

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

March 17, 2026

David Soule, P.E.  
Rio Grande Engineering  
P.O. Box 93924  
Albuquerque, NM 87199

**RE: 508 Aspen Ave NE**  
**Grading and Drainage Plan**  
**Engineer's Stamp Date: 03/10/2026**  
**Hydrology File: J14D213**  
**Case # HYDR-2026-00088**

Dear Mr. Soule:

Based upon the information provided in your submittal received 03/10/2026, the Grading and Drainage Plan **is not approved** for Grading Permit and Building Permit. The following comments need to be addressed for approval of the above referenced project.

PO Box 1293

Albuquerque

NM 87103

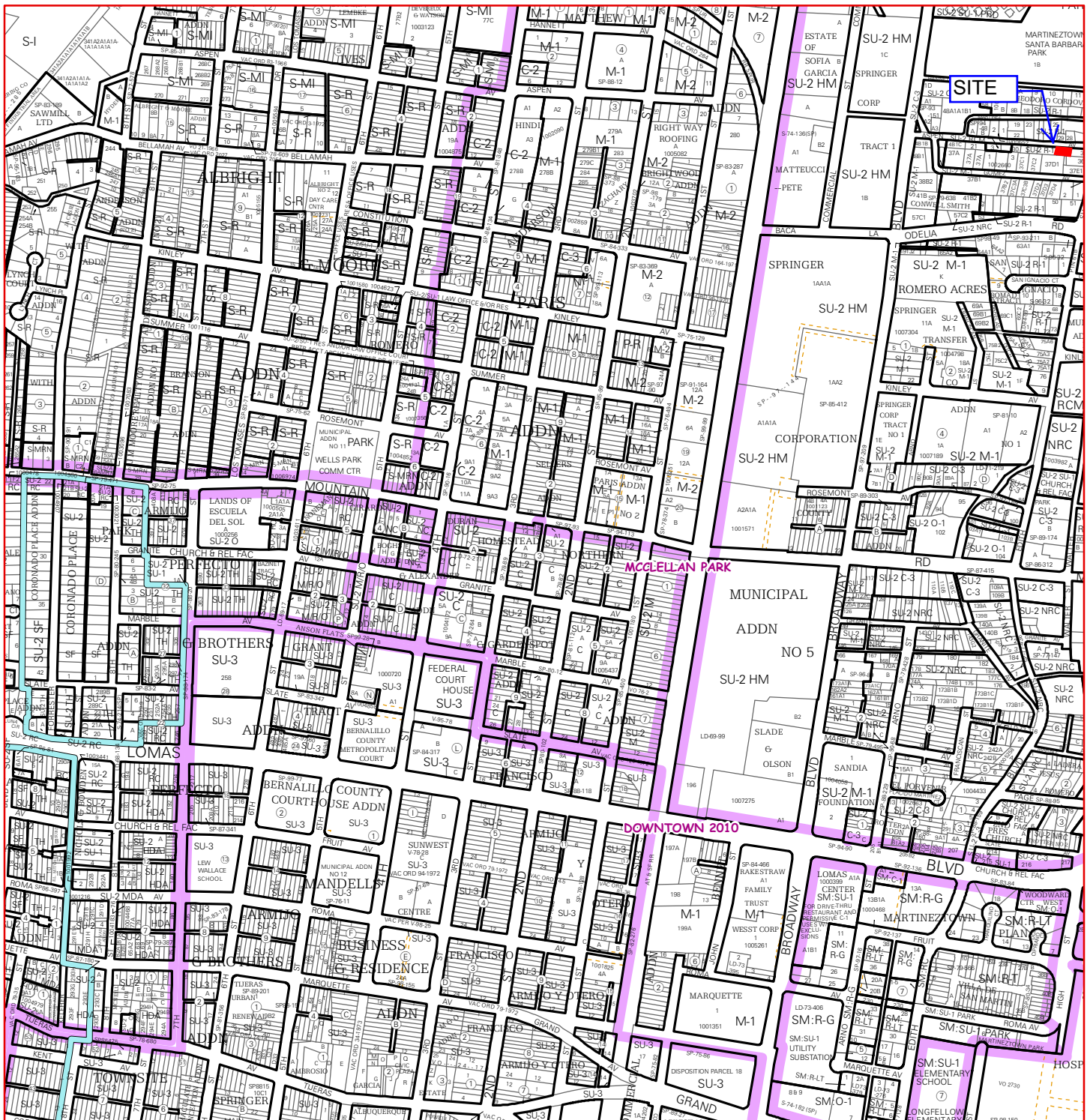
www.cabq.gov

1. Per the IDO, the property owner of the property is responsible for building the adjacent half of Aspen Ave. to include curb & gutter, and sidewalk. The project will have to go to the Development Facilitation Team (DFT) for approval of the Infrastructure List or submit for a Sidewalk Waiver if the intent is to defer the improvement to the future.
2. Please show the curb & gutter, and sidewalk on the plans.


If you have any questions, please contact me at 505-924-3995 or [baileythompson@cabq.gov](mailto:baileythompson@cabq.gov).

Sincerely,

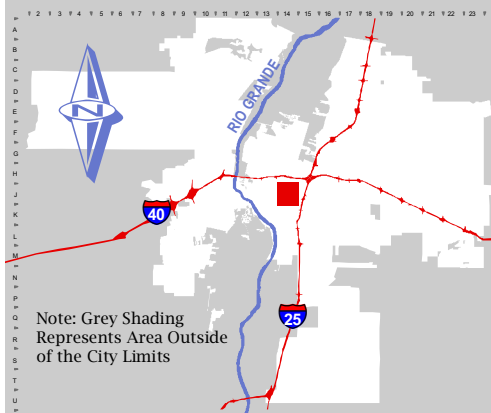
Bailey Thompson, E.I.T.  
Engineer Associate, Hydrology  
Planning Department, Development Review Services



For more current information and more details visit: <http://www.cabq.gov/gis>












Map amended through: 2/4/2010

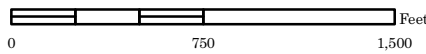


Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:  
**J-14-Z**

Selected Symbols

 SECTOR PLANS	 Escarpment
 Design Overlay Zones	 2 Mile Airport Zone
 City Historic Zones	 Airport Noise Contours
 H-1 Buffer Zone	 Wall Overlay Zone
 Petroglyph Mon.	



Weighted E Method

Basin	Area (sf)	Area (acres)	100-Year 6-hr.				100 yr 24-HOUR						
			Treatment A % (acres)	Treatment B % (acres)	Treatment C % (acres)	Treatment D % (acres)	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Volume (ac-ft)			
HISTORICAL	4740.00	0.109	0%	15%	0.016	46%	0.050	39%	0.042	1.503	0.014	0.38	0.016
PROPOSED	4740.00	0.109	0%	15%	0.016	36%	0.039	49%	0.053	1.633	0.015	0.39	0.018

Equations:

Weighted E = Ea\*Aa + Eb\*Ab + Ec\*Ac + Ed\*Ad / (Total Area)

Volume = Weighted D \* Total Area

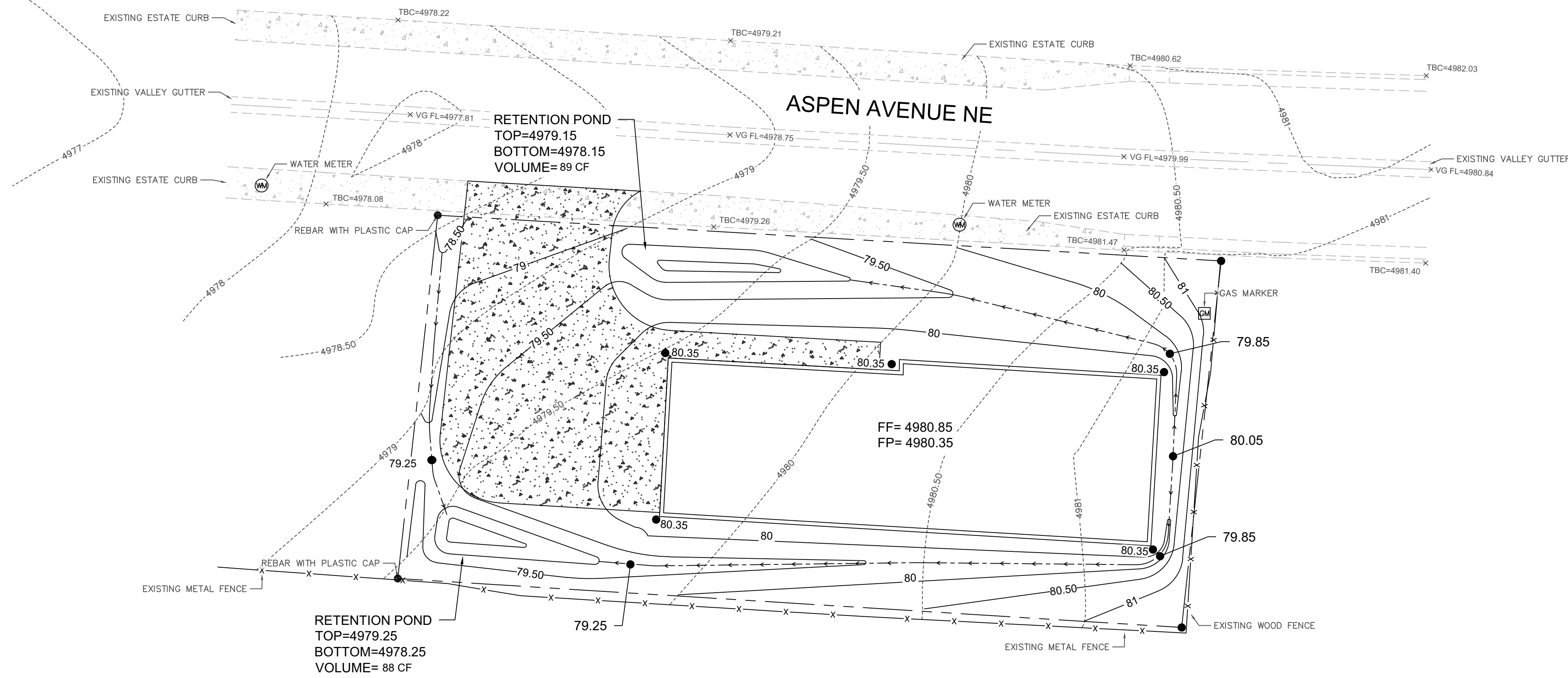
Flow = Qa \* Aa + Qb \* Ab + Qc \* Ac + Qd \* Ad

Where for 100-year, 6-hour storm(zone2)

Ea= 0.82	Qa= 1.71
Eb= 0.8	Qb= 2.36
Ec= 1.03	Qc= 3.05
Ed= 2.33	Qd= 4.34

Developed Conditions	TOTAL VOLUME GENERATED	RETAINED
DISCHARGE PROPOSED	0.39 CFS	800 CF
EXISTING DISCHARGE	0.38 CFS	717 CF
DIFFERENCE	0.01 CFS	82.95 CF
PONDING PROVIDED		177 CF

This site is an redevelopment of a previously developed lot. The site lies within the 1959 boundaries. The existing house was demolished at some point in the past (1959 areal on GIS shows). There is no master drainage plan for this area, all lots currently free discharge. The drainage solution is to retain 1/2" of rainfall for each square foot of impervious area of redevelopment



**CAUTION:**  
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



VICINITY MAP:



FIRM MAP:

LEGAL DESCRIPTION:

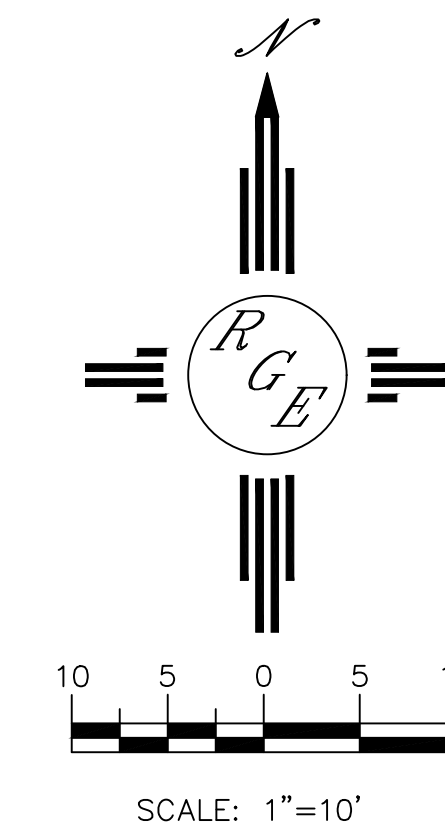
MAP 37 TRACT 33  
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
3. ANY PERIMETER WALLS MUST BE PERMITTED SEPARATELY ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
4. SURVEY INFORMATION PROVIDED BY JAMIE M. SOULE, P.L.S. #31529 COMMUNITY SCIENCES CORPORATION, MEASURED WITH THE "TRIMBLE VRS NOW" GNSS RTK VIRTUAL REFERENCE SYSTEM, NEW MEXICO STATE PLANE BEARINGS, CENTRAL ZONE 3002, NAD 83. ELEVATION DATUM NAVD88.
5. A PAD ELEVATION CERTIFICATION SHALL BE REQUIRED PRIOR TO RELEASE OF BUILDING PERMIT.

LEGEND

-----xxxx-----	EXISTING CONTOUR
-----xxxx-----	EXISTING INDEX CONTOUR
-----xxxx-----	PROPOSED CONTOUR
-----xxxx-----	PROPOSED INDEX CONTOUR
• xxxx	EXISTING SPOT ELEVATION
● xxxx	PROPOSED SPOT ELEVATION
-----	BOUNDARY
-----	ADJACENT BOUNDARY
=====	EXISTING CURB AND GUTTER
-----	PROPOSED EARTHEN SWALE
[Pattern]	PROPOSED CONCRETE
[Pattern]	PROPOSED COMPACTED EARTHEN BERM



ENGINEER'S SEAL	MAP 37 TRACT 33 508 ASPEN AVENUE NE	DRAWN BY MM
	GRADING AND DRAINAGE PLAN	DATE 3-9-2026
		SHEET # C1
DAVID SOULE P.E. #14522	RIO GRANDE ENGINEERING P.O. BOX 83824 ALBUQUERQUE, NM 87199 (505) 321-8099	JOB #