

"As Built" Notes:

- 1) Onsite TC elevations have been determined by adding 0.5' to asbuilt flowline elevations.
- 2) Currently, Phase I and 2 has been paved.

CITY BENCHMARK:
Z-J15, ELEVATION = 5076.24

PROJECT TBM:
ODDFELLOWS BUILDING, FF = 5053.18



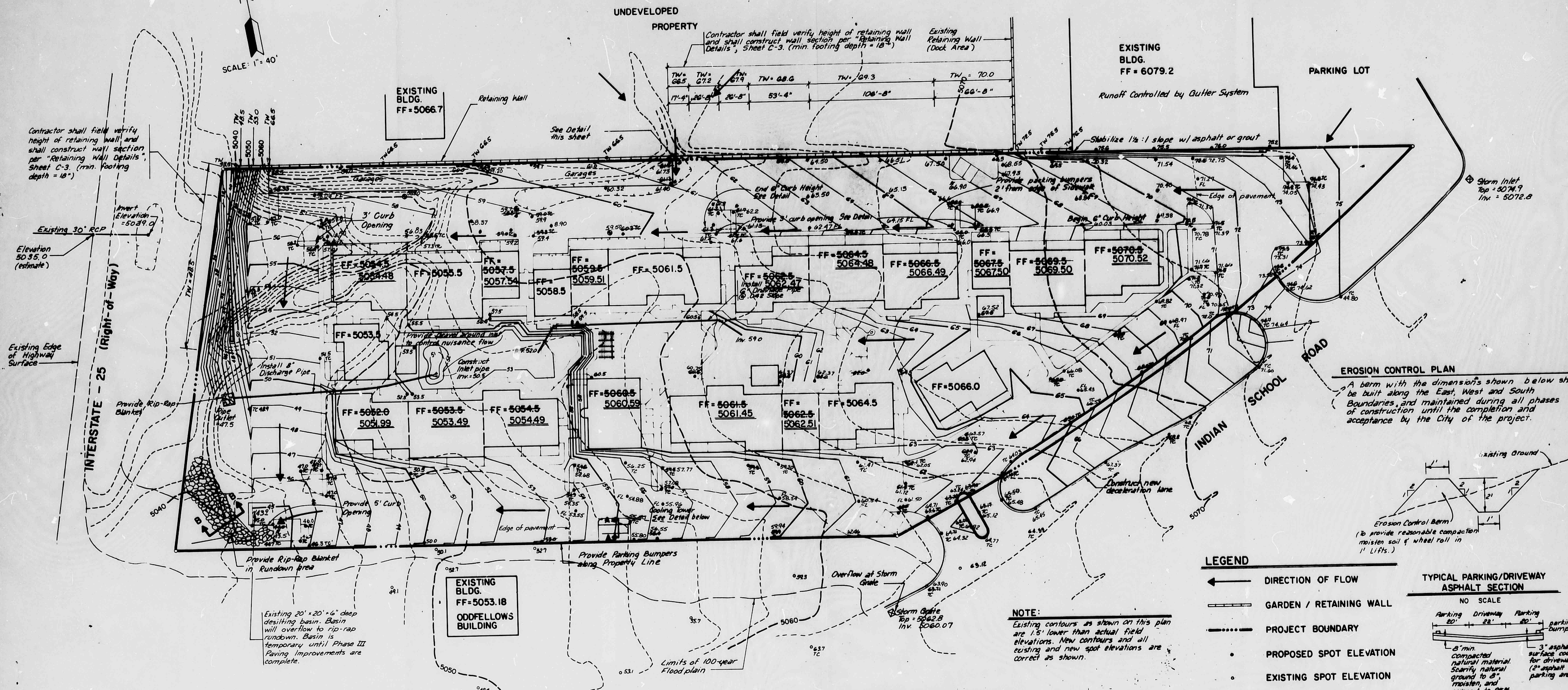
BARKER & ASSOCIATES, INC.
ARCHITECTS & PLANNERS
209 GOLD AVENUE, S.W.
ALBUQUERQUE, NEW MEXICO 87102 505-262-6703

JOB NO. 8412
DATE 5/9/84
REVISIONS:
5/1/84

GRADING PLAN "AS BUILT" INFORMATION

NETHERWOOD VILLAGE

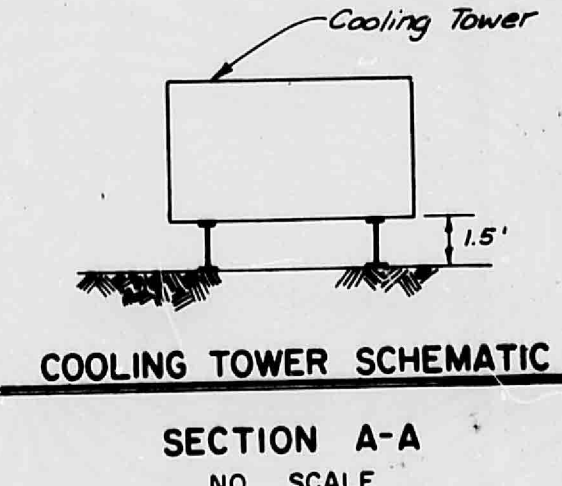
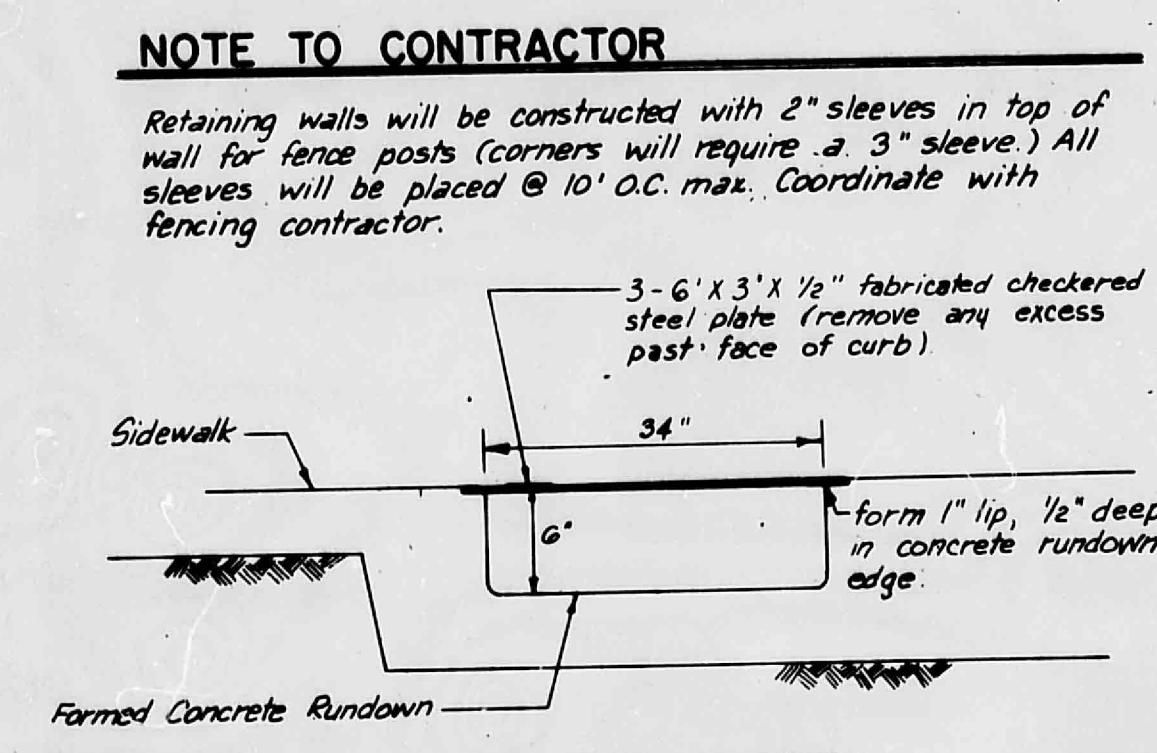
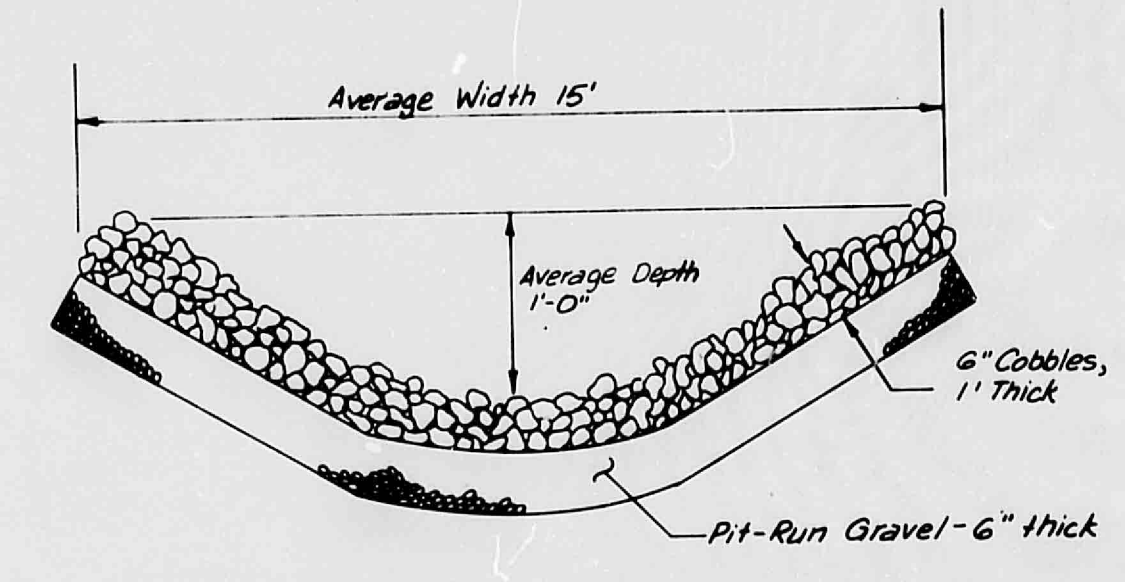
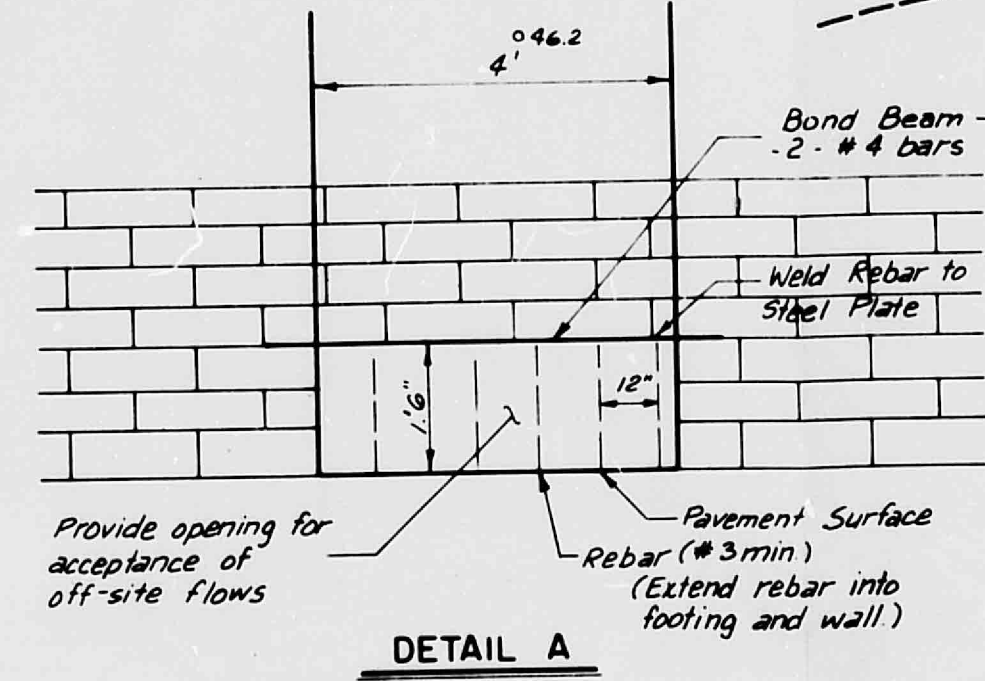
SCALE: 1" = 40'



EROSION CONTROL PLAN

A berm with the dimensions shown below shall be built along the East, West and South boundaries and maintained during all phases of construction until the completion and acceptance by the City of the project.

- LEGEND**
- DIRECTION OF FLOW
 - GARDEN / RETAINING WALL
 - PROJECT BOUNDARY
 - PROPOSED SPOT ELEVATION
 - EXISTING SPOT ELEVATION
 - EXISTING CONTOURS
 - PROPOSED CONTOURS
- TYPICAL PARKING/DRIVEWAY ASPHALT SECTION**
- NO SCALE
- Parking 20' Driveway 22' Parking 20'
- 3" min. compacted natural material. Scarify natural ground to 4". Moisture, and compact to 95% compaction density (ASTM D-1557)
- 3" asphalt surface course for driveways (2" asphalt for parking areas)



REVISION:

This grading plan is a revised and corrected version of the original plan, approved 5/17/84. An error in the project TBM elevation necessitated revisions to the plan. No grading or drainage patterns have been altered.

APPROVED: *[Signature]* 5/1/84

ASST. CITY ENGINEER - HYDROLOGY

REVISION APPROVAL: *[Signature]* 5/1/84

NOTE: Rough grading must be accomplished to ± 0.3 of the grading plan requirements.

NETHERWOOD VILLAGE

GRADING PLAN

"AS BUILT" INFORMATION

CITY OF ALBUQUERQUE
THIS MICROIMAGE IS THE BEST POSSIBLE REPRODUCTION DUE TO THE POOR QUALITY OF THE ORIGINAL DOCUMENT

SHEET NO. 2
2 OF 2 SHEETS

I, BRIAN BURNETT, P.E., CERTIFY THAT THE AS-BUILT INFORMATION SHOWN ON THE ATTACHED SHEET 2 OF 2 FOR THE FOLLOWING PHASE (S) IS IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED DRAINAGE PLAN.

1) PHASE 1 - 2/13/85
 2) PHASE 2 - 4/18/85
 3) PHASE 3 - 5/21/85

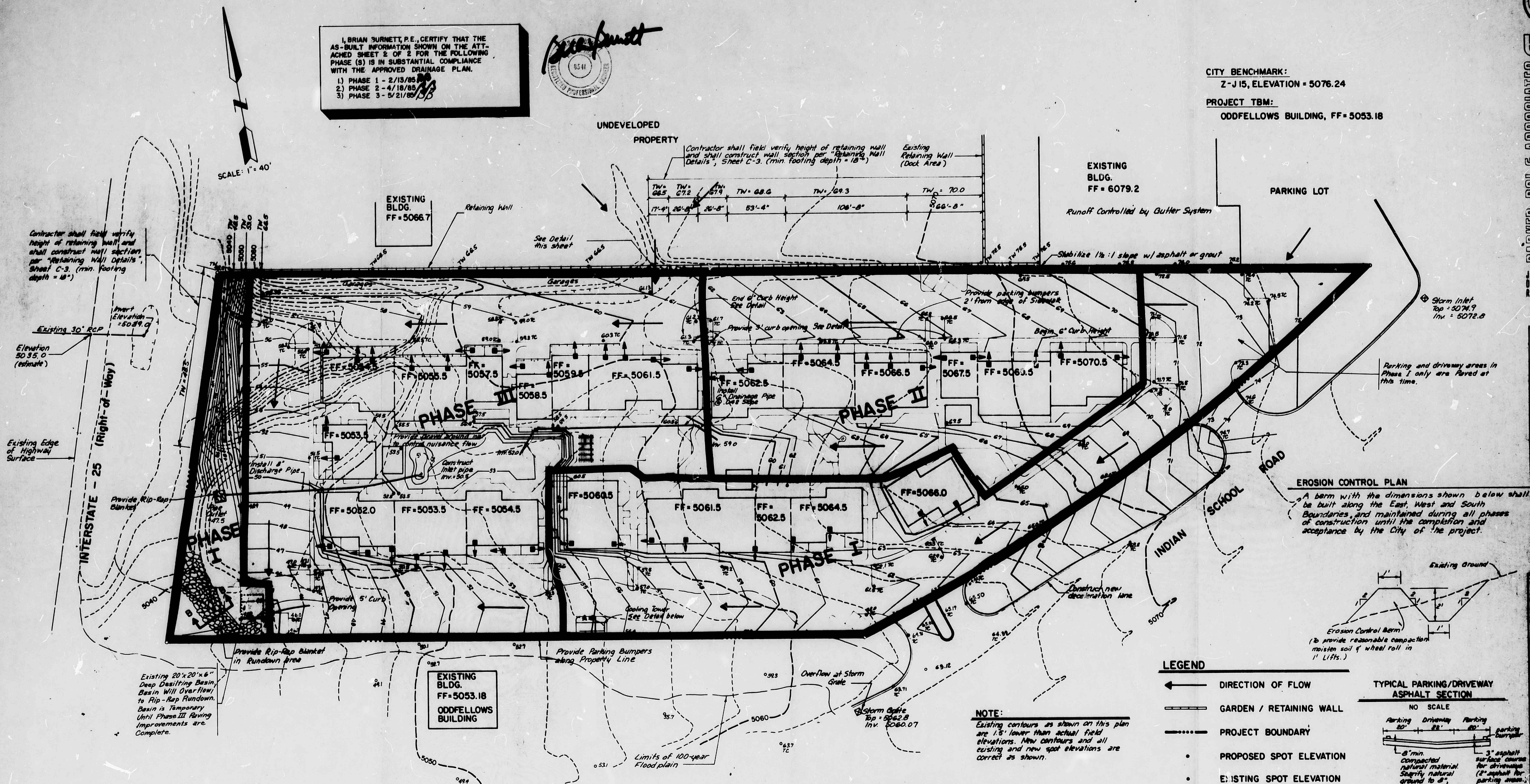


CITY BENCHMARK:
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PROJECT TBM:
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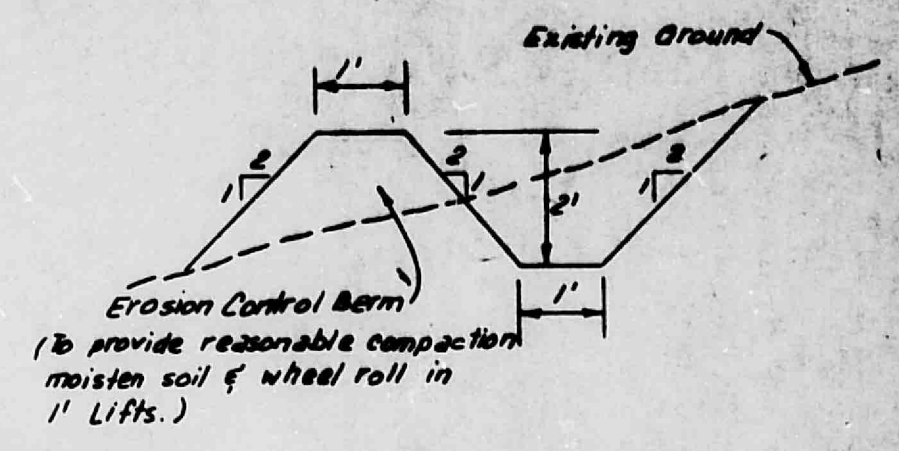
BARKER-BOL & ASSOCIATES
 ARCHITECTS & ENGINEERS
 209 COLLETA AVENUE
 ALBUQUERQUE, NEW MEXICO 87102-3000

JOB NO. 8412
 DATE 9/5/84
 REVISION: 5/1/85

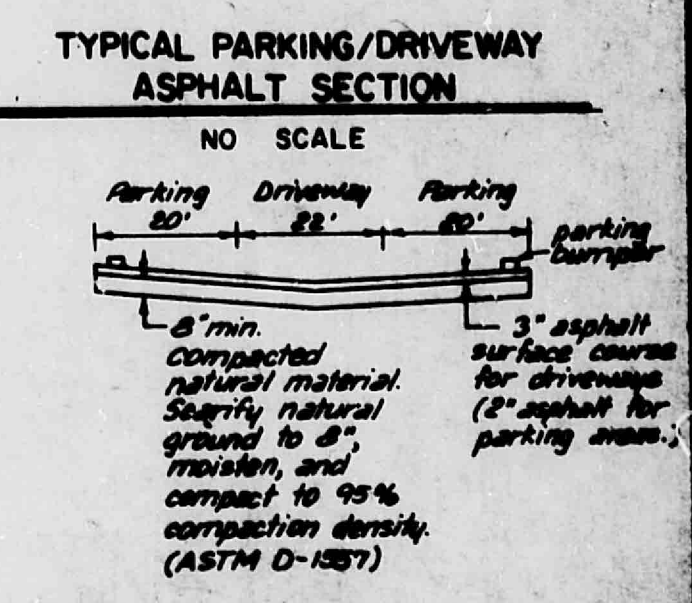


EROSION CONTROL PLAN

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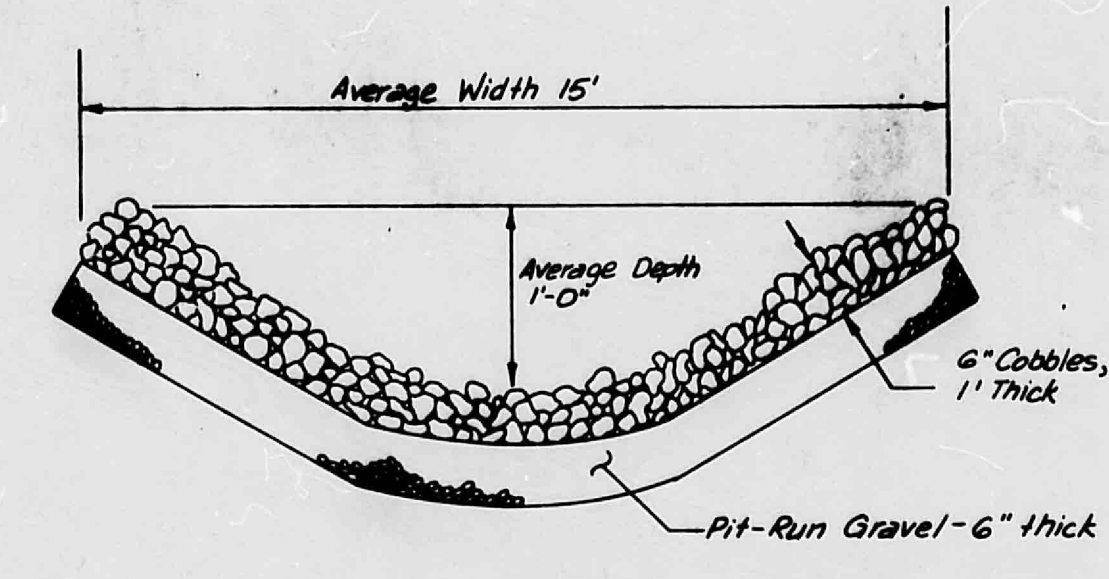
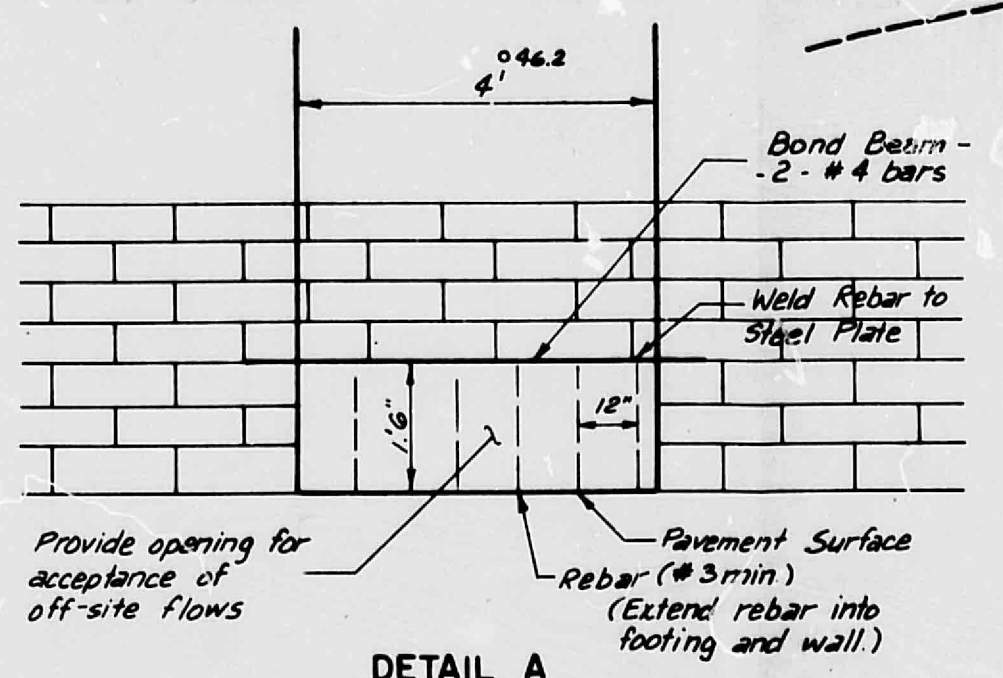
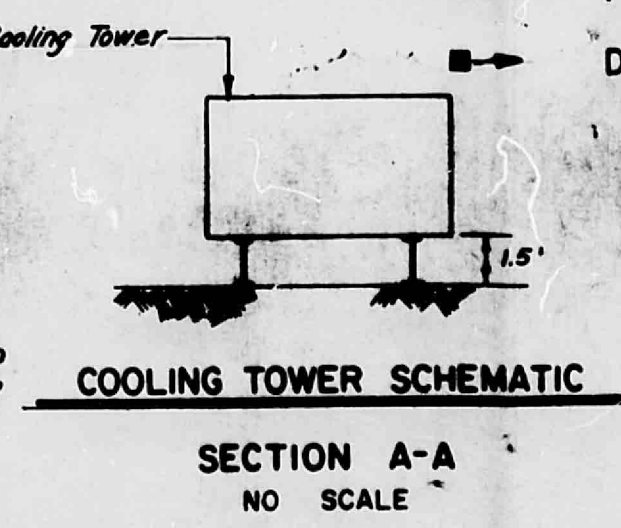
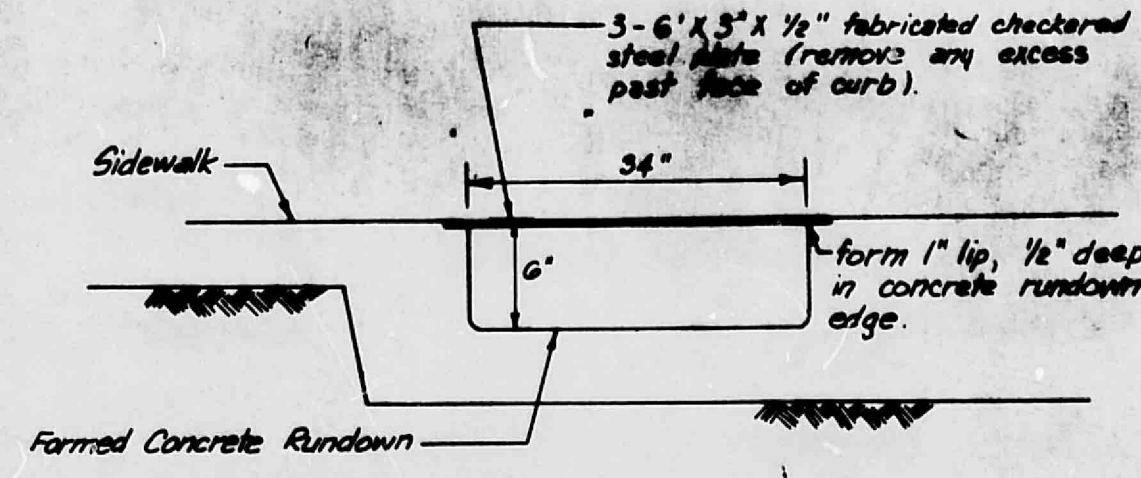


- LEGEND**
- > DIRECTION OF FLOW
 - GARDEN / RETAINING WALL
 - PROJECT BOUNDARY
 - PROPOSED SPOT ELEVATION
 - EXISTING SPOT ELEVATION
 - - - - - EXISTING CONTOURS
 - - - - - PROPOSED CONTOURS
 - DOWNSPOUTS FROM BUILDING



NOTE TO CONTRACTOR

Retaining walls will be constructed with 2" sleeves in top of wall for fence posts (corners will require a 3" sleeve.) All sleeves will be placed @ 10' O.C. max. Coordinate with fencing contractor.



APPROVED: *[Signature]* 5/1/85
 ASST. CITY ENGINEER-HYDROLOGY

REVISION APPROVAL: *[Signature]* 9/4/85
 (See note on revision below)

NOTE: Rough grading must be accomplished to ± 0.5 of the grading plan requirements.

**NETHERWOOD VILLAGE
 PHASING PLAN**

NOTE: This sheet does not reflect "as built" information. See Sheet 2 of 2.

CITY OF ALBUQUERQUE
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PHASING PLAN

NETHERWOOD VILLAGE

SHEET 11
 11.2/11

J15/D26