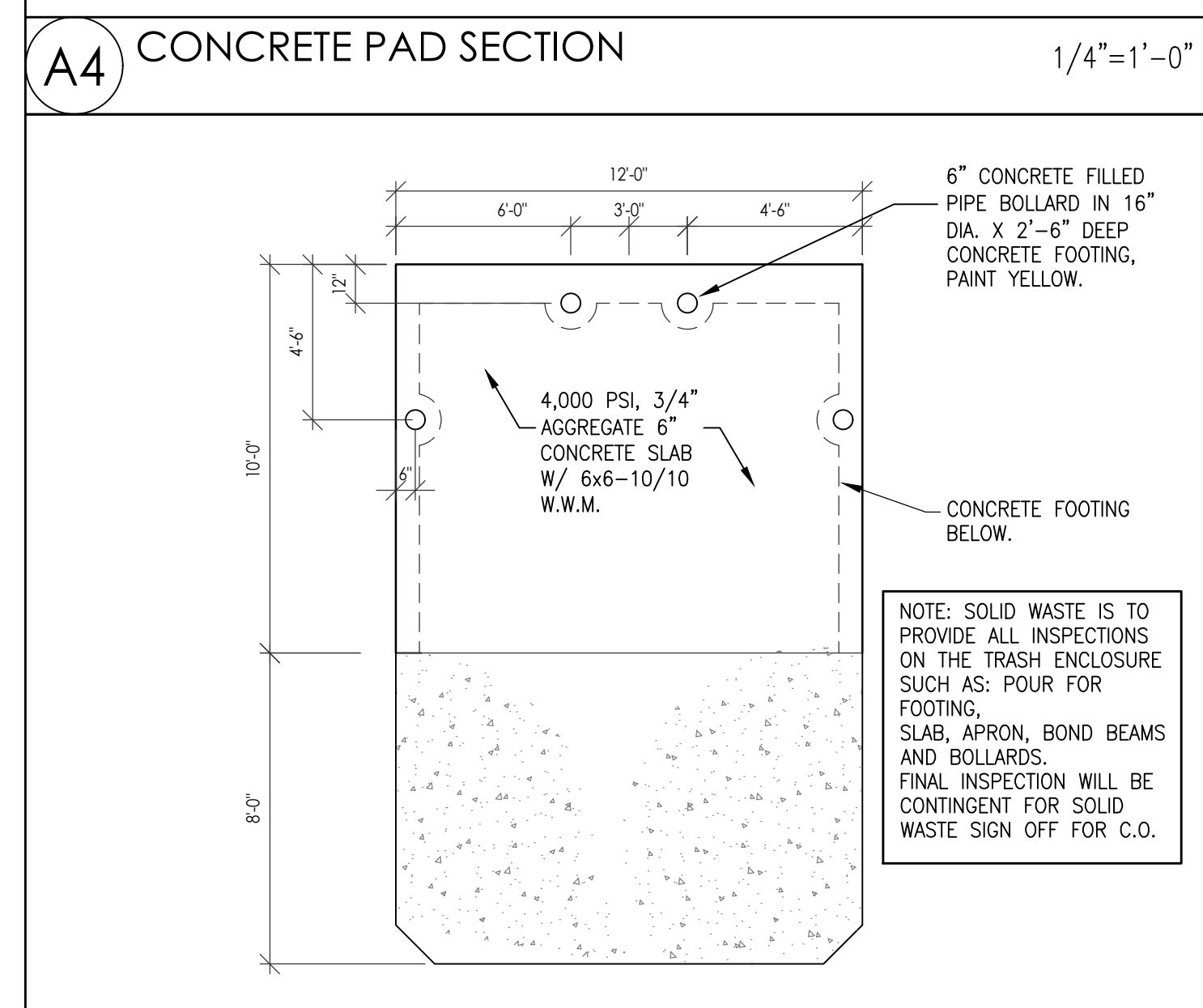
A5 MOTORCYCLE SPACE PAVEMENT MARK
1/2"=1'-0"



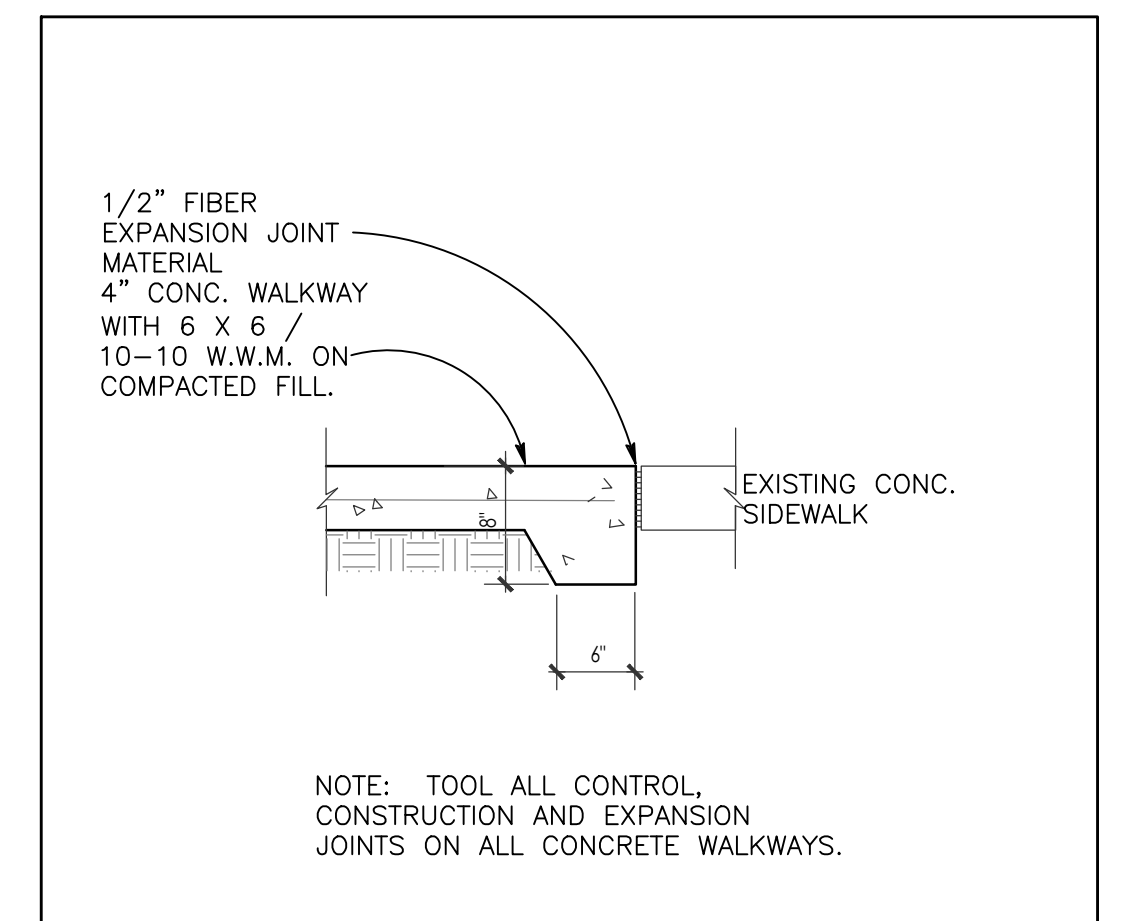
A9 4" WIDE PAINTED STRIPE DETAIL
1/2"=1'-10"



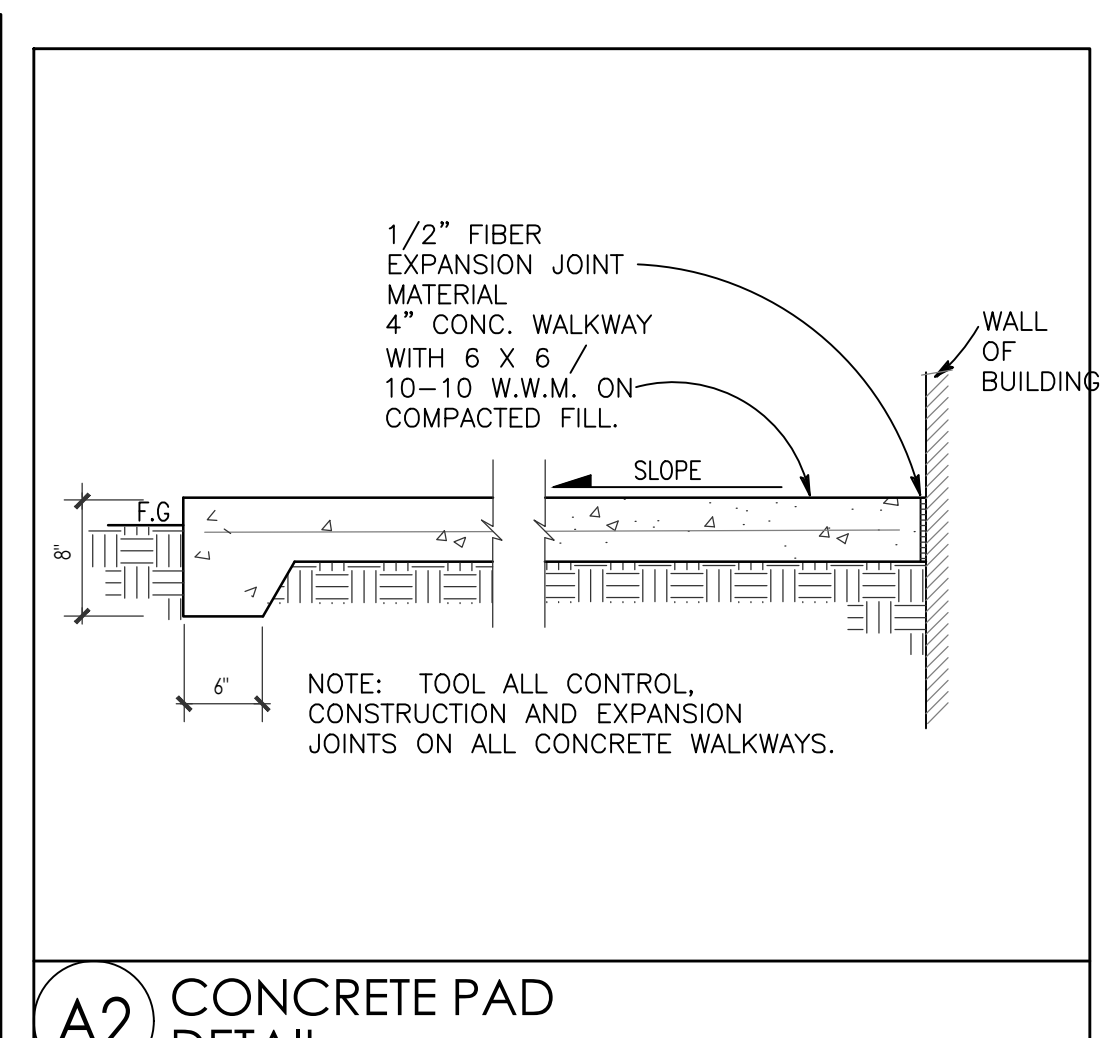
A4 CONCRETE PAD SECTION
1/4"=1'-0"



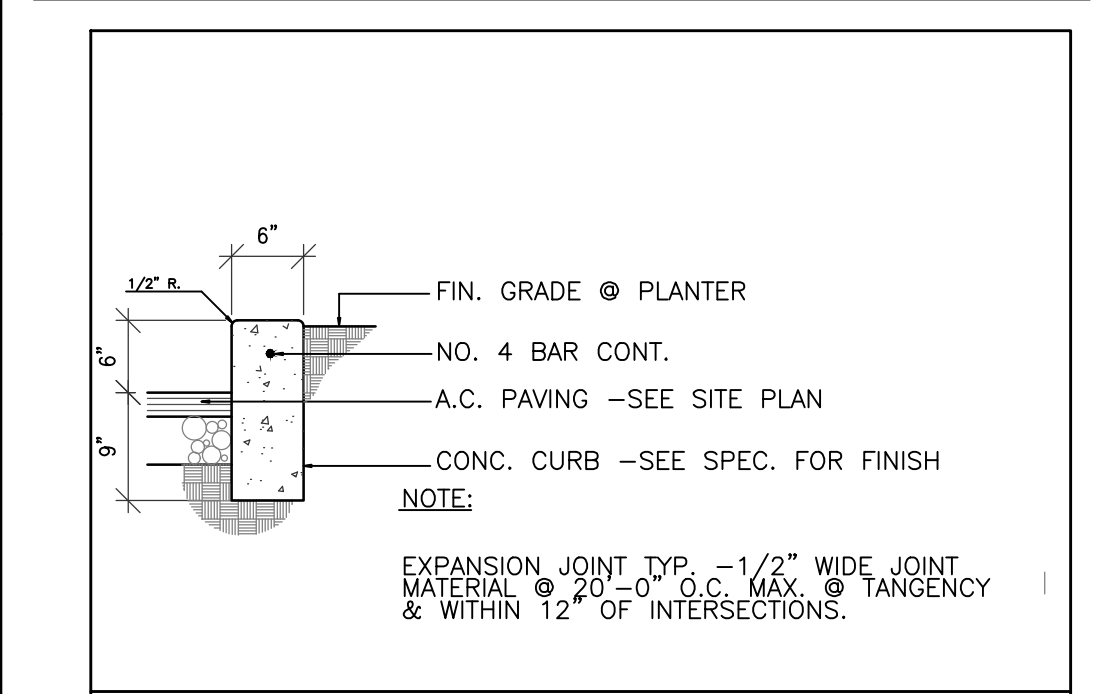
A1 REFUSE CONCRETE PAD PLAN
1/4"=1'-0"



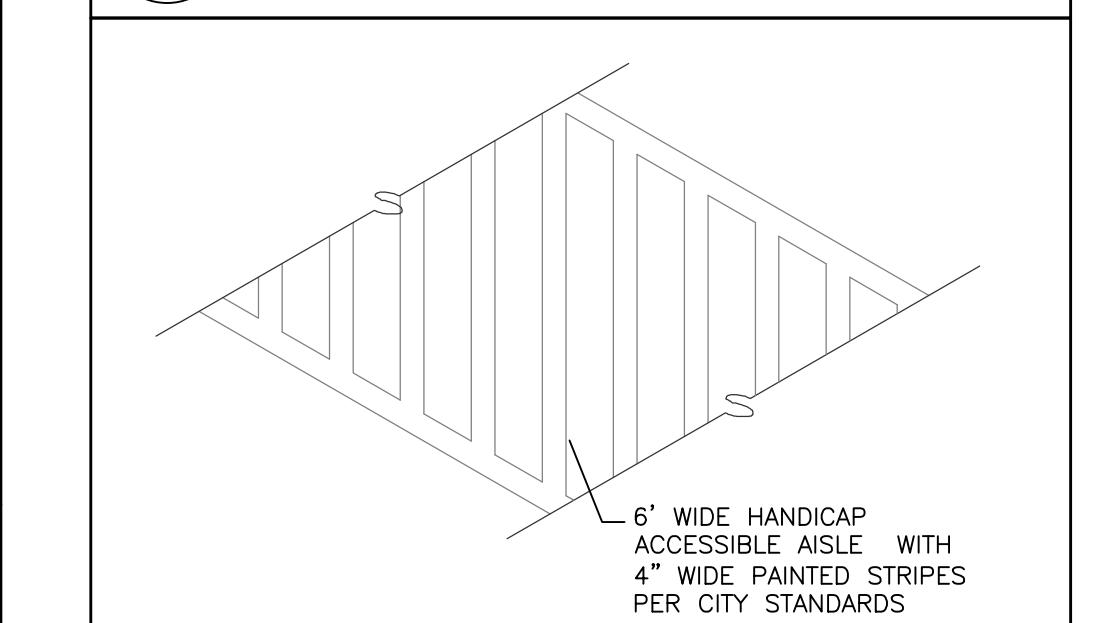
A2.1 CONCRETE PAD DETAIL
N.T.S.



A2 CONCRETE PAD DETAIL
N.T.S.



C3 CONCRETE CURB DETAIL
3/4"=1'-10"



A3 ACCESSIBLE AISLE
NOT TO SCALE

TRAFFIC CIRCULATION LAYOUT APPROVED
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Signed Date

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