City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

Public Works Department
Transportation Development Services Section

March 5, 2002

Harold Bennett, P.E.
Bennett Engineers
309 "A" Washington S.E.
Albuquerque, NM 87108

Re: TCL Submittal for Building Permit Approval for
Anderson Warehouse [J14 / D142]
1619 First St. N.W.,
Engineer's Stamp Dated 01/15/02

Dear Mr. Bennett:

The location referenced above, dated Feb. 22, 2002, is not acceptable and requires modification to the Traffic Circulation Layout (TCL) prior to Building Permit release as stated on the attached *PRELIMINARY* TCL checklist, and red-lined TCL markup with comments.

Please resubmit revised TCL after addressing typed and marked up comments. Submit plan along with checklist and all current and past red-lined, mark-up copies.

Sincerely,

Mike Zamora, Commercial Plan Checker
Development and Building Services
Public Works Department

c: Architect
Hydrology file
Mike Zamora

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

J-14/D142

PROJECT TITLE: ANDERSON WAREHOUSE
DRB #: _____ EPC#: _____ ZONE MAP/DRG. FILE #: J-14-Z
WORK ORDER#: _____

LEGAL DESCRIPTION: Lots 1 & 2 Block 2 BRIGHTWOOD ADDITION
CITY ADDRESS: 1614 1st N.W.

ENGINEERING FIRM: BENNETT ENGINEERS
ADDRESS: 309 "A" WASHINGTON S.E.
CITY, STATE: ALB., 87108
CONTACT: HAROLD BENNETT
PHONE: 266-3038
ZIP CODE: _____

OWNER: VERNON ANDERSON
ADDRESS: 1617 FIRST N.W.
CITY, STATE: ALB., 87113
CONTACT: _____
PHONE: _____
ZIP CODE: _____

ARCHITECT: KDC
ADDRESS: 309 "A" WASHINGTON S.E.
CITY, STATE: ALB., 87108
CONTACT: John Klee
PHONE: 830-3637
ZIP CODE: _____

SURVEYOR: SOUTHWEST SURVEYS
ADDRESS _____
CITY, STATE: _____
CONTACT: DMS
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____
CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ____ DRAINAGE REPORT
- ✓ DRAINAGE PLAN
- ____ CONCEPTUAL GRADING & DRAINAGE PLAN
- ____ GRADING PLAN
- ____ EROSION CONTROL PLAN
- ____ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ____ CLOMR/LOMR
- ✓ TRAFFIC CIRCULATION LAYOUT (TCL)
- ____ ENGINEERS CERTIFICATION (TCL)
- ____ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ____ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ____ SIA / FINANCIAL GUARANTEE RELEASE
- ____ PRELIMINARY PLAT APPROVAL
- ____ S. DEV. PLAN FOR SUB'D. APPROVAL
- ____ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ____ SECTOR PLAN APPROVAL
- ____ FINAL PLAT APPROVAL
- ____ FOUNDATION PERMIT APPROVAL
- ____ BUILDING PERMIT APPROVAL
- ____ CERTIFICATE OF OCCUPANCY (PERM.)
- ____ CERTIFICATE OF OCCUPANCY (TEMP.)
- ____ GRADING PERMIT APPROVAL
- ____ PAVING PERMIT APPROVAL
- ____ WORK ORDER APPROVAL
- ____ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ____ YES
- ____ NO
- ____ COPY PROVIDED

RECEIVED
FEB 22 2002
HYDROLOGY SECTION

DATE SUBMITTED: 2-19-02 BY: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature , location and scope ot the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more

3/5/02 - Diss'd T.C.L. ; 3/5/02 - Cld Arch ; Copy din — ✓

3/4/02

TRAFFIC CIRCULATION LAYOUT SITE PLAN CHECKLIST
REVISED DRAFT 9/18/01

The City Zoning Code requires the design of access and circulation for parking areas and drive through facilities to be satisfactory to the Traffic Engineer. The design of these parking areas is a melding of a number of objectives of a development including safety, efficiency, aesthetics, etc. From a vehicular transportation point of view, one of the most critical areas of concern is the location and manner of access from the adjacent street. The interface of the development adjacent to these areas also plays a major role in how safely and efficiently they operate. These guidelines for the layout of the parking areas represent engineering design standards that will result in good operational and safety characteristics. However, with the many variables in design and unique characteristics that can be encountered, the designer may need to investigate other means of satisfying desirable operational and safety characteristics. Prior to embarking on a design for these unusual conditions, the designer should contact the Traffic Engineer to reach agreement on the modifications to these guidelines. Traffic Circulation Layout (TCL) Site Plans are required for commercial and institutional buildings, multi-family residential buildings and commercial additions of 500 square feet or more.

NOTE: The following checklist is intended to be used as a guide for preparing your Traffic Circulation Layout Plan to meet any or all of the traffic requirements. It is only a guide. Some items may not be applicable to your particular project; some items may require more detail.

I. **General Information:**

A. ✓ Completed Drainage/TCL Information Sheet-(DPM Volume 1, Chapter 17)

B. Planning History-Relationship to approved site plans, masterplans, and/or sector plans site

C. Description:

1. ✓ Vicinity map (zone atlas map) showing location of the development in relation to well-known landmarks, municipal boundaries and zone atlas map index number

2. ✓ Address and legal description or copy of current plat

3. All requests for variances from policies, ordinances or resolutions which are necessary to implement this plan must be specifically identified

4. ✓ Type of development (restaurants, banks, convenience markets, service station, super markets, auto car wash, etc.)

5. Size of development

6. Parking spaces required by Zoning Code or prior EPC approved Site Development Plan

7. Executive Summary-Provide a brief yet comprehensive discussion of the following:

a. ✓ General project location

b. ✓ Development concept for the site

c. Traffic circulation concept for the site

d. Impact on the adjacent sites

e. Reference any applicable Traffic Impact Studies (TIS) or previously approved plans

f. Variance required to accommodate unusual site constraints

✓ ITEM IS ACCEPTABLE
② ITEM NEEDS COMPLETION
3. N/A
4. ITEM IN THE SUBSECTION NEEDS COMPLETION OR THE DESIGNER MUST CONSIDER THE ITEM.

II. **Plan Drawings:**

A. Professional Architect's/Engineer's stamp with signature and date

B. Drafting standards: (Reference City Standards, DPM Volume 2, Chapter 27)

1. North Arrow
2. Scales-recommended engineer scales:
   a. 1" = 20' for sites less than 5 acres
   b. 1" = 50' for sites 5 acres or more
3. Legend-see DPM manual, Volume 2, Tables 27.3a-27.3d for recommended standard symbols
4. Plan drawings size: 24" x 36"
5. Notes defining property line, rights-of-way, signs, street lights, fire hydrants, ~~medians, water meter boxes~~, pavement limits and types, sidewalks, ~~landscape areas, project limits~~, and all other areas whose definition would increase clarity

C. ~~Existing~~ Conditions:

1. On-site
   a. Identification of ~~all existing~~ buildings, doors, structures, sidewalks, curbs, drivepads, walls, etc., and anything that influences parking and circulation of the site
   ~~b.~~ Indication of all access existing easements and rights-of-way on or adjacent to the site with dimensions and purpose shown
2. Off-site
   a. Identification of the ~~right-of-way~~ width, ~~medians~~, curb cuts, street widths, etc. (both sides of street)

D. ~~Proposed~~ Conditions: ~~Proposed~~ conditions should generally be superimposed on the drawings showing existing on-site and off-site conditions. Separate sheets may be used for on-site and off-site areas depending upon circumstances.

~~1.~~ On-site
   ~~a.~~ Indication of all proposed access easements and rights-of-way on or adjacent to the site with dimensions and purpose shown
   ~~b.~~ Slopes
      ~~(1)~~ Parking areas 1% min to 8% max
      ~~(2)~~ Parking areas adjacent to major circulation aisles or adjacent to major entrances 1% min to 6% max
      ~~(3) Handicap parking 1% min to 2% max~~
      ~~(4)~~ Handicap ramps ~~with slope of 12:~~1 must be provided ~~where~~ the sidewalk area where curbs intersect the pedestrian access to the building
   ~~c.~~ Clearly delineate project phasing. A key map is recommended.
   ~~d.~~ Parking stall sizes: (Reference City Standards, DPM, Figure 23.7.1)

e. Circulation:

(1) General layout dimensions: Figure 23.7.1 provides the layout relationships between parking stalls and aisle widths for both large and small car parking areas

(2) Treatment of access points-Discuss how the curb cuts and/or drivepads comply with Chapter 23, Section 6

(3) Internal aisle connection:

(a) Parking lots with parking spaces, spaces greater than or equal to 100 must have landscaped islands at the ends of each row of parking

(b) Landscape island radius for passenger car is 15 feet (see DPM Figure 23.7.2)

(c) Landscape island radius for delivery trucks, fire trucks, etc. is 25 feet or larger (see DPM figure 23.7.2)

(4) Maximum aisle lengths: Aisle lengths required: 300-400 feet without internal circulation between aisles

(5) Sidewalk connections:

(a) ~~Provide a 4' sidewalk from the public sidewalk to the buildings within the development~~

(b) Provide a min 5' wide sidewalk when the stall will overhang the sidewalk

(c) Clear pedestrian route accessible should be provided when the parking space may overhang the sidewalk

(6) Curbing: Provide a min 6" or max 8" high concrete barrier curb between landscaping and parking areas and/or drive aisles – Call out & Label Type & Material

(7) Fire and emergency access: Provision for access by fire and emergency vehicles needs to be in accordance with the Albuquerque Fire Plan Checking Division

(8) Service Areas:

(a) Circulation:

1) Design vehicle route needs to be shown

2) No truck ramps, ~~refuse~~/compactors or similar facilities permitted within circulation aisle

(b) No backing into or from public street allowed

(c) Service vehicle [redacted] vehicle maneuvering must be contained on-site

(d) Aisle width required:

1) Two-way traffic is 30'

2) One-way traffic is 20'

City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

May 22, 1995

J. Arsenio Martinez
George T. Rodriguez Development Consultant
12800 San Juan NE
Albuquerque,NM 87123

RE: DRAINAGE PLAN FOR BOB TURNERS FORD TRUCK CENTER (J15-D60
ENGINEER'S STAMP DATED 5/2/95.

Dear Mr. Martinez:

Based on the information provided on your May 3, 1995 submittal, the above referenced site is approved for Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya

Bernie J. Montoya, CE
Engineering Associate

BJM/dl

c: Andrew Garcia
File

DRAINAGE INFORMATION SHEET

PROJECT TITLE: BOB TURNERS FORD TRUCK CENTER ZONE ATLAS/DRNG. FILE #: J-15/D6

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: TRACT "K-1-A-1", SOUTHWEST CONSTRUCTION COMPANY ADDITION

CITY ADDRESS: 1100 LOMAS BLVD. N.E.

ENGINEERING FIRM: J. ARSENIO MARTINEZ, P.E. GEORGE T. RODRIGUEZ DEVELOPMENT CONSULTANT CONTACT: MR. MARTINEZ MR. RODRIGUEZ

ADDRESS: 12800 SAN JUAN N.E. 87123 PHONE: 294-0320

OWNER: BOB TURNER (NO BULL) CONTACT: MR. BOB TURNER

ADDRESS: 1100 LOMAS BLVD. N.E. PHONE: 224-1224

ARCHITECT: JIM MEDLEY - ARCHITECT CONTACT: JIM MEDLEY

ADDRESS: 3100 CHRISTINE N.E. 87111 PHONE: 292-3514

SURVEYOR: TORRES SURVEYING CO. CONTACT: JIM TORRES

ADDRESS: 1570 BRIDGE BLVD. S.W. 87105 PHONE: 263-2184

CONTRACTOR: KEN HIGHTOWER CONTACT: KEN

ADDRESS: 3736 EUBANK BLVD. N.E. PHONE: 265-3655

TYPE OF SUBMITTAL:

____ DRAINAGE REPORT

✓ DRAINAGE PLAN

____ CONCEPTUAL GRADING & DRAINAGE PLAN

____ GRADING PLAN

____ EROSION CONTROL PLAN

____ ENGINEER'S CERTIFICATION

____ OTHER

PRE-DESIGN MEETING:

✓ YES

____ NO

____ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

____ SKETCH PLAT APPROVAL

____ PRELIMINARY PLAT APPROVAL

____ S. DEV. PLAN FOR SUB'D. APPROVAL

____ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL

____ SECTOR PLAN APPROVAL

____ FINAL PLAT APPROVAL

____ FOUNDATION PERMIT APPROVAL

✓ BUILDING PERMIT APPROVAL

____ CERTIFICATE OF OCCUPANCY APPROVAL

____ GRADING PERMIT APPROVAL

____ PAVING PERMIT APPROVAL

____ S.A.D. DRAINAGE REPORT

____ DRAINAGE REQUIREMENTS

____ OTHER _____ (SPECIFY)

DATE SUBMITTED: MAY 2, 1995

BY: GEORGE T. RODRIGUEZ

RECEIVED
MAY - 3 1995
HYDROLOGY DIVISION