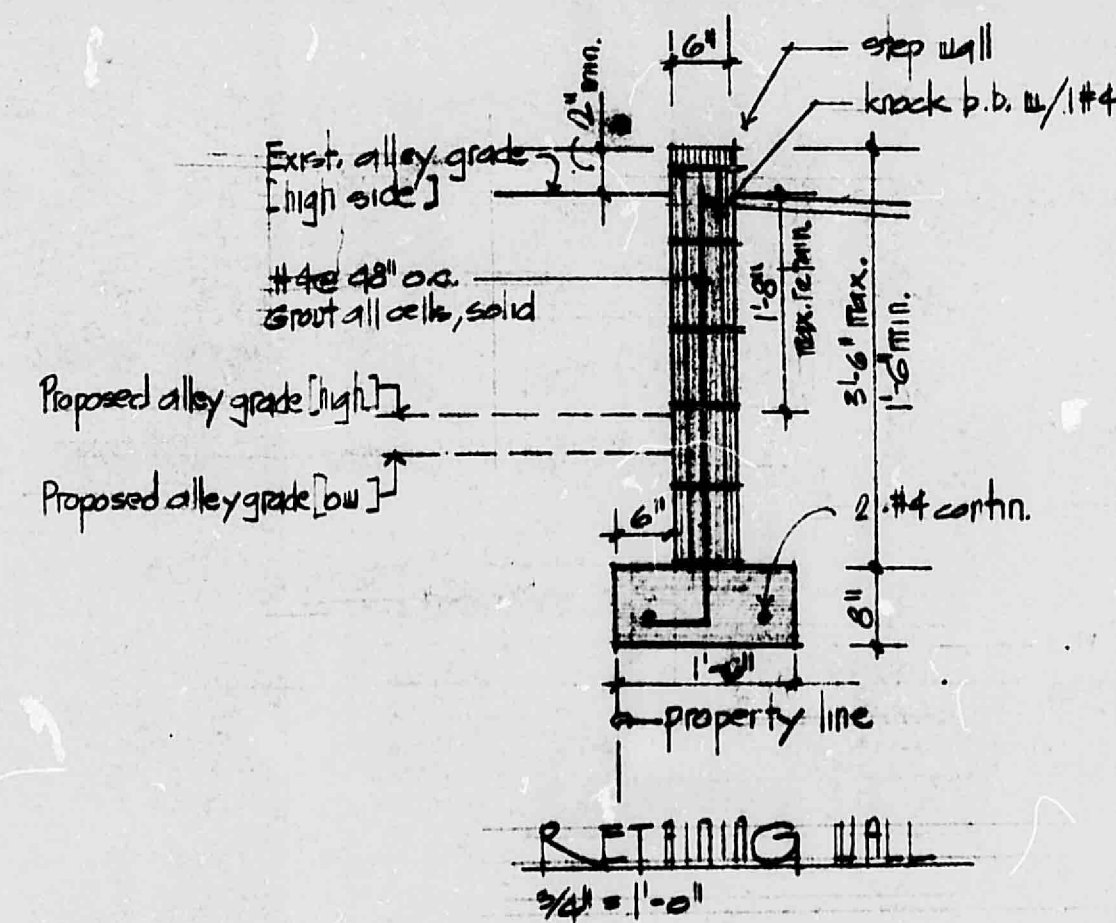
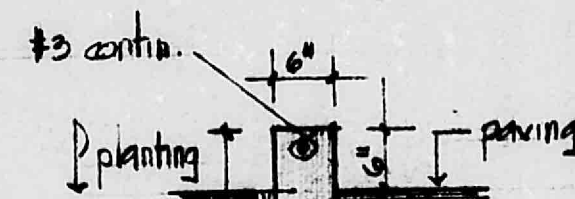




Grading Plan Discussion

- Existing site contains building and paved parking making the site impervious w/ the exception of 180 sq ft of planted area. Fill on site water runs off thru the parking lot to streets.
- Development of the site includes demolition of existing building and construction of a new building with paved parking making the site impervious with the exception of 570 sq ft of planted area.
- There is no off-site flows from either the property to the east or from the alley.
- Finish floor of new building has been set @ 510.5 which is 0.2 above future alley grade @ high side. Propose to construct retaining wall @ high side of building extending to depth required for future alley grades. See detail, this sheet.



TYP. CONC. CURB
3/4" = 1'-0"

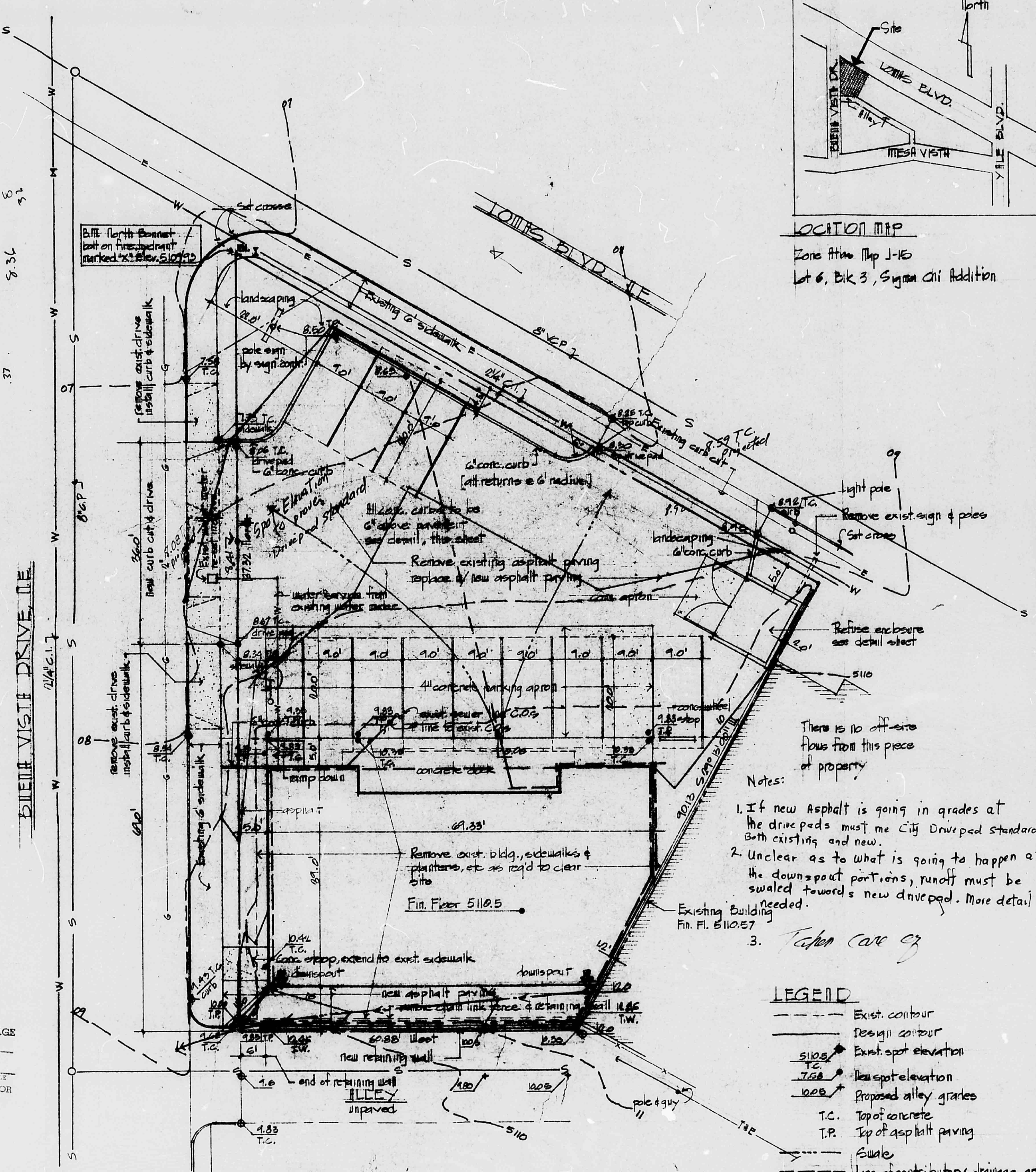
NOTES:

1. Remove all existing buildings and other improvements on site.
2. Verify all dimensions in field.
3. Locate and verify all utilities.
4. Electrical contractor shall be responsible for contacting PSC of NM to determine electrical service requirements.
- 5.

APPROVED FOR DRAINAGE

DATE
ADVISE DRAINAGE INSPECTOR
WHEN GRADING EXECUTED

SITE PLAN - GRADING
1" = 10'



LOCATION MAP

Zone Atlas Map J-16
Lot 6, Blk 3, Symon Cui Addition



7-ELEVEN

A DIVISION OF
THE SOUTHLAND CORPORATION
2828 N. HASKELL
DALLAS, TEXAS

7-ELEVEN

JOB NO.

LOCATION
Lomas Blvd. &
Mesa Vista Drive, N.E.
CITY
Albuquerque, N.M.
DATE
26 Mar 1981

C1
PAGE OF

77G

LEGEND

- Exist. contour
- Design contour
- Exist. spot elevation
- New spot elevation
- Proposed alley grades
- T.C. Top of concrete
- T.P. Top of asphalt paving
- Swale
- Line of contributory drainage areas
- T.W. Top of wall

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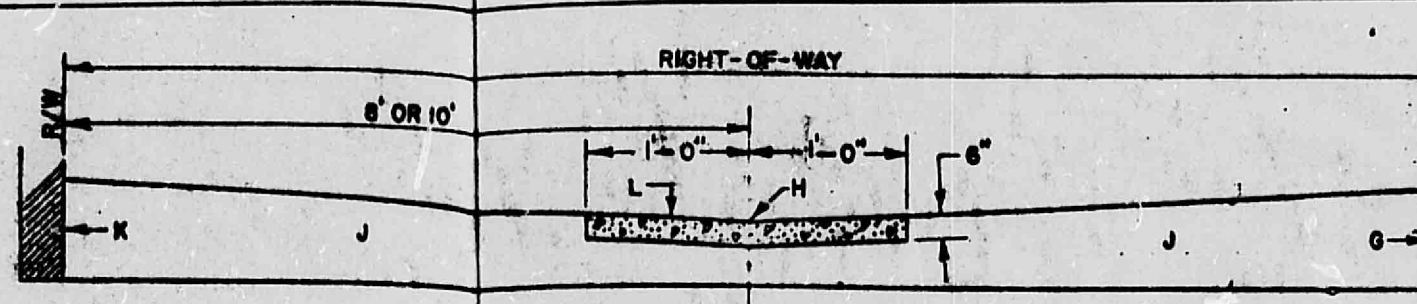
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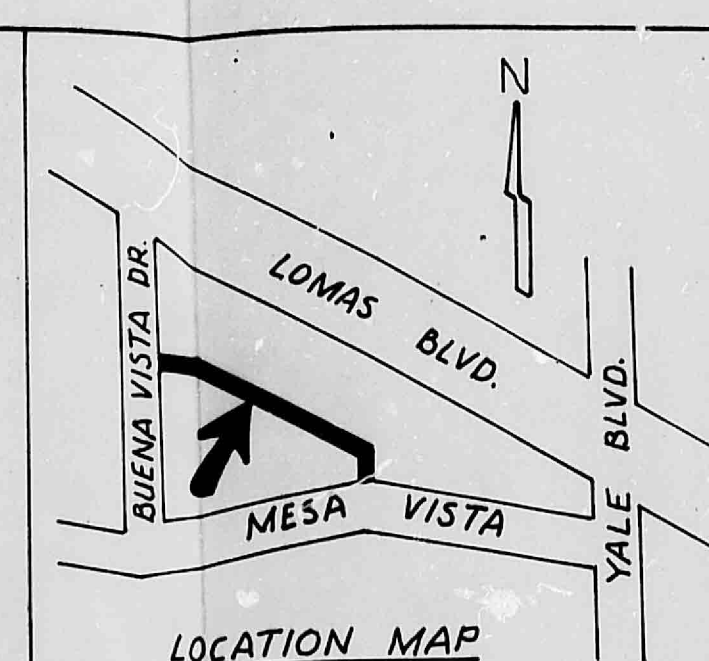
GENERAL NOTES:

1. MIN. ELEVATION AT PROPERTY LINE SHALL BE EQUIVALENT TO CENTER LINE ELEVATION OF PAVED STREET.
2. FOR HEAVY COMMERCIAL OR INDUSTRIAL ALLEYS USE ARTERIAL PAVING, SEE DWG. P-4.
3. FOR RESIDENTIAL OR LIGHT COMMERCIAL ALLEYS, USE RESIDENTIAL PAVING, SEE DWG. P-2.
4. DETAILS OF DITCH AND SIDEWALK CONFIGURATION WILL BE DEFINED ON CONSTRUCTION PLANS.
5. FOR PAVING SECTIONS, SEE DWG. P-7.
6. SIDEWALK LOCATIONS TO BE APPROVED BY THE CITY ENGINEER.

ALLEY SECTIONS:

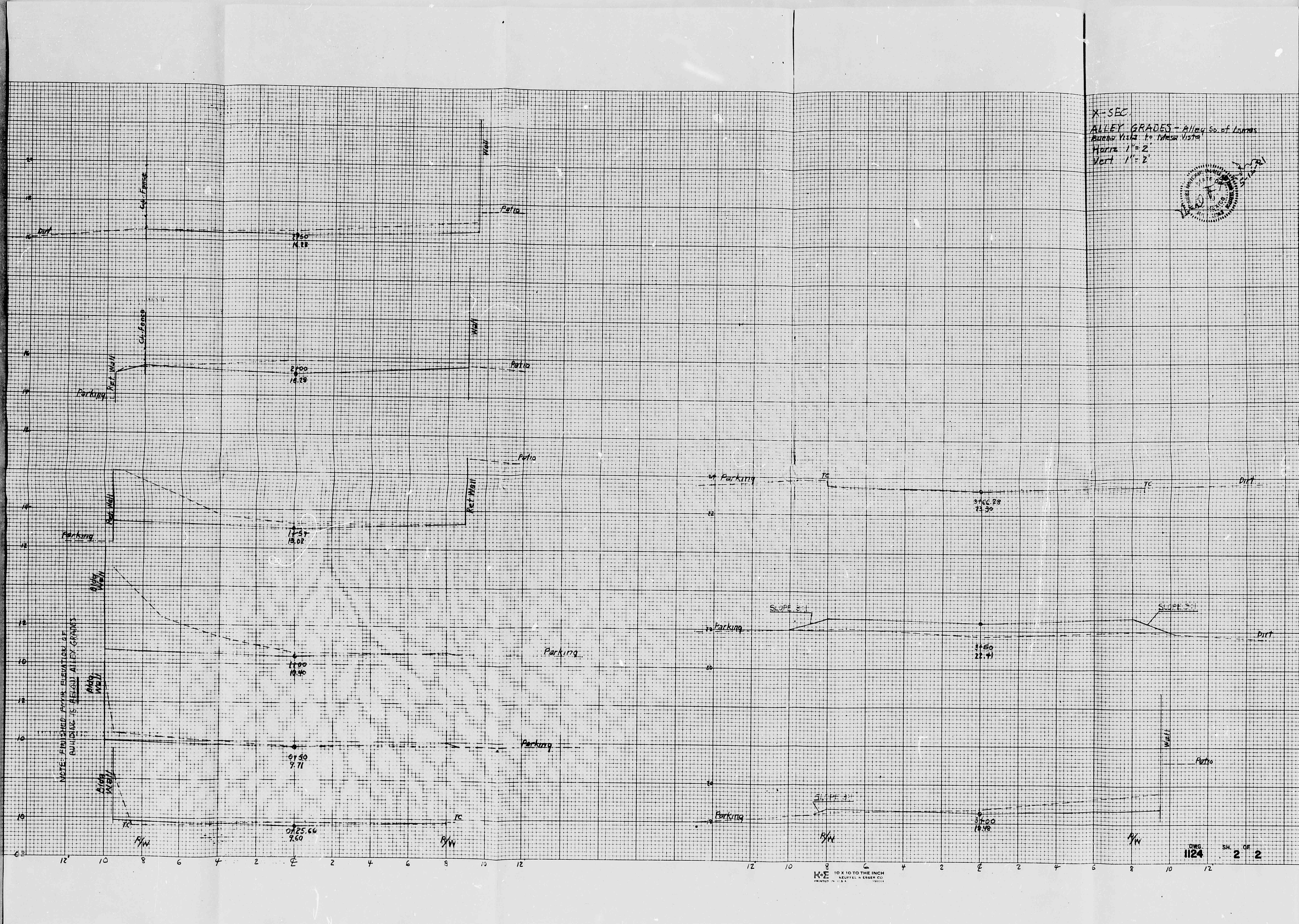
CONSTRUCTION NOTES:

- A. SEE NOTE 1.
- B. SEE NOTE 4.
- C. ESTATE TYPE MOUNTABLE CURBS, SEE DWG. P-8.
- D. 3" ASPHALTIC CONCRETE, SEE DWG. P-7.
- E. 6" COMPACTED SUBGRADE.
- F. 6" COMPACTED SUBGRADE.
- G. 2" x 6" REDWOOD OR TREATED LUMBER, TO BE USED IF NO BUILDINGS, BLOCK WALL OR CONC. CURBS R/W.
- H. INVERTED CROWN, UNLESS OTHERWISE DIRECTED OR REQUIRED, TO MATCH EXIST. PAVEMENT.
- I. SEE NOTES 2 AND 3.
- J. 1" EXPANSION JOINT MATERIAL, TO BE USED WHEN BUILDINGS, BLOCK WALLS OR CONC. WALLS ABUTS R/W.
- K. 6" PORTLAND CEMENT CONCRETE.

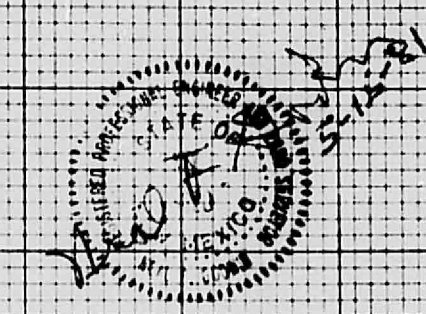


APPROVALS		ENGINEER		DATE	
Wild Waste 07		<i>R. J. [Signature]</i>		07	
SHEET		1		OF 2	

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X-SEC.
ALLEY GRADES - Alleg. So. of Lomas
Pueblo Vista to Mesa Vista
HORIZ. 1" = 2'
VERT. 1" = 2'



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