

# CITY OF ALBUQUERQUE



March 14, 2016

Scott McGee, PE  
Scott M. McGee PE, LLC  
9700 Tanoan Dr. NE  
Albuquerque, NM 87111

**Re: APS Career Enrichment Center  
807 Mountain Rd. NE  
Requested for Permanent C. O. - Accepted  
Engineers Stamp Date 12/3/14 (J15D001)  
Certification dated: 3-11-16**

Dear Mr. McGee,

Based on the Certification received on 3/11/2016, the site is acceptable for release of Certificate of Occupancy by Hydrology.

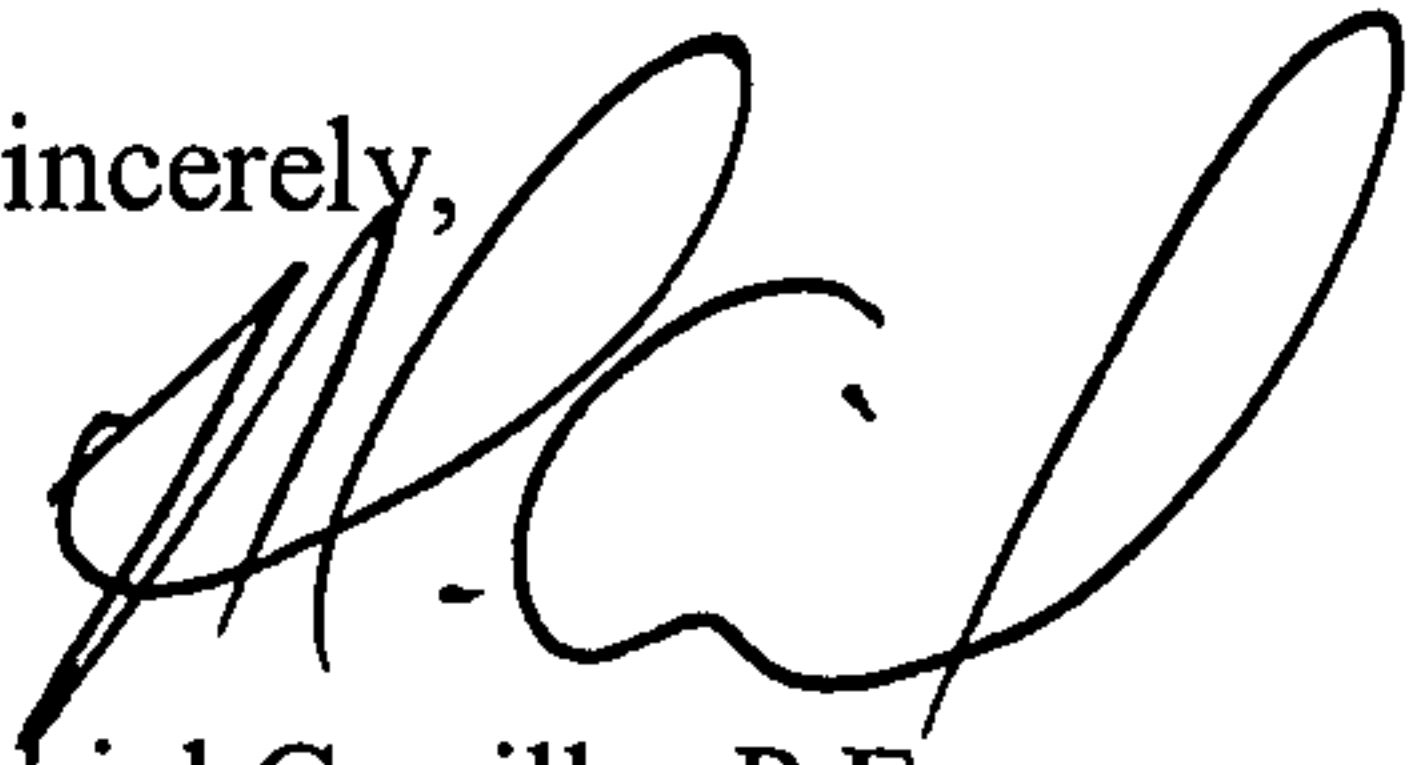
PO Box 1293

If you have any questions, you can contact me at 924-3686 or Totten Elliott at 924-3982.

Albuquerque

Sincerely,

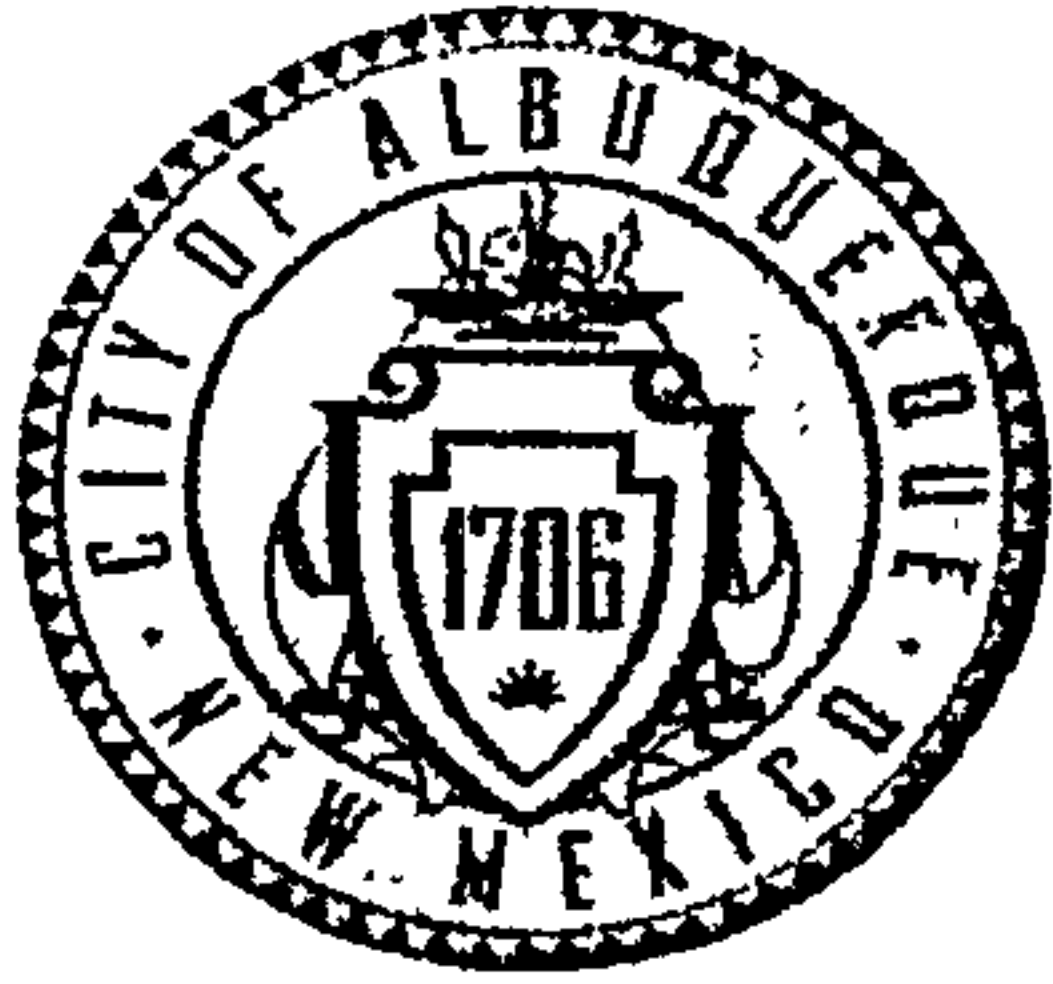
New Mexico 87103

  
Abiel Carrillo, P.E.  
Principal Engineer, Planning Department  
Development and Review Services

[www.cabq.gov](http://www.cabq.gov)

TE/AC

C: CO Clerk, Cordova, Camille C.; Miranda, Rachel; Sandoval, Darlene M.;  
Blocker, Lois



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: APS CAREER ENRICHMENT CENTER Building Permit #: \_\_\_\_\_ City Drainage #: J-15-D001  
 DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
 Legal Description: \_\_\_\_\_  
 City Address: 807 MOUNTAIN RD NE  
 Engineering Firm: SMMPE, LLC Contact: SCOTT MCGEE  
 Address: 9700 TANDAN DR NE  
 Phone#: 263-2905 Fax#: \_\_\_\_\_ E-mail: scottmccgee@gmail.com  
 Owner: APS Contact: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_  
 Architect: LEE GAMELSKY Contact: LEE GAMELSKY  
 Address: 2412 MILES RD SE  
 Phone#: 239-8368 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_  
 Other Contact: \_\_\_\_\_ Contact: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

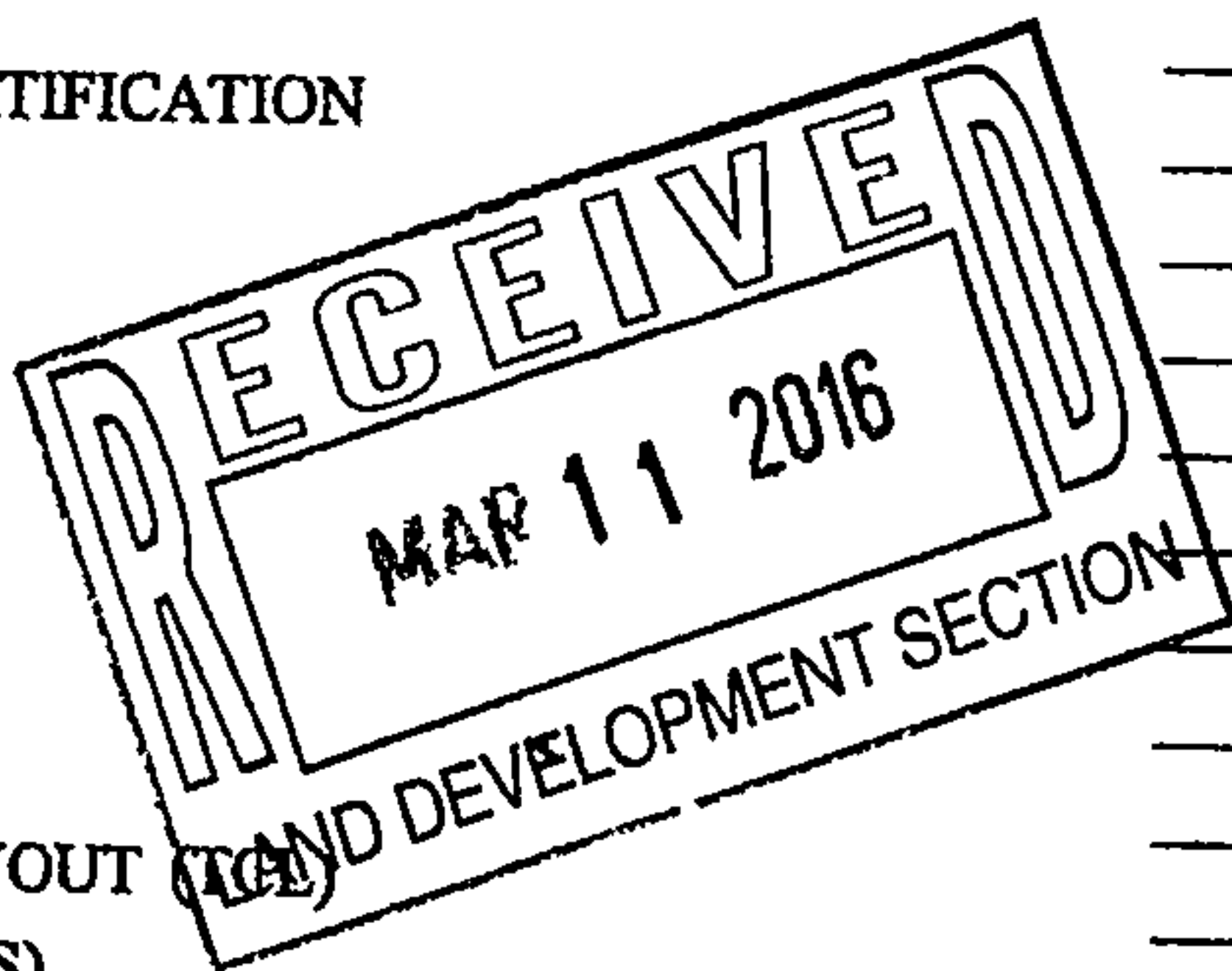
Check all that Apply:

- DEPARTMENT:  
 HYDROLOGY/DRAINAGE  
 TRAFFIC/TRANSPORTATION  
 MS4/ EROSION & SEDIMENT CONTROL

- CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:  
 BUILDING PERMIT APPROVAL  
 CERTIFICATE OF OCCUPANCY

- TYPE OF SUBMITTAL:  
 ENGINEER/ARCHITECT CERTIFICATION  
 CONCEPTUAL G & D PLAN  
 GRADING PLAN  
 DRAINAGE MASTER PLAN  
 DRAINAGE REPORT  
 CLOMR/LOMR  
 TRAFFIC CIRCULATION LAYOUT (TCL)  
 TRAFFIC IMPACT STUDY (TIS)  
 EROSION & SEDIMENT CONTROL PLAN (ESC)

- PRELIMINARY PLAT APPROVAL  
 SITE PLAN FOR SUB'D APPROVAL  
 SITE PLAN FOR BLDG. PERMIT APPROVAL  
 FINAL PLAT APPROVAL  
 SIA/RELEASE OF FINANCIAL GUARANTEE  
 FOUNDATION PERMIT APPROVAL  
 GRADING PERMIT APPROVAL  
 SO-19 APPROVAL  
 PAVING PERMIT APPROVAL  
 GRADING/PAD CERTIFICATION  
 WORK ORDER APPROVAL  
 CLOMR/LOMR

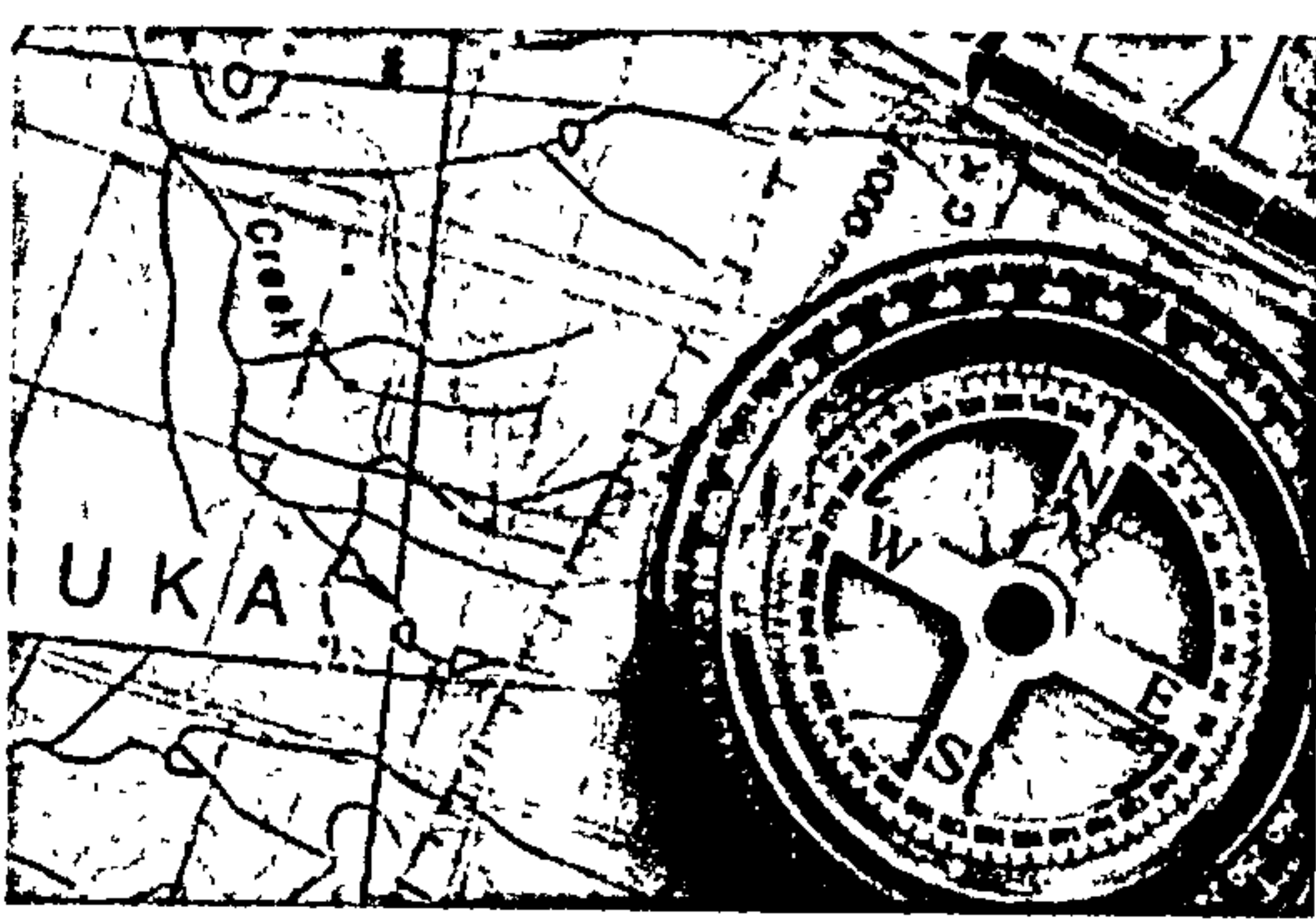


OTHER (SPECIFY) \_\_\_\_\_  
 IS THIS A RESUBMITTAL?:  Yes  No RESUBMITTED 3/11/16

- PRE-DESIGN MEETING  
 OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: 3/3/16 By: SCOTT MCGEE

COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_



**SCOTT M MCGEE PE, LLC**  
**CIVIL ENGINEER**

March 11, 2016

Ms. Rita Harmon, PE  
Senior Engineer, Planning Dept.  
Development Review Services  
600 2<sup>nd</sup> Street NW, Ste. 201  
Albuquerque, NM 87102

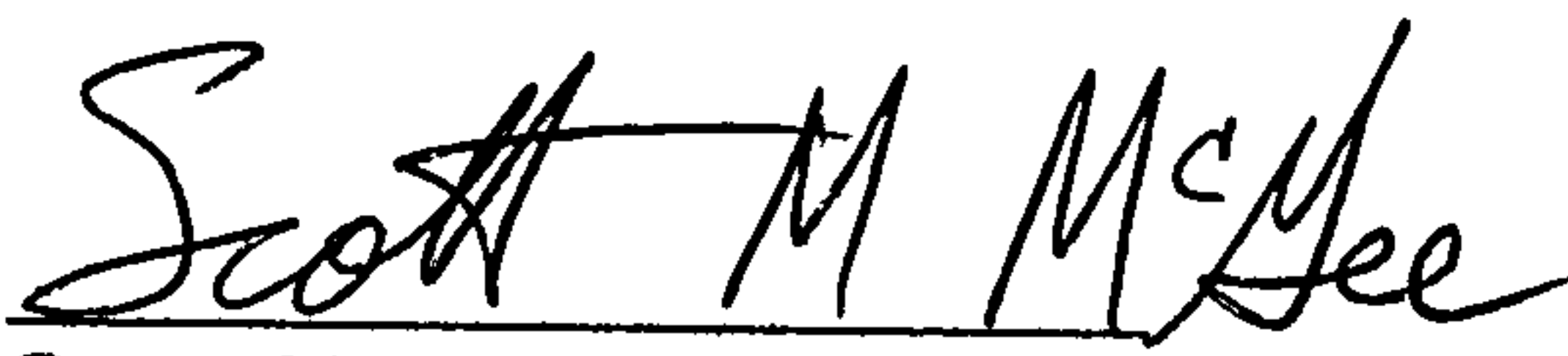
RE: APS Career Enrichment Center (J-15/D001)

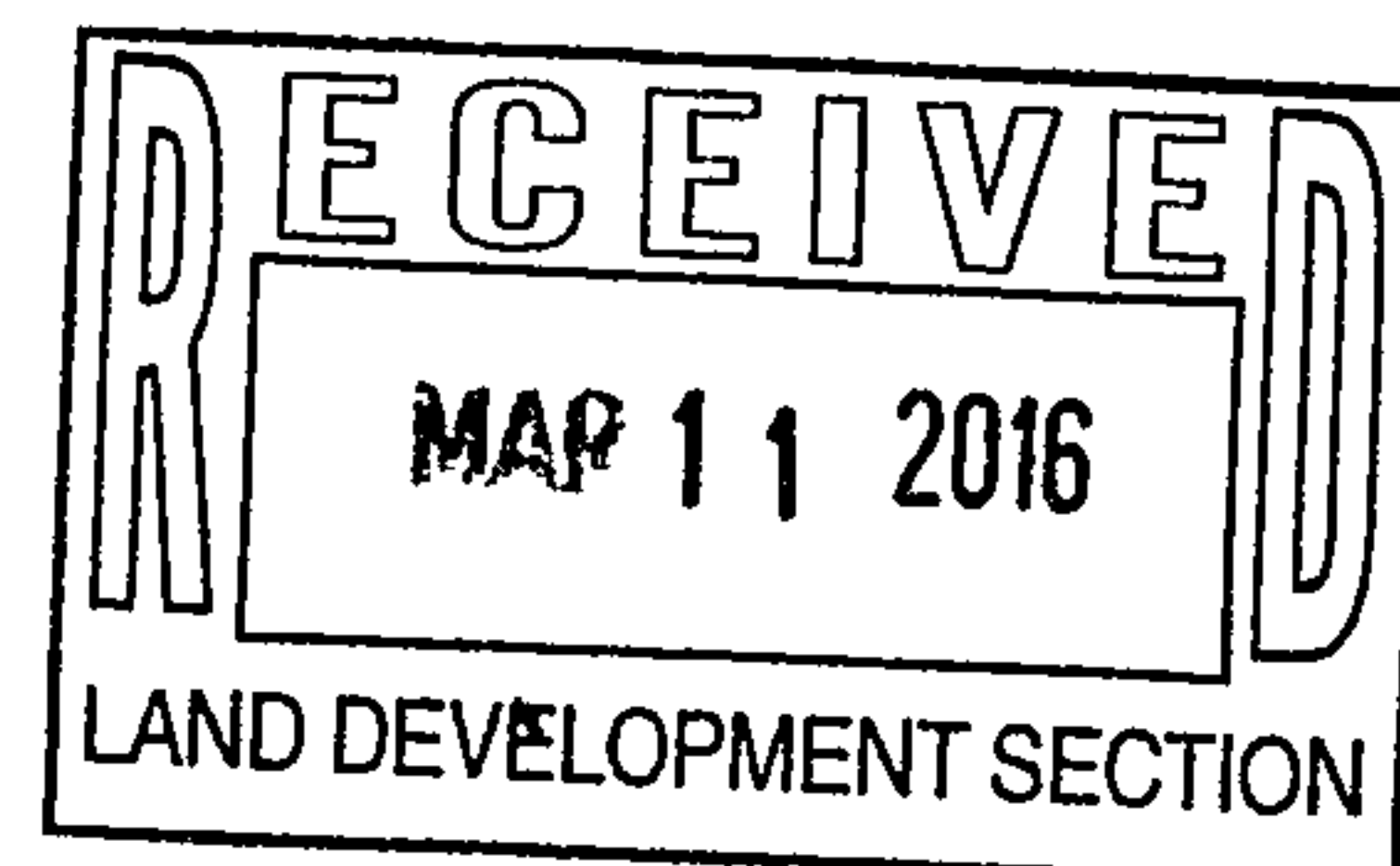
Dear Ms. Harmon,

Thank you for your review comments of March 8, which have been addressed as follows:

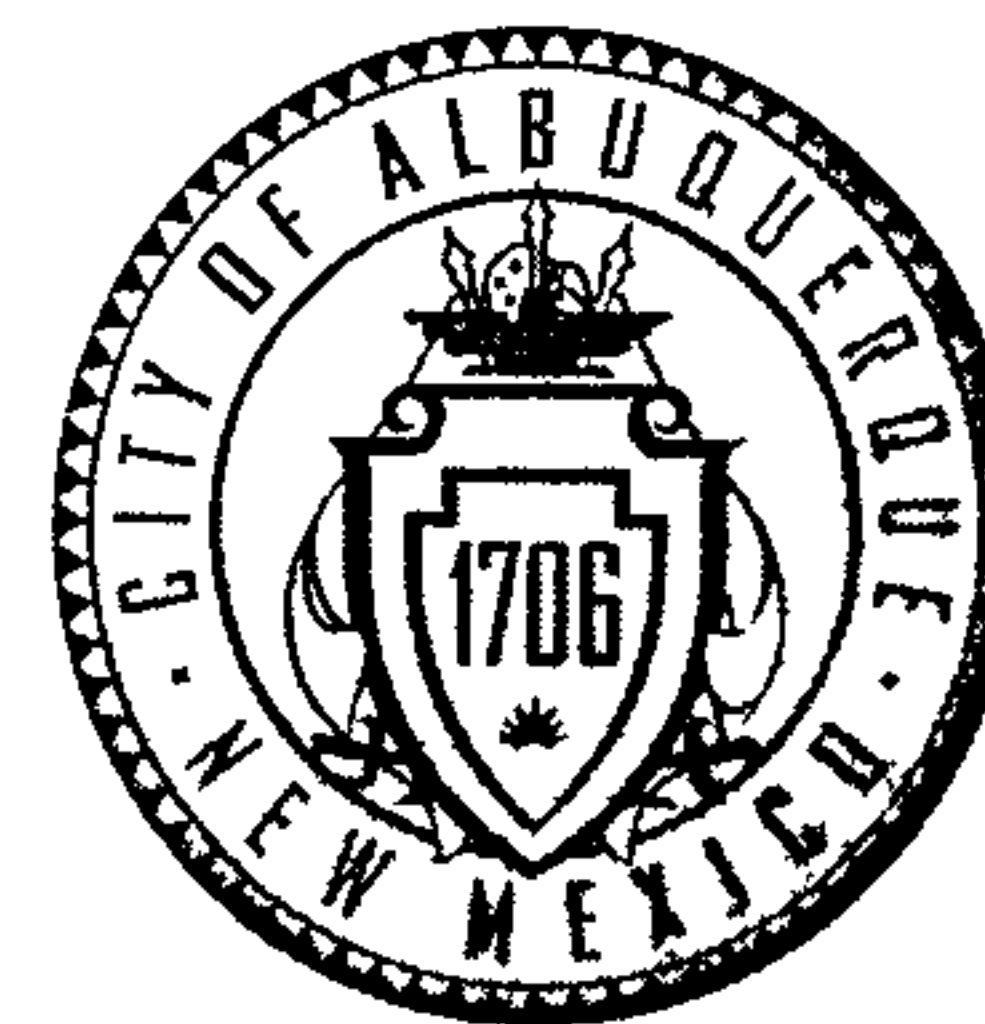
1. The Contractor has installed the steel plate extension where the sidewalk was widened on the north side of the existing building.
2. The Contractor is available onsite to allow you access to the fenced off area to confirm the roof drain location.
3. The Contractor has addressed the valve box cover identified as a hazard.

Please contact me if you have additional questions. Thank you.

  
Scott M McGee



# CITY OF ALBUQUERQUE



*Planning Department*  
Suzanne Lubar, Director

*Mayor Richard J. Berry*

March 8, 2016

Scott McGee, PE  
Scott M. McGee PE, LLC  
9700 Tanoan Dr. NE  
Albuquerque, NM 87111

**RE: APS Career Enrichment Center  
807 Mountain Rd. NE  
Requested for 30-Temporary C. O. - Accepted  
Engineers Stamp Date 12/3/14 (J15D001)  
Certification dated: 3-2-16**

Dear Mr. McGee,

PO Box 1293

Based on the Certification received 3/3/2016, the site is released for a 30-day Temporary Release of Occupancy by Hydrology. However, before a permanent CO can be accepted the following comments must be addressed.

Albuquerque

New Mexico 87103

- On the north side of the building the existing steel plate has not been extended to the new curb face.
- On the drawings there is a roof drain called out on the south side of the building. That area is behind a locked enclosed area and I was unable to verify the roof drain.
- There is an existing manhole south of the new pond with the cover tipped up presenting a hazard.

[www.cabq.gov](http://www.cabq.gov)

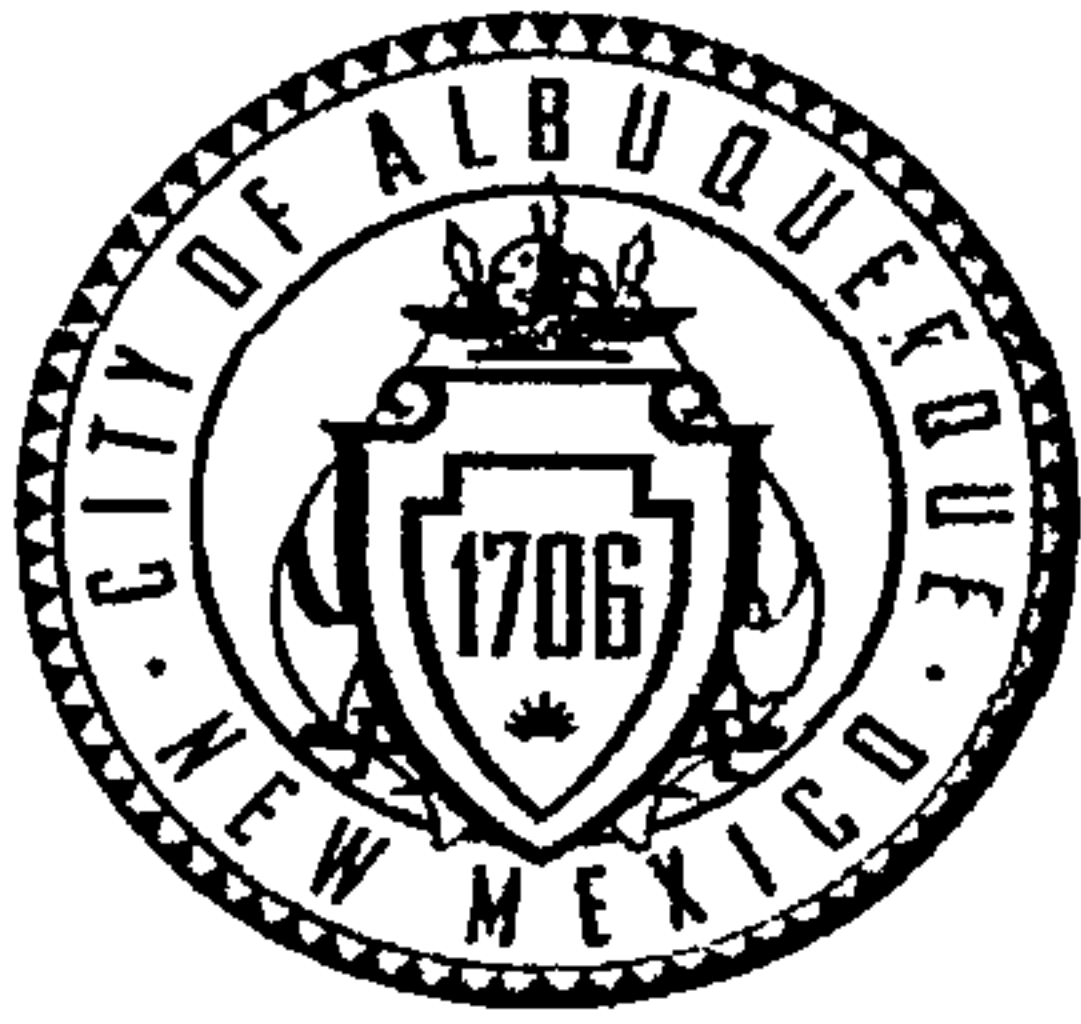
If you have any questions, you can contact me at 924-3686 or Totten Elliott at 924-3982.

Sincerely,

Rita Harmon, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

TE/RH

C: e-mail, Cordova, Camille C.; Miranda, Rachel; Sandoval, Darlene M.; Blocker, Lois



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: APS CAREER ENRICHMENT CENTER Building Permit #: \_\_\_\_\_ City Drainage #: J-15-D001  
 DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
 Legal Description: \_\_\_\_\_  
 City Address: 807 MOUNTAIN RD NE  
 Engineering Firm: SMM PE, LLC Contact: SCOTT MCGEE  
 Address: 9700 TANOAN DR NE  
 Phone#: 263-2905 Fax#: \_\_\_\_\_ E-mail: scottmcmgee@gmail.com  
 Owner: APS Contact: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_  
 Architect: LEE GAMELSKY Contact: LEE GAMELSKY  
 Address: 2412 MILES RD SE  
 Phone#: 239-8368 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_  
 Other Contact: \_\_\_\_\_ Contact: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Check all that Apply:

**DEPARTMENT:**

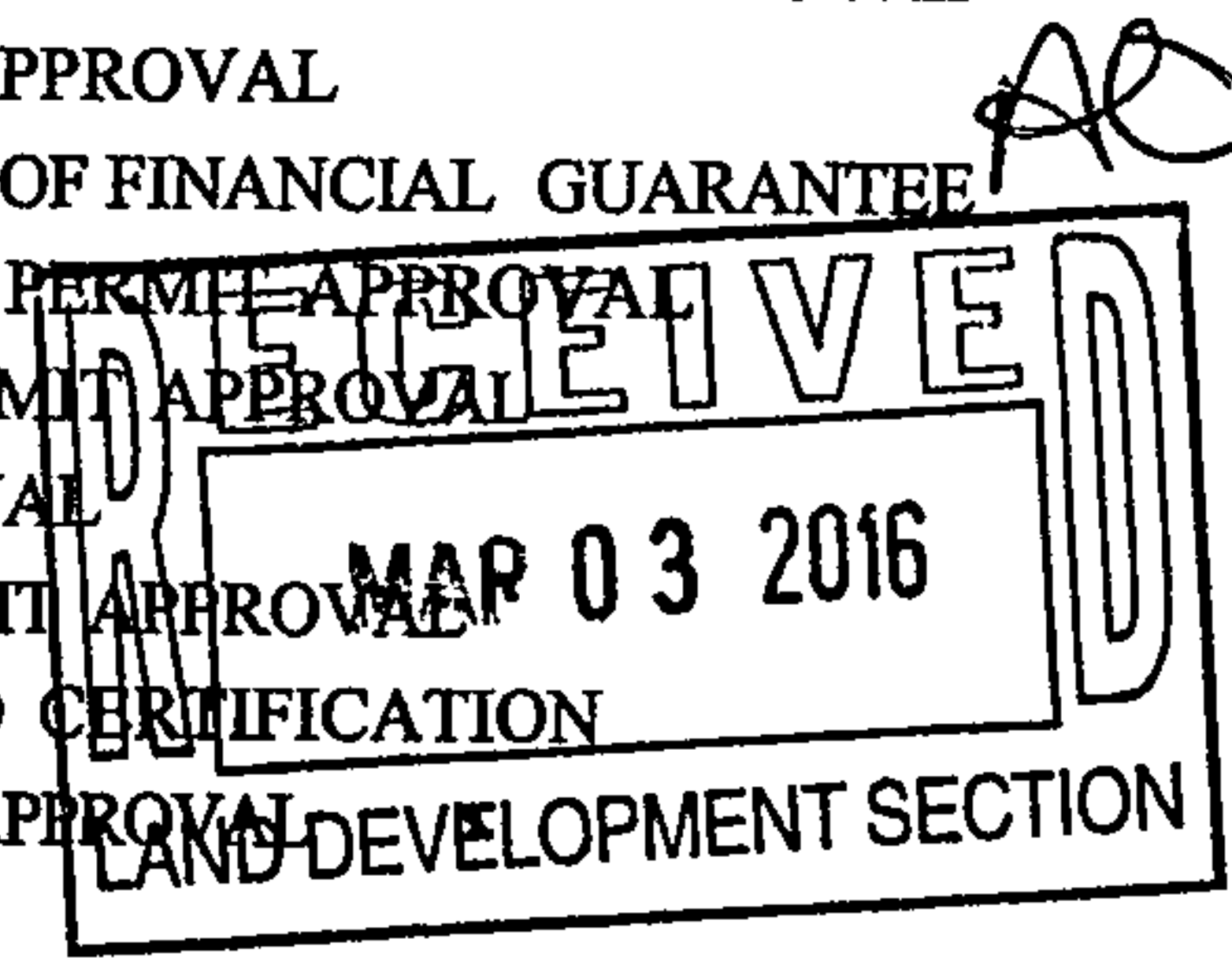
- HYDROLOGY/ DRAINAGE
- TRAFFIC/ TRANSPORTATION
- MS4/ EROSION & SEDIMENT CONTROL

**TYPE OF SUBMITTAL:**

- ENGINEER/ ARCHITECT CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE MASTER PLAN
- DRAINAGE REPORT
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- OTHER (SPECIFY) \_\_\_\_\_

**CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE **AO**
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- PRE-DESIGN MEETING
- OTHER (SPECIFY) \_\_\_\_\_

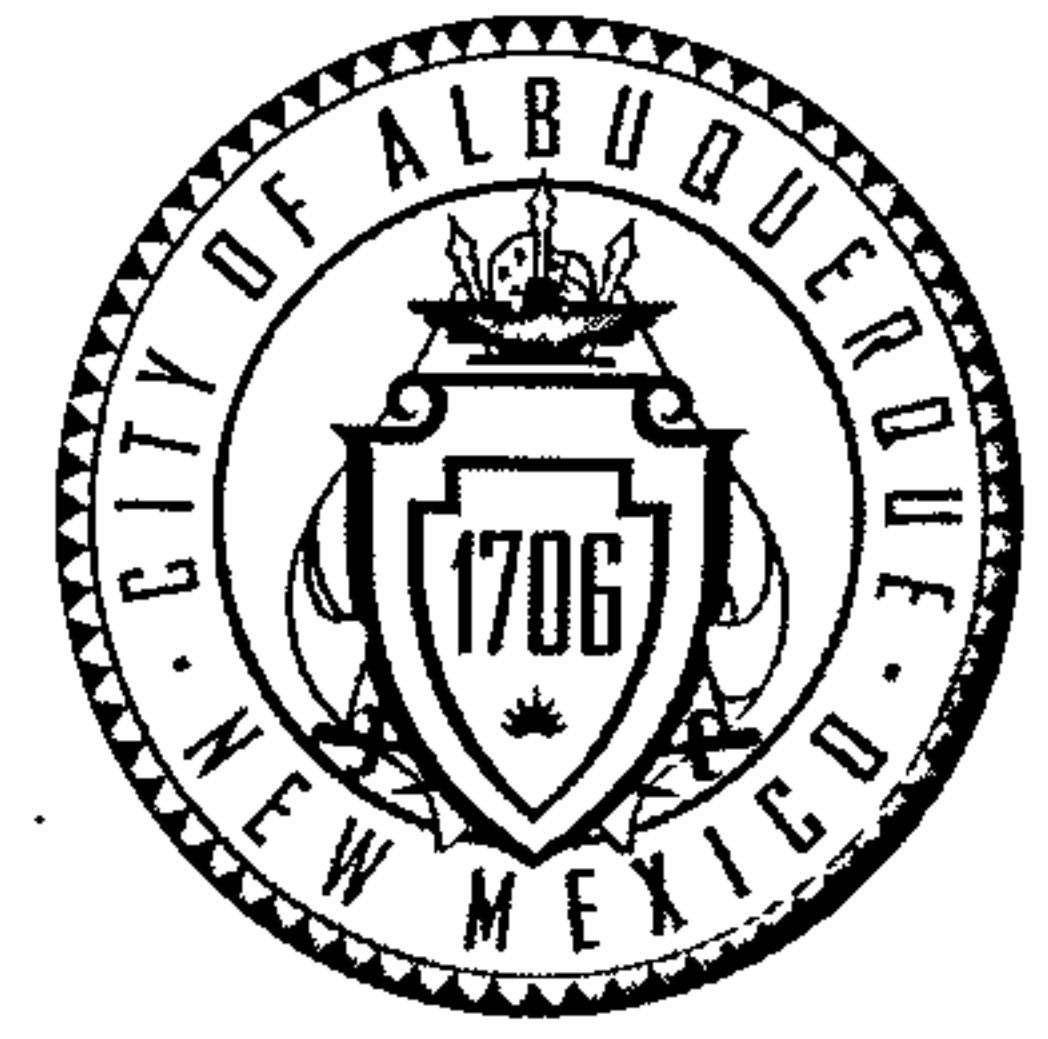


IS THIS A RESUBMITTAL?: Yes  No

DATE SUBMITTED: 3/3/16 By: SCOTT MCGEE

COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

# CITY OF ALBUQUERQUE



December 30, 2014

Mr. Scott McGee, PE  
9700 Tanoan Drive NE  
Albuquerque, NM 87113

**Re: APS Career Enrichment Center  
Scott McGee's Engineer's Stamp 12-3-14 (J15D001)**

Dear Mr. McGee,

Based upon the information provided in your submittal received December 11, 2014, the above referenced plan is approved for SO-19 and Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

The SO-19 Permit is required for construction within the City Right of Way. A copy of this approval letter must be on hand when applying for the Excavation Permit.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

PO Box 1293

If you have any questions, you can contact me at 924-3994.

Albuquerque

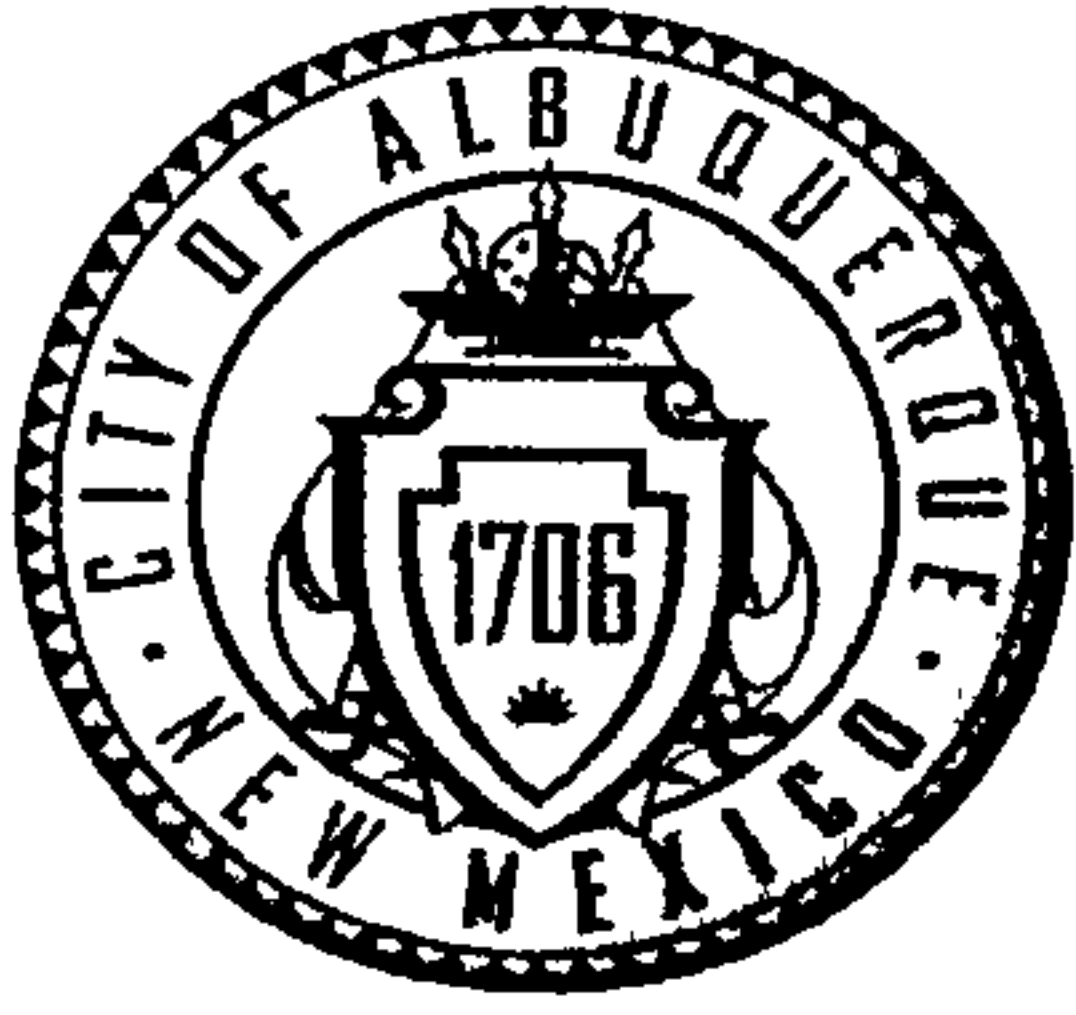
Sincerely,

Amy L. D, Niese, PE  
Senior Engineer, Hydrology  
Planning Department

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

C: e-mail  
Project file



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: APS Career Enrichment Center Building Permit #: \_\_\_\_\_ City Drainage #: J 15 - D001  
 DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
 Legal Description: Unplatted land owned by the Board of Education  
 City Address: 807 Mountain Road NE

Engineering Firm: Scott M McGee PE Contact: Scott McGee  
 Address: 9700 Tanoan Drive NE  
 Phone#: 263-2905 Fax#: \_\_\_\_\_ E-mail: scottmccgee@gmail.com

Owner: APS Contact: Myron Johnson  
 Address: 900 Atlantic Avenue SW  
 Phone#: 848-8817 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Architect: Lee GamelskyArchitects Contact: Lee Gamelsky  
 Address: 2412 Miles Road SE  
 Phone#: 239-8368 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Surveyor: High Mesa Consulting Group Contact: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone#: 345-4250 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

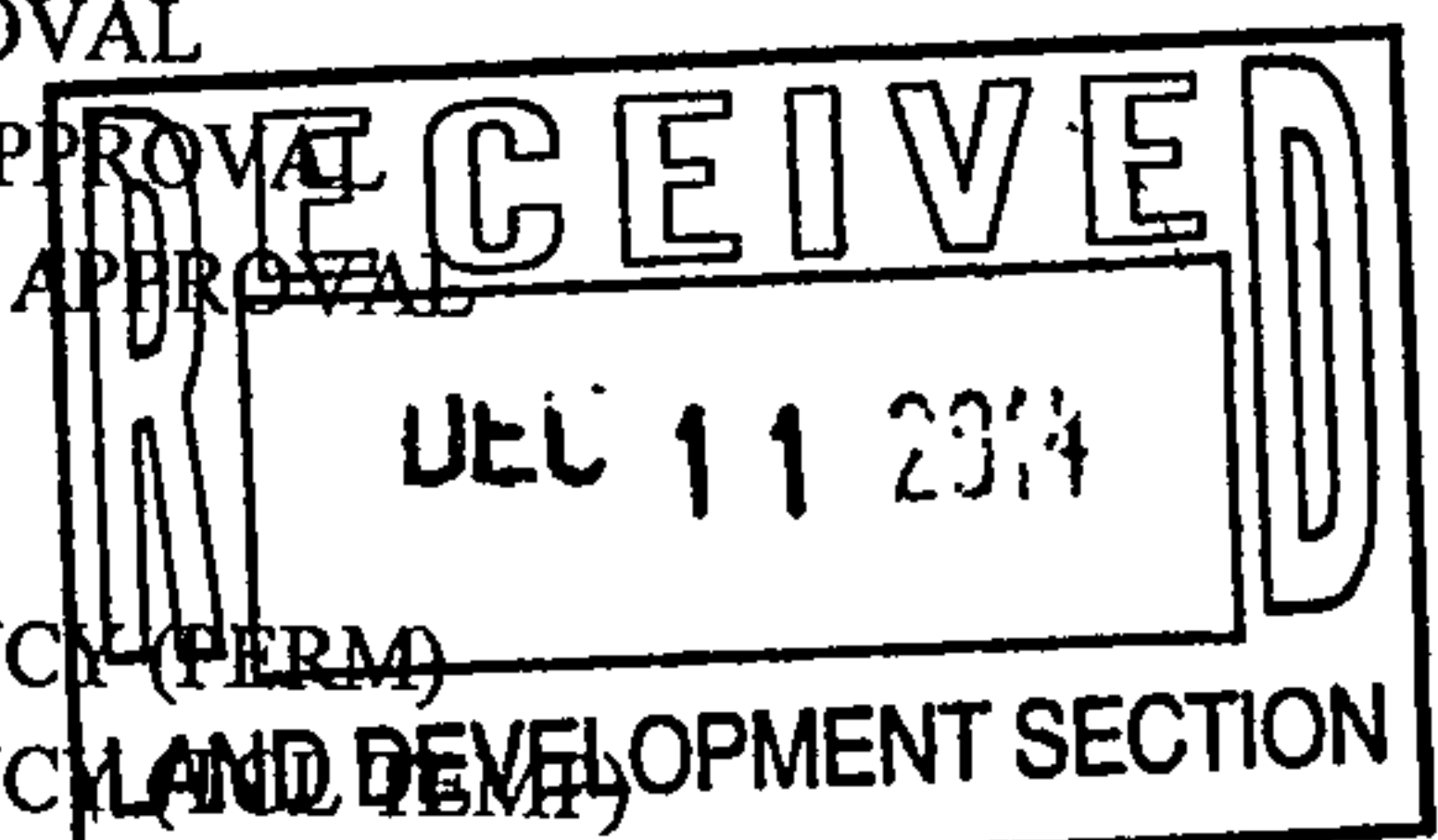
Contractor: \_\_\_\_\_ Contact: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- DRAINAGE REPORT
- DRAINAGE PLAN 1st SUBMITTAL
- DRAINAGE PLAN RESUBMITTAL
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- ENGINEER'S CERT (HYDROLOGY)
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- ENGINEER'S CERT (TCL)
- ENGINEER'S CERT (DRB SITE PLAN)
- ENGINEER'S CERT (ESC)
- SO-19
- OTHER (SPECIFY)

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- SIA/FINANCIAL GUARANTEE RELEASE
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D APPROVAL
- S. DEV. FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- CERTIFICATE OF OCCUPANCY (PERM)
- CERTIFICATE OF OCCUPANCY (LAND DEV)
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- WORK ORDER APPROVAL
- GRADING CERTIFICATION
- SO-19 APPROVAL
- ESC PERMIT APPROVAL
- ESC CERT. ACCEPTANCE
- OTHER (SPECIFY)



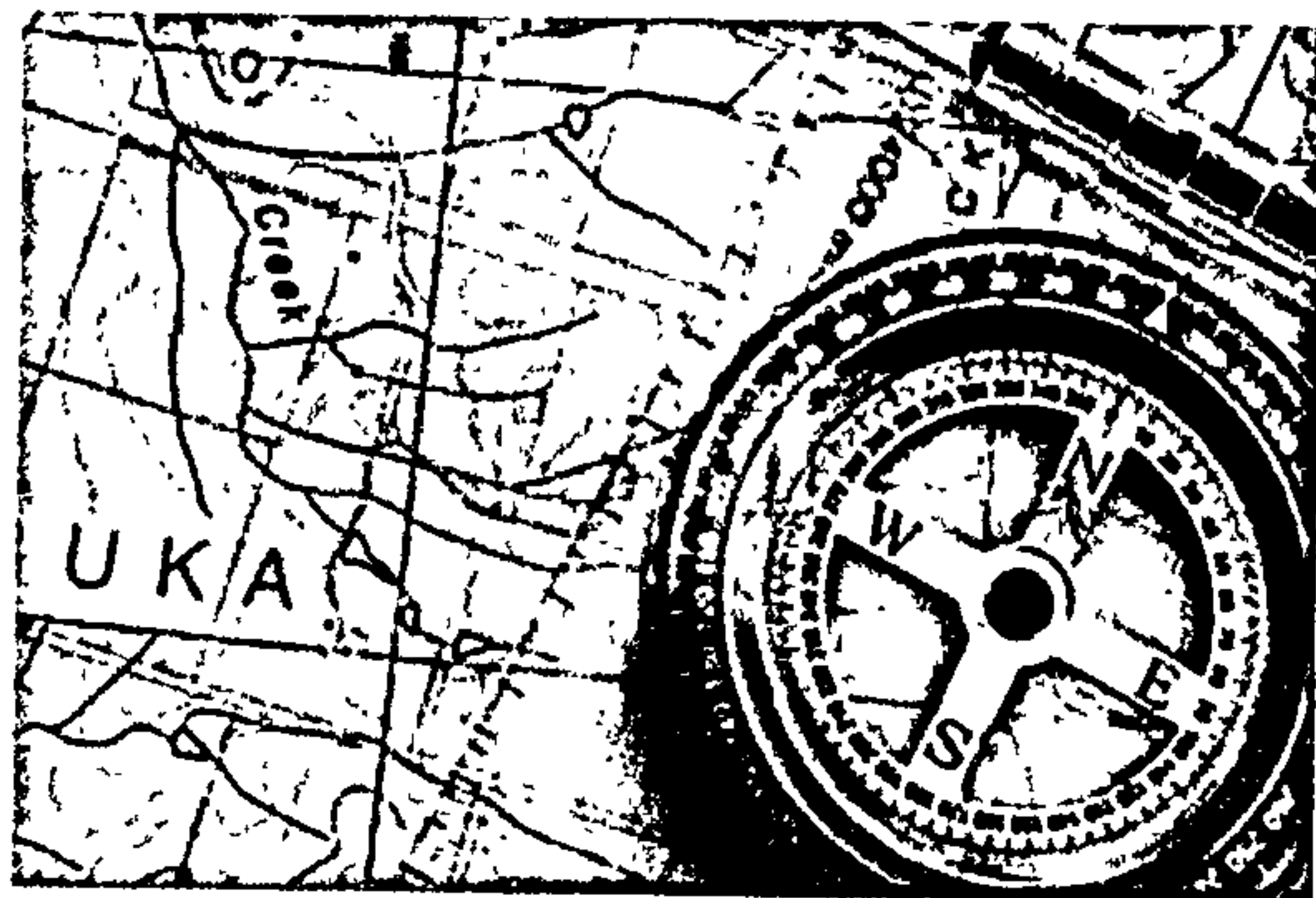
WAS A PRE-DESIGN CONFERENCE ATTENDED: Yes  No \_\_\_\_\_ Copy Provided \_\_\_\_\_

DATE SUBMITTED: DECEMBER 5, 2014 By: Scott McGee

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

Free  
Q=3.1cfs A<sub>d</sub>=0.39ACU



**SCOTT M MCGEE PE, LLC**  
**CIVIL ENGINEER**

December 4, 2014

Ms. Amy L. D. Niese, PE  
Senior Engineer, Planning Dept.  
Development & Building Services Div.  
600 2<sup>nd</sup> Street NW, Ste. 201  
Albuquerque, NM 87102

RE: APS Career Enrichment Center (J-15/D001)

Dear Ms. Niese,

Thank you for your Building Permit review comments of September 22, which have been addressed as follows:

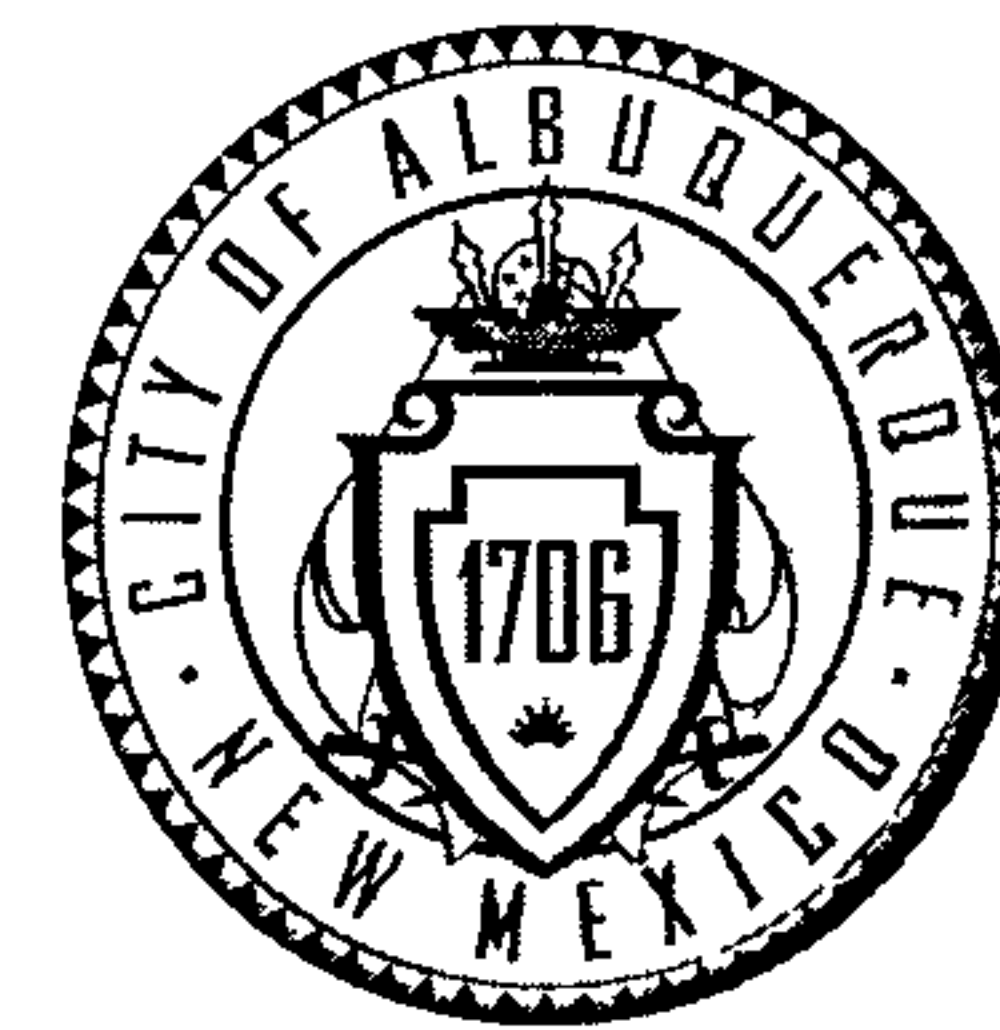
1. The first flush volume has been retained in the pond near the SW corner of the site by raising the outlet pipe elevation.
2. The curb opening remains as proposed. A portion of the existing roof discharges to the north of the existing building and existing grades prevent it from flowing west on the access drive. The large parking area to the NE flows west on the access drive, that is separated by an existing median, and continues west and south on the existing drive. This offsite flow will not enter this landscaped area.
3. APS has a landscape contract that will immediately follow the building construction. All proposed landscape surfacing will be xeric so land treatment is 45% C & 55% D.
4. Roof drain line sizes have been added to the plan.
5. The proposed walkway ramp grades have been revised on the plan.
6. All overhead power lines have been removed from the site with the previous portable building removal work.

Scott M McGee





# CITY OF ALBUQUERQUE



September 22, 2014

Mr. Scott McGee, PE  
9700 Tanoan Drive NE  
Albuquerque, NM 87113

**Re: APS Career Enrichment Center  
Scott McGee's Engineer's Stamp 8-25-14 (J15D001)**

Dear Mr. McGee,

Based upon the information provided in your submittal received August 26, 2014, the above referenced plan is not approved for SO-19 nor Building Permit action by the DRB until the following comments are addressed.

- ✓ 1. Retain the first flush. Per the City Drainage ordinance, the 90<sup>th</sup> Percentile Storm Event, which is 44 inches, is to be managed. Reduce 0.44 inch by the 0.1 inch for the initial impervious abstraction in Table A-6 of Section 22 of the DPM. Multiply the remaining 0.34 inch by your impervious area. This is the portion to retain.
- ✓ 2. A curb opening and asphalt revisions are being proposed on the northeast corner of the site. The drainage area for this could be sizable and not suitable for going through the proposed swale on the north side of the building. Redesign the grades so that the flows go west and then south along the access road instead.
- ✓ 3. For the proposed flows, discuss the different treatment percentages in the drainage summary.
- ✓ 4. Provide the size of the storm drain accepting flows from the roof drains.
- ✓ 5. The proposed sidewalk on the south side of the building is at 11% which is unacceptable for handicap access. Please revise the grades.
- ✓ 6. Have the utilities such as the overhead lines been removed where the building is being proposed?

PO Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

If you have any questions, you can contact me at 924-3994.

Sincerely,

Amy L. D. Niese, PE  
Senior Engineer, Hydrology  
Planning Department

C: e-mail  
Project file



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

J15D001

Project Title: APS Career Enrichment Center Building Permit #: \_\_\_\_\_ City Drainage #: J 15 - D0  
 DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
 Legal Description: Unplatted land owned by the Board of Education  
 City Address: 807 Mountain Road NE

Engineering Firm: Scott M McGee PE Contact: Scott McGee  
 Address: 9700 Tanoan Drive NE  
 Phone#: 263-2905 Fax#: \_\_\_\_\_ E-mail: scottmmcgee@gmail.com

Owner: APS Contact: Myron Johnson  
 Address: 900 Atlantic Avenue SW  
 Phone#: 848-8817 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Architect: Lee GamelskyArchitects Contact: Lee Gamelsky  
 Address: 2412 Miles Road SE  
 Phone#: 239-8368 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Surveyor: Hlgh Mesa Consulting Group Contact: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone#: 345-4250 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Contractor: \_\_\_\_\_ Contact: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- DRAINAGE REPORT
- DRAINAGE PLAN 1st SUBMITTAL
- DRAINAGE PLAN RESUBMITTAL
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- ENGINEER'S CERT (HYDROLOGY)
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- ENGINEER'S CERT (TCL)
- ENGINEER'S CERT (DRB SITE PLAN)
- ENGINEER'S CERT (ESC)
- SO-19
- OTHER (SPECIFY)

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- SIA/FINANCIAL GUARANTEE RELEASE
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D APPROVAL
- S. DEV. FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- CERTIFICATE OF OCCUPANCY (PERM)
- CERTIFICATE OF OCCUPANCY (TCL TEMP)
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- WORK ORDER APPROVAL
- GRADING CERTIFICATION
- SO-19 APPROVAL
- ESC PERMIT APPROVAL
- ESC CERT. ACCEPTANCE
- OTHER (SPECIFY)

*Paid \$50.00*

**RECEIVED**  
**AUG 26 2014**  
 LAND DEVELOPMENT SECTION

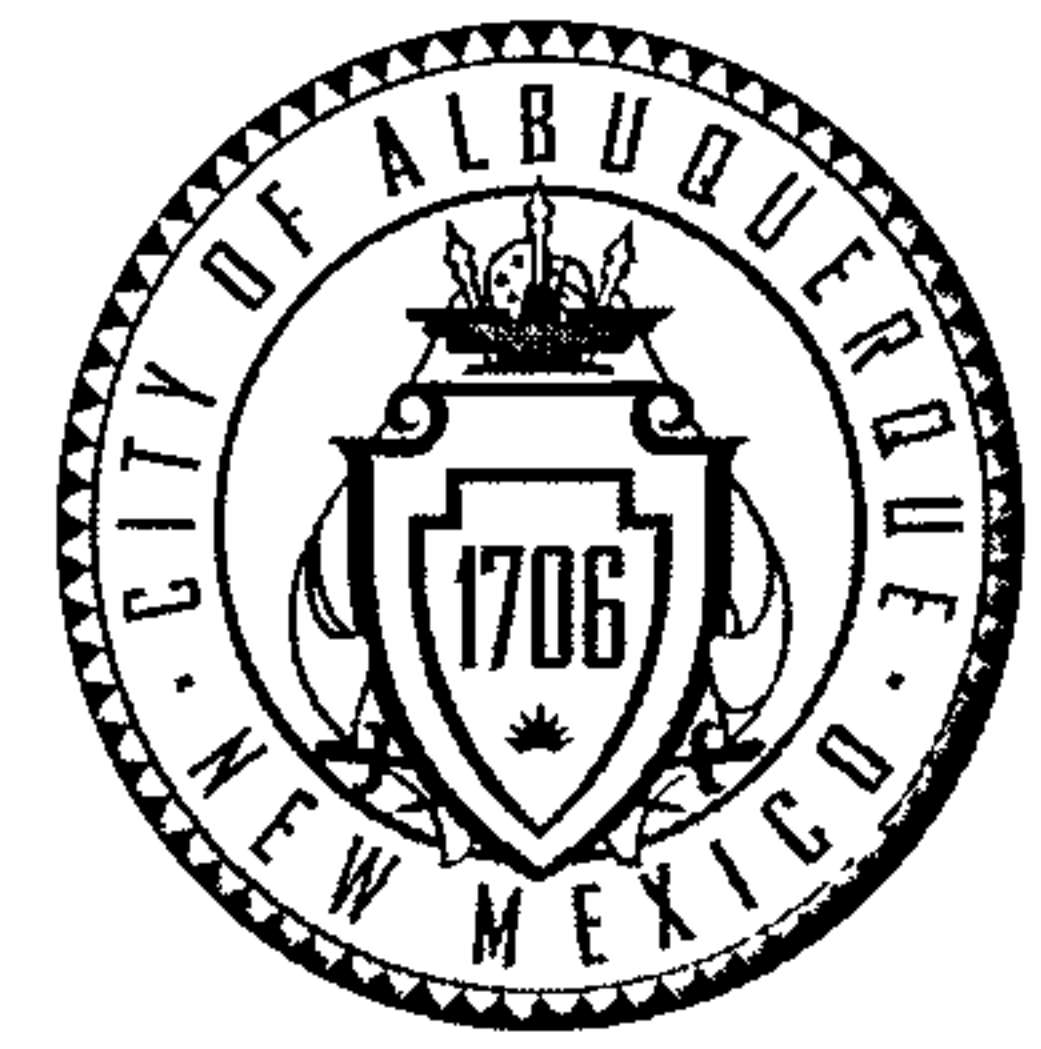
WAS A PRE-DESIGN CONFERENCE ATTENDED: Yes  No  Copy Provided

DATE SUBMITTED: August 26, 2014 By: Scott McGee

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
- Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

# CITY OF ALBUQUERQUE



August 28, 2014

Jeffrey G. Mortensen, P.E.  
**High Mesa Consulting Group**  
6010-B Midway Park Blvd NE  
Albuquerque, NM 87109

**Re: APS CEC Portables, 807 Mountain Rd NE**  
**Request for C.O. –Accepted**  
**Engineer's Stamp dated: 6-27-14, (J15/D001)**  
**Certification dated: 8-27-14**

Dear Mr. Mortensen,

Based upon the information provided in the Certification received 8-27-14, the above referenced Certification is acceptable for a release of a Permanent Certificate of Occupancy by Hydrology.

The sediment pond was not graded since a building is to be constructed in the near future. A silt fence was installed to prevent sediment from entering Mountain Rd.

The sediment pond would have required very little maintenance. Please inform the property owner that preventing sediment from entering Mountain Rd would be appreciated so that it does not clog downstream storm drains.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Curtis A. Cherne, P.E.  
Principal Engineer, Hydrology  
Planning Dept.

C: CO Clerk  
File

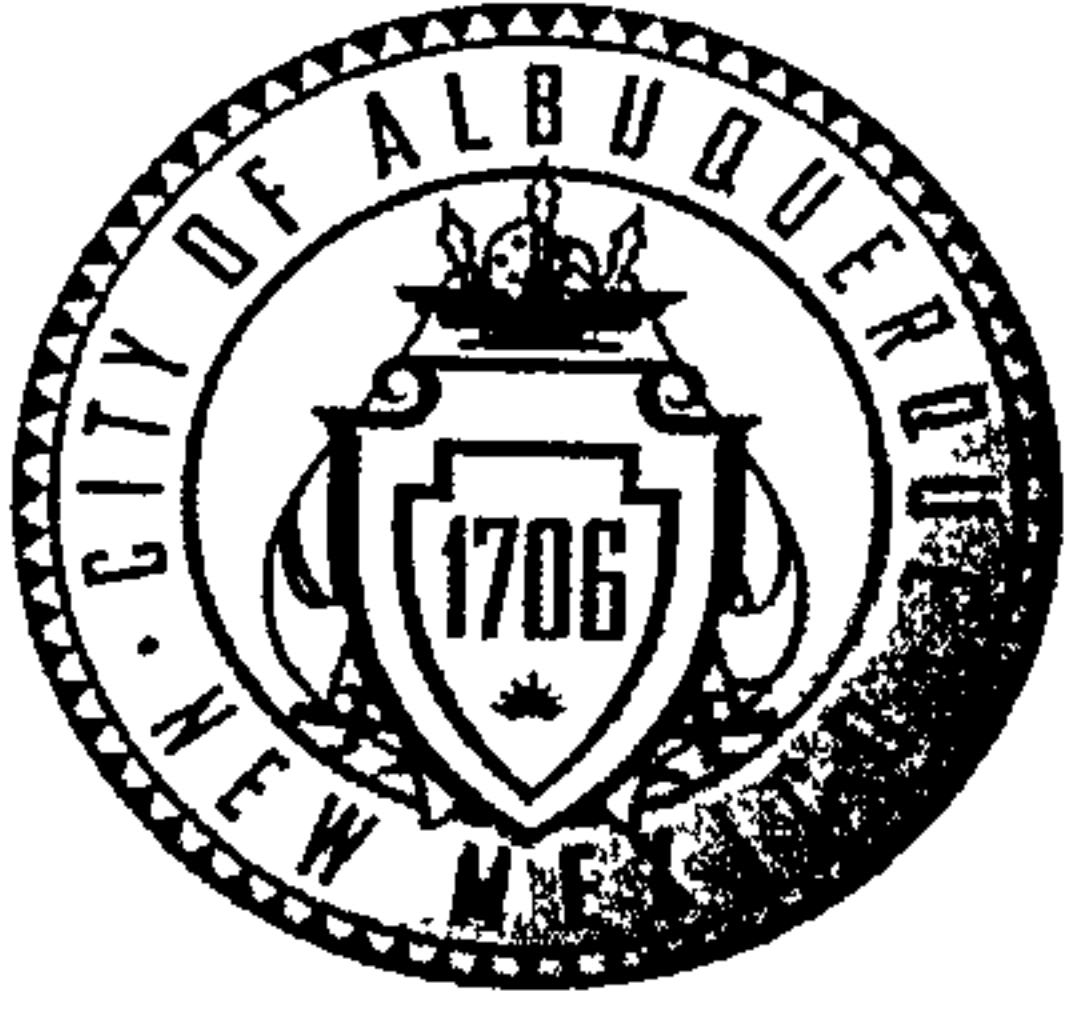
PO Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

249-9604



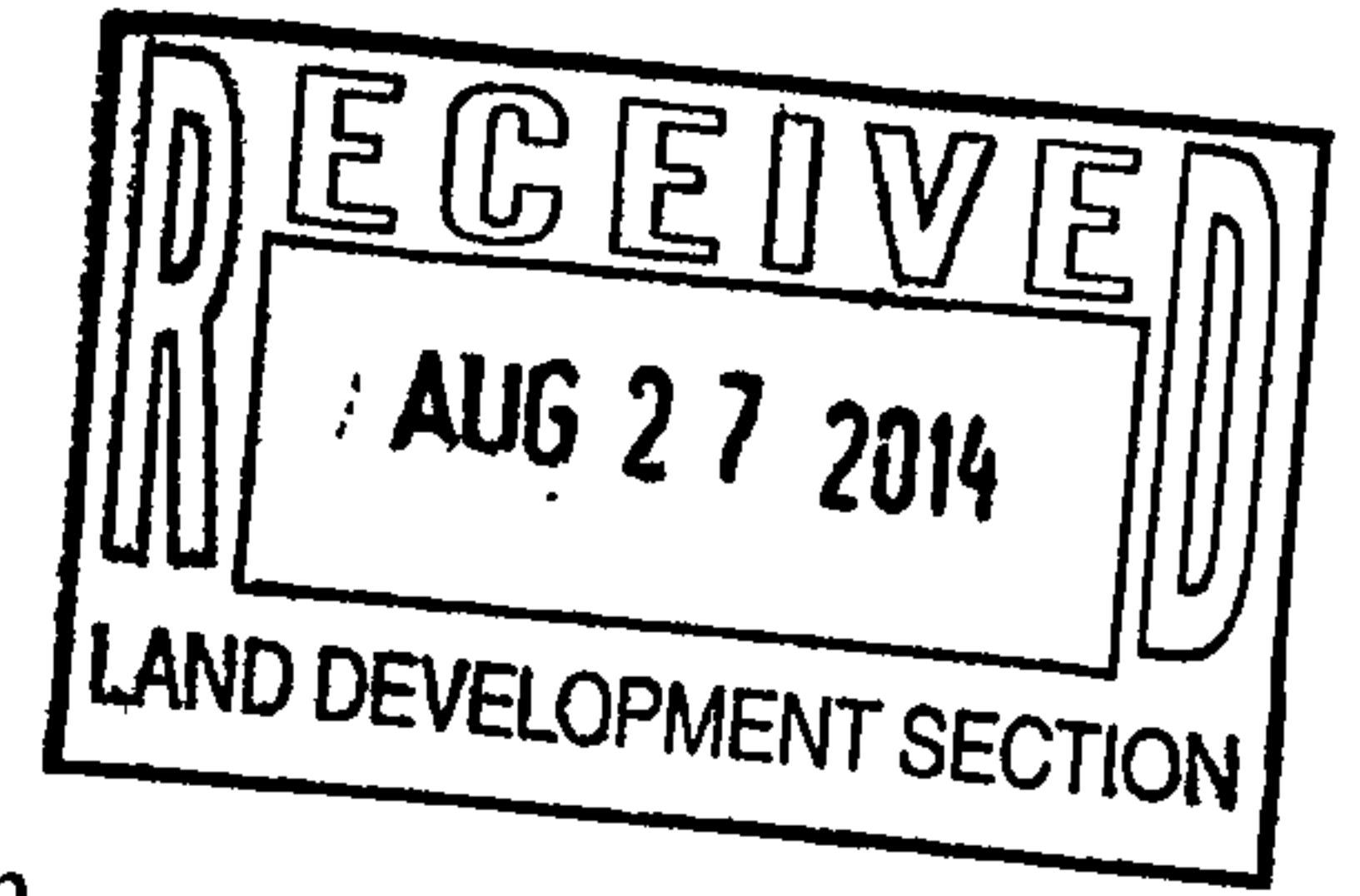
# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)



Project Title: APS CEC PORTABLE RELOCATIONS Building Permit #: \_\_\_\_\_ City Drainage #: J15/D001

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: UNPLATTED LANDS OF APS KNOWN AS ALBUQUERQUE HIGH SCHOOL

City Address: 807 MOUNTAIN ROAD NE

Engineering Firm: High Mesa Consulting Group Contact: Jeffrey Mortensen #8547

Address: 6010-B Midway Park Blvd NE, Albuquerque NM 87109

Phone#: 505-345-4250 Fax#: 505-345-4254 E-mail: jmortensen@highmesacg.com

Owner: ALBUQUERQUE PUBLIC SCHOOLS Contact: SAL WAR

Address: 915 OAK STREET SE, 87106

Phone#: 975-5965 Fax#: \_\_\_\_\_ E-mail: war@aps.edu

Architect: n/a Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Surveyor: High Mesa Consulting Group Contact: Chuck Cala NMPS#11184

Address: 6010-B Midway Park Blvd NE, Albuquerque NM 87109

Phone#: 505-345-4250 Fax#: 505-345-4254 E-mail: ccala@highmesacg.com

Contractor: APS ON-CALL CONTRACTORS Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- DRAINAGE REPORT (DMP)
- DRAINAGE PLAN 1st SUBMITTAL
- DRAINAGE PLAN RESUBMITTAL
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- ENGINEER'S CERT (HYDROLOGY)
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- ENGINEER'S CERT (TCL)
- ENGINEER'S CERT (DRB SITE PLAN)
- ENGINEER'S CERT (ESC)
- SO-19
- OTHER (SPECIFY)

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- SIA/FINANCIAL GUARANTEE RELEASE
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D APPROVAL
- S. DEV. FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- CERTIFICATE OF OCCUPANCY (PERM)
- CERTIFICATE OF OCCUPANCY (~~PERM~~ TEMP)
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- WORK ORDER APPROVAL
- GRADING CERTIFICATION
- SO-19 APPROVAL
- ESC PERMIT APPROVAL
- ESC CERT. ACCEPTANCE
- OTHER (DMP)

WAS A PRE-DESIGN CONFERENCE ATTENDED:  Yes  No  Copy Provided

DATE SUBMITTED: 08-27-2014 By: Jeff Mortensen (HMCG 2013.184.2)

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
- Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

## Jeffrey Mortensen

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**From:** Jeffrey Mortensen  
**Sent:** Wednesday, August 27, 2014 4:41 PM  
**To:** 'Ortiz, Monica'  
**Cc:** Cherne, Curtis  
**Subject:** CEC DRAINAGE CERT J15/D001  
**Attachments:** 2013.184.2 TCO CERT SHT 1 OF 1.pdf; 2013.184.2 TCO CERT 2 OF 14.pdf; 2013.184.2 TCO CERT 3 OF 14.pdf; 2013.184.2 TCO CERT 4 OF 14.pdf; 2013.184.2 TCO CERT 5 OF 14.pdf; 2013.184.2 TCO CERT 7 OF 14.pdf; 2013.184.2 TCP CERT 8 OF 14.pdf; 2013.184.2 TCO CERT 9 OF 14.pdf; 2013.184.2 TCO CERT 13 OF 14.pdf

Monica,

In advance of formal submittal, attached are PDFs of the Engineer's Drainage Certification for the subject project.

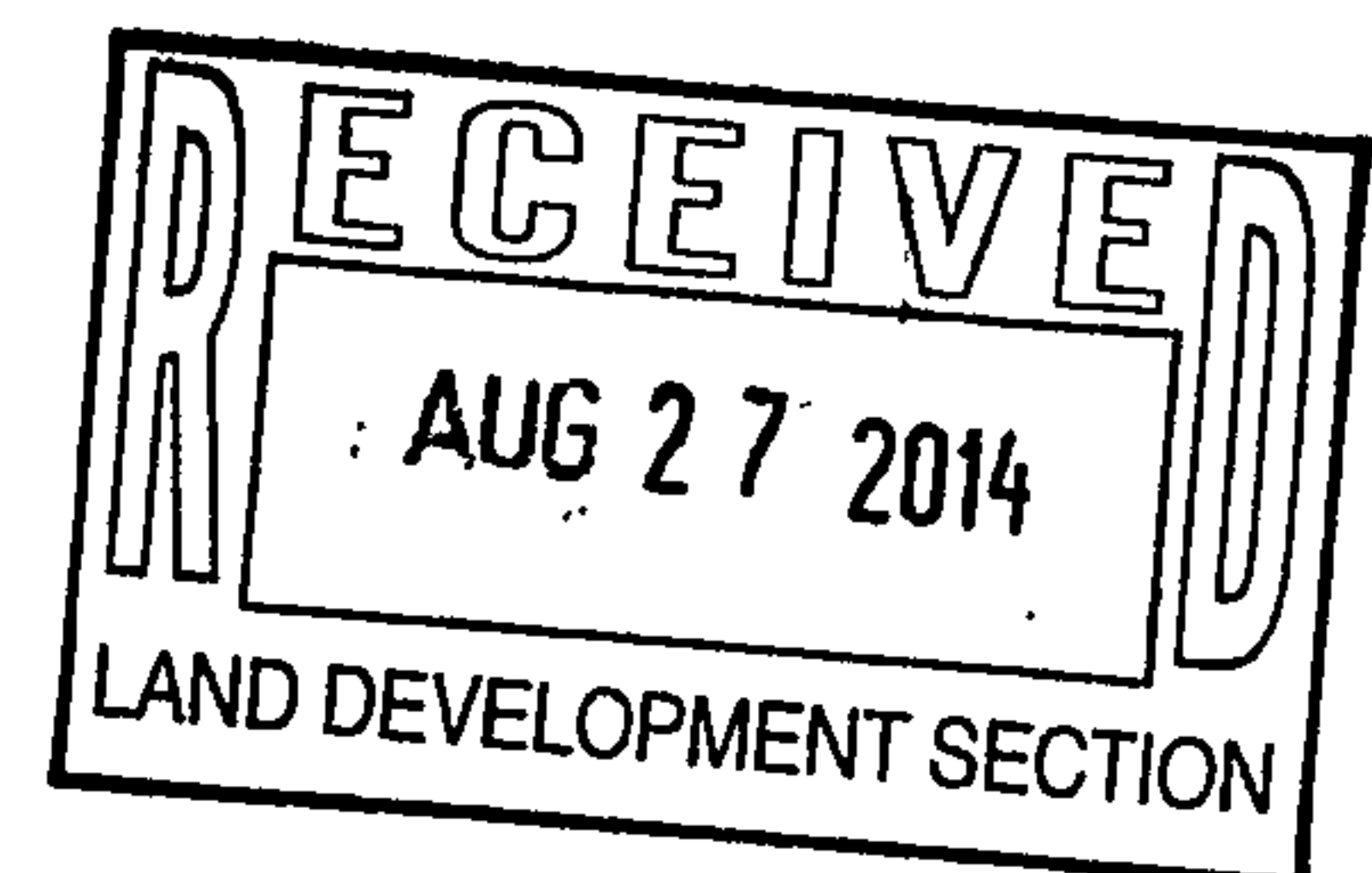
Please let us know if you need additional information,  
Jeff

**HIGH  
MESA Consulting Group**

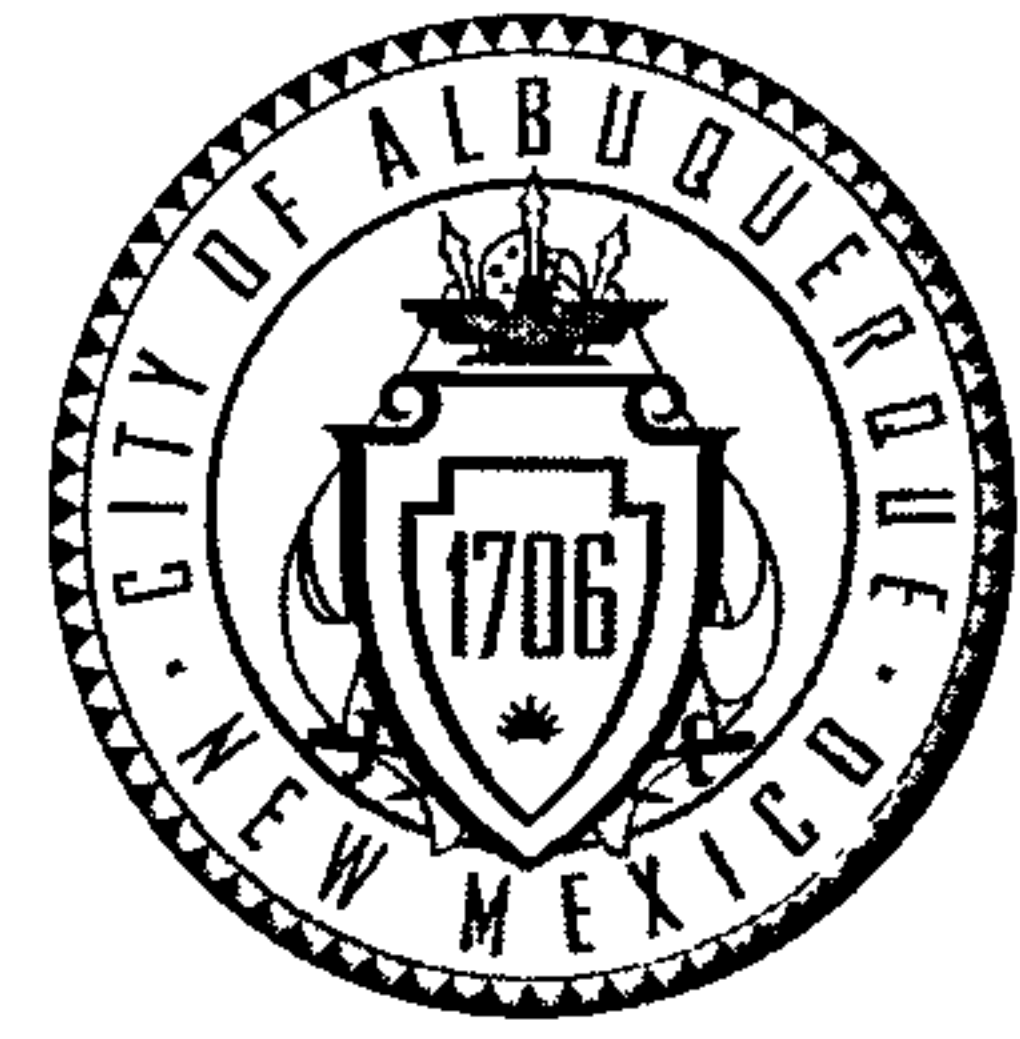
**Jeffrey G. Mortensen, P.E.**  
Chairman

6010-B Midway Park Blvd. NE  
Albuquerque, NM 87109  
[www.highmesacg.com](http://www.highmesacg.com)

Phone: 505.345.4250  
Fax: 505.345.4254  
[jmortensen@highmesacg.com](mailto:jmortensen@highmesacg.com)



# CITY OF ALBUQUERQUE



July 23, 2014

Mr. Jeffrey Mortensen  
High Mesa Consulting Group  
6010-B Midway Park Blvd NE  
Albuquerque, NM 87109

**Re: APS CEC Portable Relocations  
Grading and Drainage Plan  
Engineer's Stamp Date 6-27-14 (J15D001)**

Dear Mr. Mortensen,

Based upon the information provided in your submittal received June 27, 2014, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

When you provide your certification, please include the following on your plans:

1. Remove the label for detention on the pond since the pond is not a detention pond.
2. Show that the overhead electric lines currently in the location of the pond have been removed or existing immediate elevations around the poles are maintained so the poles have sufficient support.
3. For the calculations on Sheet 9, Section II.B.1.a.i under Two Year Storm Event, the answers are the correct value, but the areas listed for the Weighted E and Volume are not correct. Please revise.

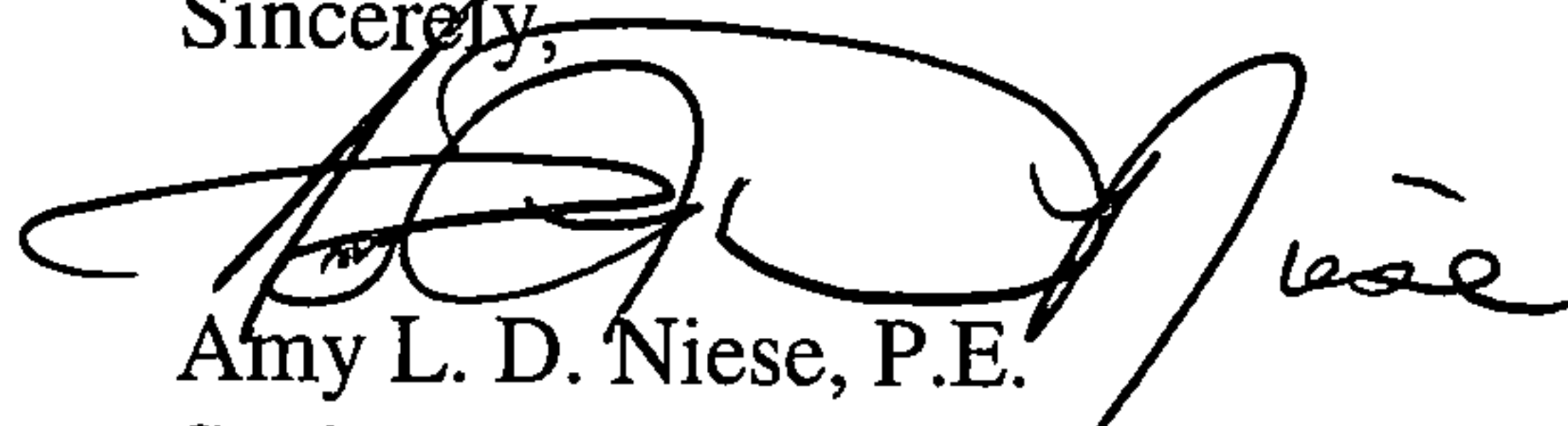
PO Box 1293

Albuquerque

New Mexico 87103 If you have any questions, you can contact me at 924-3994.

[www.cabq.gov](http://www.cabq.gov)

Sincerely,



Amy L. D. Niese, P.E.  
Senior Engineer, Hydrology  
Planning Department

C: e-mail

CITY OF ALBUQUERQUE  
DEVELOPMENT & BUILDING SERVICES CENTER  
PLANNING DEPARTMENT/HYDROLOGY SECTION

CONFERENCE RECAP

DRAINAGE FILE/ZONE ATLAS PAGE NUMBER: J15/D001      DATE: 04-30-2014  
CROSS REFERENCE NUMBERS: EPC \_\_\_\_\_ DRB \_\_\_\_\_ DRC \_\_\_\_\_  
SUBJECT: PORTABLE CLASSROOM RELOCATIONS  
STREET ADDRESS: 807 MOUNTAIN ROAD NE  
SUBDIVISION NAME: UNPLATTED LANDS OF APS KNOWN AS ALBUQUERQUE HIGH SCHOOL SITE

TYPE OF APPROVAL

<input type="checkbox"/> PRELIMINARY PLAT	<input type="checkbox"/> FINAL PLAT
<input type="checkbox"/> SITE DEVELOPMENT PLAN	<input checked="" type="checkbox"/> BUILDING PERMIT
<input type="checkbox"/> OTHER _____	<input type="checkbox"/> ROUGH GRADING

<u>ATTENDEE:</u>	<u>ORGANIZATION:</u>	<u>PHONE:</u>
CURTIS CHERNE	HYDROLOGY	924-3986
JEFF MORTENSEN	HMCG	345-4250

FINDINGS:

1. BACKGROUND - PORTABLE CLASSROOM BUILDINGS MUST BE RELOCATED ON THE SITE IN ADVANCE OF A PERMANENT BUILDING ADDITION ON THE WEST SIDE OF THE EXISTING BUILDING.
2. SEPARATE DRAINAGE SUBMITTALS ARE REQUIRED FOR THE PORTABLE BUILDING RELOCATIONS AND THE PERMANENT CLASSROOM BUILDING
3. THE RELOCATION OF THE PORTABLE BUILDINGS IS TEMPORARY UNTIL THE NEW BUILDING IS COMPLETE AFTER WHICH THE PORTABLES WILL BE RELOCATED OFF SITE.
4. LID FEATURES ARE NOT REQUIRED FOR THE PORTABLE CLASSROOM BUILDING RELOCATION PROJECT AS IT IS TEMPORARY AND THE BUILDINGS WILL LIKELY BE PLACED IN AN EXISTING PAVED AREA ON THE ALBUQUERQUE HS PORTION OF THE OVERALL PROPERTY. THE PERMANENT BUILDING PROJECT WILL NEED TO ADDRESS LONGTERM LID REQUIREMENTS (SEPARATE SUBMITTAL AS REFERENCED ABOVE).
5. SEPARATE GRADING AND DRAINAGE PLANS REQUIRED FOR BUILDING PERMIT APPROVALS.
6. REFERENCE DRAINAGE MASTER PLAN FOR SITE PREPARED BY HMCG DATED 07-27-2008. ADDRESS HOW PROPOSED PORTABLE RELOCATION PLAN COMPLIES WITH DRAINAGE MASTER PLAN ON A BASIN BY BASIN BASIS (I.E. AFFECTED BASINS ONLY).
7. VERIFICATION OF DOWNSTREAM CAPACITY NOT REQUIRED HOWEVER SHOULD BE ADDRESSED QUALITATIVELY (I.E. MUST COMPLY WITH THE MDP DRAINAGE CONCEPT OF REDUCING DISCHARGE FROM THE SITE)

8. IF THE PROJECT DISTURBS GREATER THAN ONE ACRE OF LAND, AN EROSION AND SEDIMENT CONTROL PLAN IS REQUIRED AS A CONDITION FOR BUILDING PERMIT APPROVAL. THIS IS A SEPARATE SUBMITTAL IN ADDITION TO THE GRADING AND DRAINAGE PLAN FOR BUILDING PERMIT.
9. BMPS ARE REQUIRED TO MITIGATE THE DISCHARGE OF SEDIMENT FROM THE EXISTING PORTABLE FOR THE INTERIM TIME PERIOD UNTIL THE BUILDING PERMIT FOR THE PERMANENT BUILDING IS ISSUED.
10. ABOVE REFERENCED BMPS CAN CONSIST OF SILT FENCE, WADDLES AND EARTHEN BERMS
11. SUPPORTING CALCULATIONS REQUIRED TO DEMONSTRATE RUNOFF FROM THE 2-YEAR EVENT CAN BE CONTAINED

THE UNDERSIGNED AGREE THAT THE ABOVE FINDINGS ARE SUMMARIZED ACCURATELY AND ARE ONLY SUBJECT TO CHANGE IF FURTHER INVESTIGATION REVEALS THAT THE FINDINGS ARE NOT REASONABLE OR THAT THEY ARE BASED UPON INACCURATE INFORMATION.

SIGNED: *Anthony A. Chen*  
TITLE: HYDROLOGY (COA)  
DATE: 5-29-14

SIGNED: \_\_\_\_\_  
TITLE: CONSULTANT  
DATE: \_\_\_\_\_

HMCG #2013.184.2

NOTE: PROVIDE A COPY OF THIS RECAP WITH DRAINAGE SUBMITTAL



7/23/14

JIS 0001 ATB High Portable Reloc

1. OHS IN POND BEING REMOVED ON BLUE PLAN POL OFF. SEE NOTE SHEET 3
2. FIRST FLUSH NOT RQD PER HYDROLOGY NTG 5/29/14 (THIS IS SUFF CAP)
3. 1.65' FROM BOT OF BEAM TO TOF (FOUNDATION)  
SO SURROUNDING GRADES OK.