

# CITY OF ALBUQUERQUE



March 14, 2016

Scott McGee, PE  
Scott M. McGee PE, LLC  
9700 Tanoan Dr. NE  
Albuquerque, NM 87111

**Re: APS Career Enrichment Center  
807 Mountain Rd. NE  
Requested for Permanent C. O. - Accepted  
Engineers Stamp Date 12/3/14 (J15D001)  
Certification dated: 3-11-16**

Dear Mr. McGee,

Based on the Certification received on 3/11/2016, the site is acceptable for release of Certificate of Occupancy by Hydrology.

PO Box 1293

If you have any questions, you can contact me at 924-3686 or Totten Elliott at 924-3982.

Albuquerque

Sincerely,

New Mexico 87103

Abiel Carrillo, P.E.  
Principal Engineer, Planning Department  
Development and Review Services

[www.cabq.gov](http://www.cabq.gov)

TE/AC

C: CO Clerk, Cordova, Camille C.; Miranda, Rachel; Sandoval, Darlene M.;  
Blocker, Lois

GRADING NOTE

ALL PROPOSED GRADES SHOWN ON LANDSCAPE AREAS REPRESENT FINISH GRADE. SUBGRADE SHALL BE 4" LOWER TO ALLOW FOR XERIC LANDSCAPE SURFACING TO BE INSTALLED BY OTHERS.

LEGEND

- EXISTING CONTOUR LINE
- NEW CONTOUR LINE
- TC  
FL TOP OF CURB  
FLOW LINE
- FF = 5025.82 FINISH FLOOR ELEVATION
- 25.4 SPOT ELEVATION
- LEED BOUNDARY
- X 24.8 AS-BUILT ELEVATION

KEYED NOTES

- A. BUILD NEW 6" HIGH MEDIAN CURB & GUTTER PER COA STD DWG NO. 2415B.
- B. BUILD NEW 2' WIDE CONCRETE ALLEY GUTTER PER COA STD DWG NO. 2411.
- C. BUILD NEW CURB ACCESS AT MAXIMUM 2% SLOPE AS SHOWN WITH TACTILE WARNING STRIP PER ADA.
- D. BUILD NEW 13' WIDE BY 5' DEEP DRIVEPAD WITH 3' FLARES PER COA STD DWG NO. 2425.
- E. PLACE 3" ASPHALT PAVEMENT OVER 6" AGGREGATE BASE COURSE OVER COMPACTED SUBGRADE.
- F. BUILD NEW 8" ADS INLINE DRAIN BASIN WITH DOMED GRATE.
- G. BUILD NEW 8" ADS DRAIN BASIN WITH DOMED GRATE AND 8" CONNECTOR PIPE TO ROOF DRAIN LINE AS SHOWN.

DRAINAGE FACILITIES WITHIN CITY  
RIGHT-OF-WAY NOTICE TO CONTRACTOR

1. An excavation permit will be required before beginning any work within City Right-Of-Way.
2. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
3. Two working days prior to any excavation, the contractor must contact the line locating service, New Mexico One Call 260-1990, (NM one call "811") for the location of existing utilities.
4. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to traffic/street use.
6. Maintenance of the facility shall be the responsibility of the owner of the property being served.
7. Work on arterial streets shall be performed on a 24-hour basis.

VICINITY MAP

J-15

DRAINAGE

LEGAL: A southerly portion of the tract BOARD OF EDUCATION (aka Career Enrichment Center)

AREA: LEED boundary portion of site this project -- 0.77 acres (33,525 sf)

BENCHMARK: ACS brass disk "9-115 1990" set on the north side of Lomas Blvd NE approximately 244' west of Legion Road NE.  
ELEV= 5093.057 (NAVD 1988)

TBM: a #5 rebar with cap as shown in the northwest corner of the site.  
ELEV= 5026.87 (NAVD 1988)

SURVEYOR: High Mesa Consulting Group dated March, 2013

FLOOD HAZARD: From FEMA Panel 35001C0332G (09/26/2008), this site is identified as being within Zone 'X' which is outside the 0.2% annual chance floodplain.

EXISTING CONDITIONS: The site is an existing school facility. The land west of the existing building to the existing asphalt access road is the area of the site affected. This area is presently four portable classroom buildings, dirt/gravel surfacing, and asphalt walkways that slope down from northeast to southwest.

FIRST FLUSH:  $Q=(0.44-0.10)(18,295)/12= 518$  CF  
This volume will be provided in the detention pond located at the SW corner of the site as the storage depth of 1.4' provides 532 CF storage volume.

OFFSITE FLOWS: A portion of the existing building roof (6,000 SF), discharges runoff north which then flows west and passes through a curb opening north of the building. This drainage continues west through the landscaped area north of the addition.

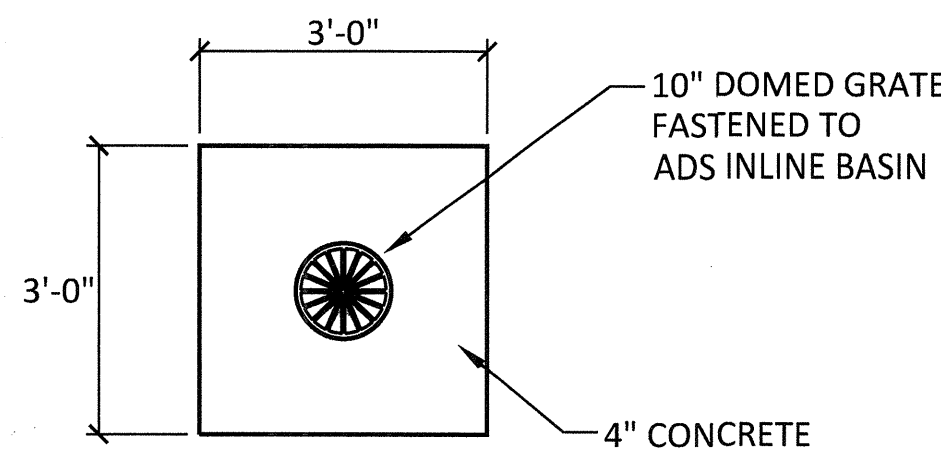
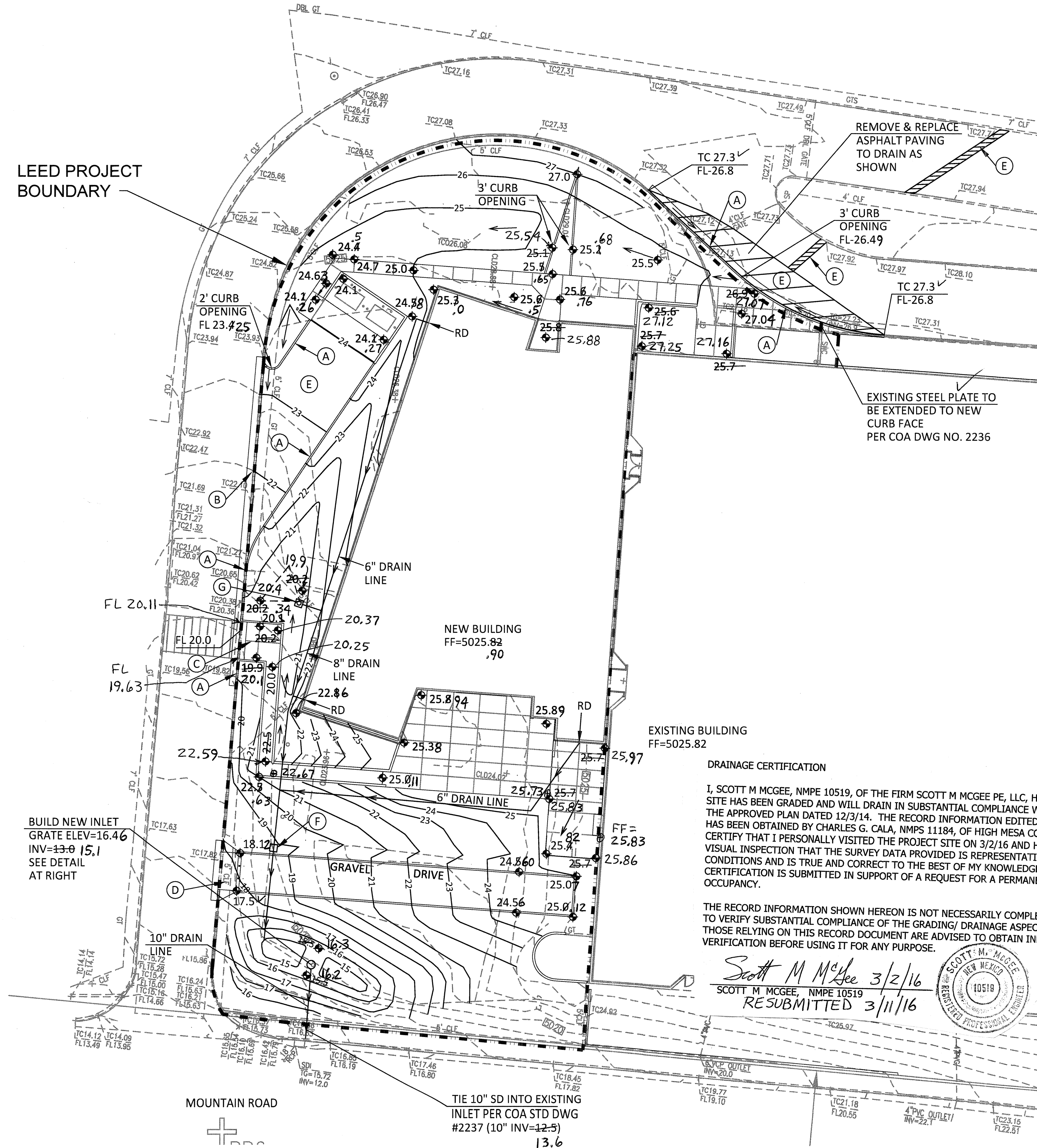
PROPOSED IMPROVEMENTS: The proposed addition is a 20,900 sf (2-story) building addition located adjacent to the west side of the existing building.

DRAINAGE APPROACH: The proposed drainage plan will follow historic flow paths and the approved Grading Plan. Building roof runoff will discharge to the west and south sides of the building. Site runoff will discharge in two different ways. The refuse access drive will surface flow south. The proposed roof area will discharge below grade and be piped to the proposed detention pond. Depressed landscape areas will convey surface flow along the west and south sides of the building to proposed area drains. The pond will discharge through a piped connection to an existing drop inlet on the north side of Mountain Road.

HYDROLOGY: For precipitation Zone 2 with 62% C & 38% D land treatment  
Existing  $Q= (0.477)(3.14)+(0.293)(4.70)= 2.9$  CFS

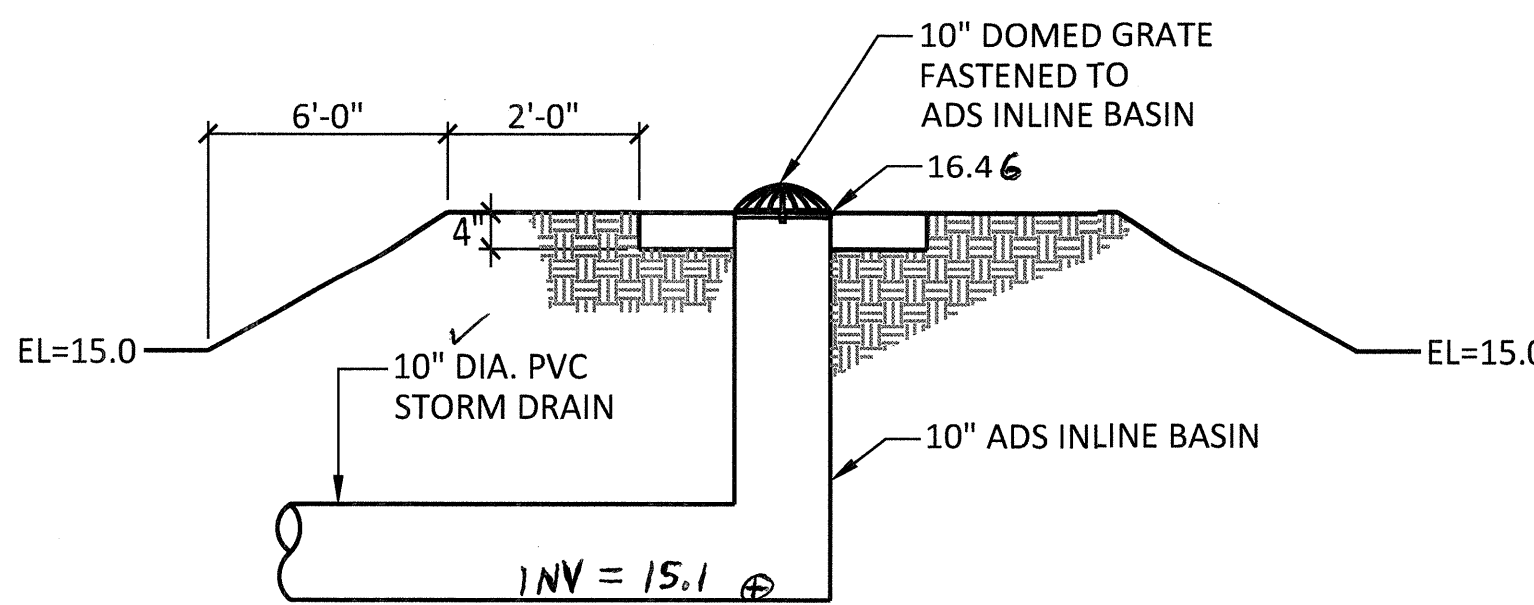
The proposed building, impervious plaza area, and walks are 55% of the area with the balance of the site considered as land treatment type 'C'. A subsequent APS project will landscape this site with 100% xeric surfacing. Proposed  $Q= (0.35)(3.14)+(0.42)(4.70)= 3.1$  CFS

This minor runoff increase (0.2 CFS) will not have an adverse impact on downstream drainage facilities.



1 INLET PLAN

NTS



2 INLET SECTION

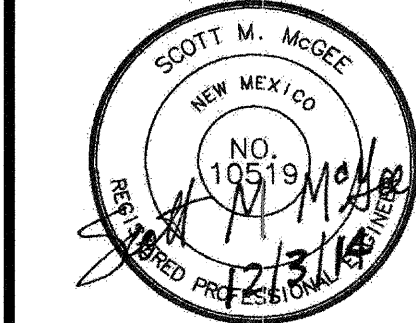
NTS

GRADING PLAN

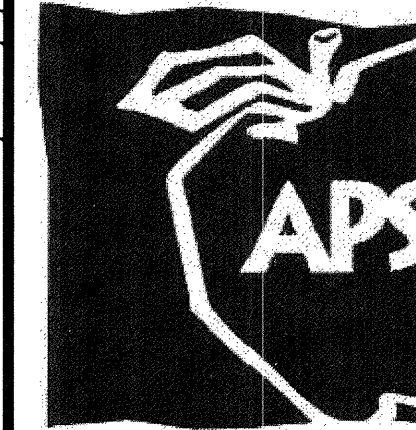
1" = 20 FT

0 20' 40'

LEE GAMELSKY ARCHITECTS P.C.  
2412 MILES ROAD SE  
ALBUQUERQUE, NM 87106  
505.842.8865 FAX 842.1693  
office@lganm.com



ALBUQUERQUE PUBLIC SCHOOLS  
CAREER ENRICHMENT CENTER  
807 MOUNTAIN RD. NE  
ALBUQUERQUE, NEW MEXICO 87102



MARK DATE DESCRIPTION

DATE: 12/08/2014

LGA PROJECT NO: 13-06-APS

APS PROJECT NO: 592.5107.31131

CAD DWG FILE:  
MG-1401\_C101\_C102.DWG

DRAWN BY: CB

CHK'D BY: SMM

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LEE GAMELSKY ARCHITECTS P.C.

GRADING  
PLAN

C-101

SHEET 6 OF 133





# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: APS CAREER ENRICHMENT CENTER Building Permit #: \_\_\_\_\_ City Drainage #: J-15-D001  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: \_\_\_\_\_  
City Address: 807 MOUNTAIN RD NE  
Engineering Firm: SMMPE, LLC Contact: SCOTT MCGEE  
Address: 9700 TANDAN DR NE  
Phone#: 263-2905 Fax#: \_\_\_\_\_ E-mail: scottmcmgee@gmail.com  
Owner: APS Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_  
Architect: LEE GAMELSKY Contact: LEE GAMELSKY  
Address: 2412 MILES RD SE  
Phone#: 239-8368 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_  
Other Contact: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Check all that Apply:

### DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

### TYPE OF SUBMITTAL:

- ☒ ENGINEER/ ARCHITECT CERTIFICATION

- ☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR  
  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: X Yes RESUBMITTED  
No 3/11/16

DATE SUBMITTED: 3/3/16 By: SCOTT MCGEE

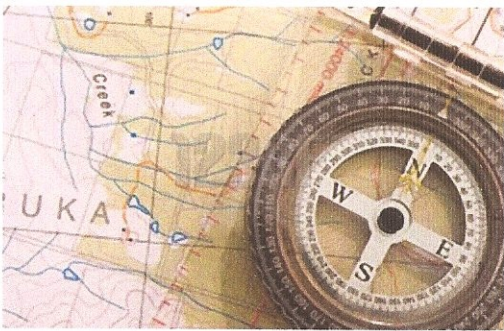
### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY  
  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING

☐ OTHER (SPECIFY) \_\_\_\_\_

COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_



**SCOTT M MCGEE PE, LLC**  
**CIVIL ENGINEER**

March 11, 2016

Ms. Rita Harmon, PE  
Senior Engineer, Planning Dept.  
Development Review Services  
600 2<sup>nd</sup> Street NW, Ste. 201  
Albuquerque, NM 87102

RE: APS Career Enrichment Center (J-15/D001)

Dear Ms. Harmon,

Thank you for your review comments of March 8, which have been addressed as follows:

1. The Contractor has installed the steel plate extension where the sidewalk was widened on the north side of the existing building.
2. The Contractor is available onsite to allow you access to the fenced off area to confirm the roof drain location.
3. The Contractor has addressed the valve box cover identified as a hazard.

Please contact me if you have additional questions. Thank you.

A handwritten signature in black ink that reads 'Scott M McGee'. The signature is written in a cursive style with a horizontal line underneath.

Scott M McGee