

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

September 10, 2020

J. Graeme Means, P.E.
High Mesa Consulting Group
6010 B Midway Park Blvd NE
Albuquerque, NM 87109

**RE: UNM Lands West Phase 1 Improvements
Grading and Drainage Plan
Engineer's Stamp Date: 08/28/20
Hydrology File: J15D027A**

Dear Mr. Means:

Based upon the information provided in your submittal received 09/03/2020, the Grading and Drainage Plan is approved for Paving Permit and SO-19 Permit.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes _____ No

DEPARTMENT _____ TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE REPORT
- _____ DRAINAGE MASTER PLAN
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ STREET LIGHT LAYOUT
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

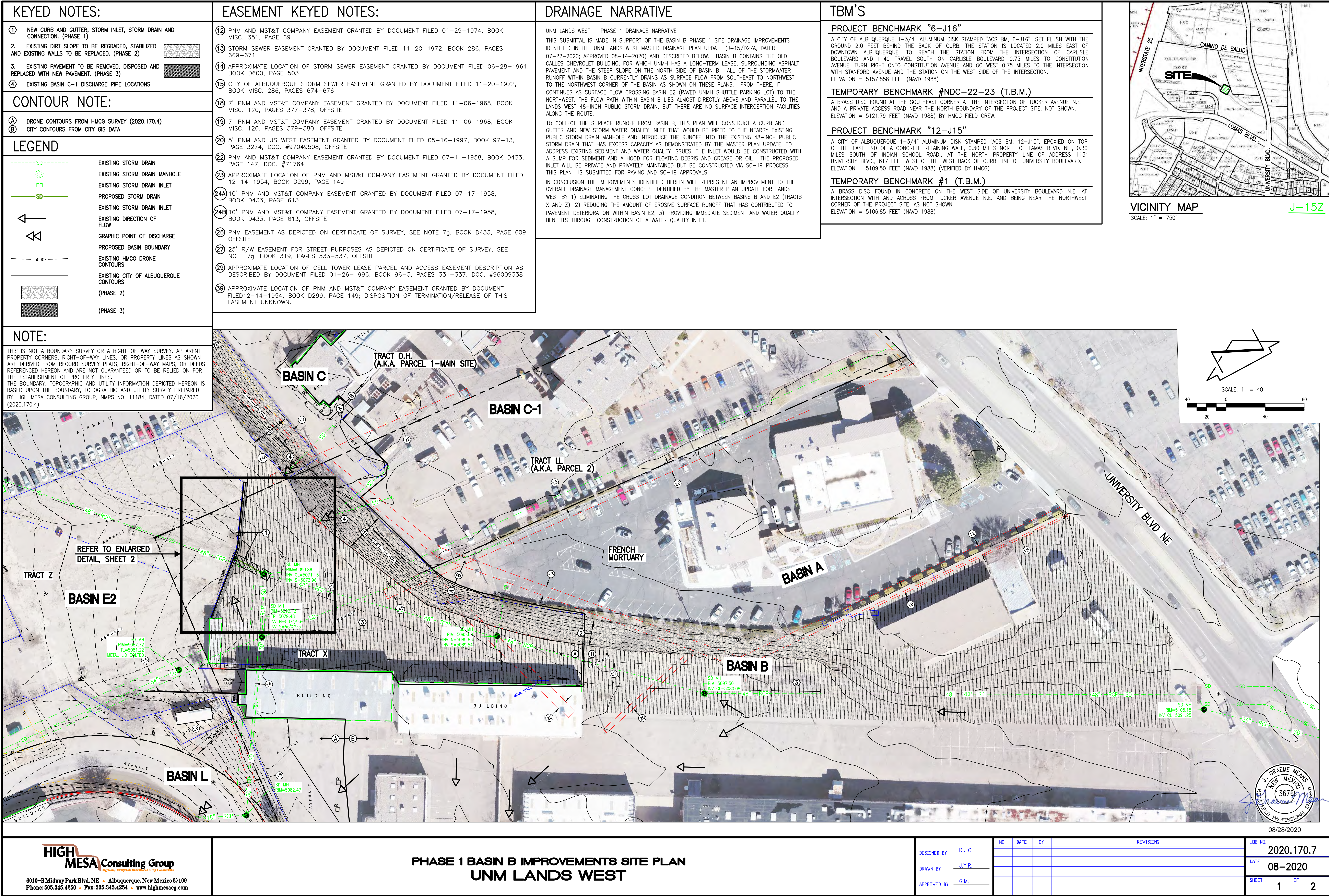
- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

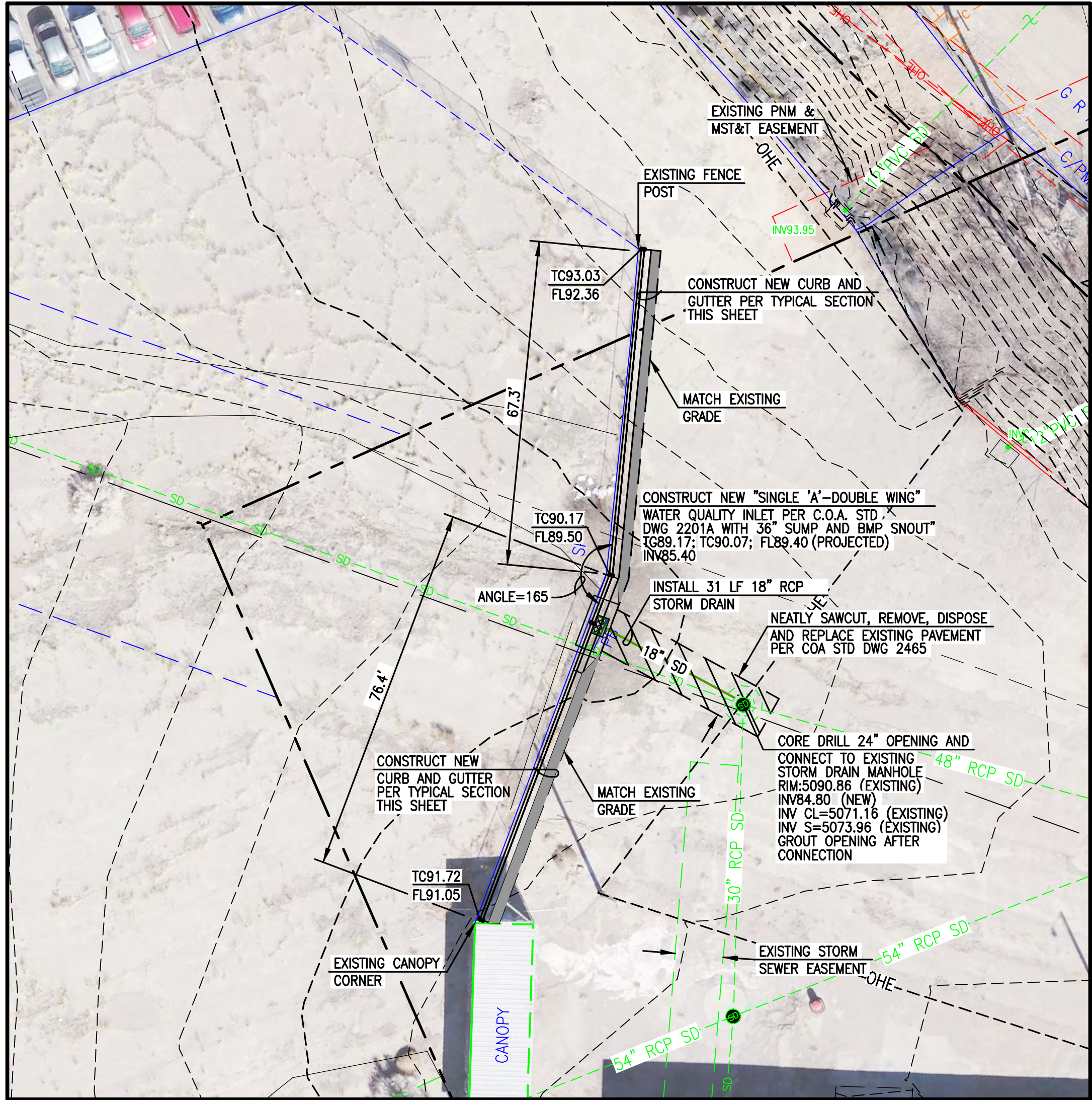


CONSTRUCTION NOTES:

1. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR APPROVED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS-PUBLIC WORKS CONSTRUCTION-2020-UPDATE NO. 10.
2. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 811, FOR DESIGNATION (LINE-SPOTTING) OF EXISTING PUBLIC UTILITIES.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
4. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
5. UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE TOPOGRAPHIC AND UTILITY SURVEY CONDUCTED BY THIS FIRM DATED 07/16/2020. THAT UTILITY SURVEY AND SUBSURFACE UTILITY ENGINEERING EFFORT IS NOT ALL-INCLUSIVE AND MAY NOT REPRESENT UTILITIES/INFRASTRUCTURE THAT HAVE BEEN ABANDONED-IN-PLACE, WERE INACCESSIBLE, OR OTHERWISE UNDETECTABLE DUE TO UNFORESEEN AND UNCONTROLLABLE SITE AND/OR UTILITY CONDITIONS. FURTHER, THAT UTILITY INVESTIGATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFORE. THE PROPERTY OWNER, DEVELOPER, OR CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, NEW MEXICO EXCAVATION LAWS (NM811), MUNICIPAL AND LOCAL ORDINANCES, SITE SPECIFIC RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE UTILITY LINES AND FACILITIES.
6. THE DESIGN OF PLANTERS AND LANDSCAPED AREAS IS NOT PART OF THIS PLAN. ALL PLANTERS AND LANDSCAPED AREAS ADJACENT TO THE BUILDING(S) SHALL BE PROVIDED WITH POSITIVE DRAINAGE TO AVOID ANY PONDING ADJACENT TO THE STRUCTURE. FOR CONSTRUCTION DETAILS, REFER TO LANDSCAPING PLAN.
7. THE GRADES INDICATED ON THIS PLAN ARE FINISHED GRADES UNLESS OTHERWISE INDICATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LEAVING SUBGRADE AT ELEVATIONS THAT SHALL ACCOMMODATE PROPOSED IMPROVEMENTS AS INDICATED ON THE PLANS INCLUDING, BUT NOT LIMITED TO, SURFACE DRAINAGE STRUCTURES, PAVING AND LANDSCAPING SURFACING.

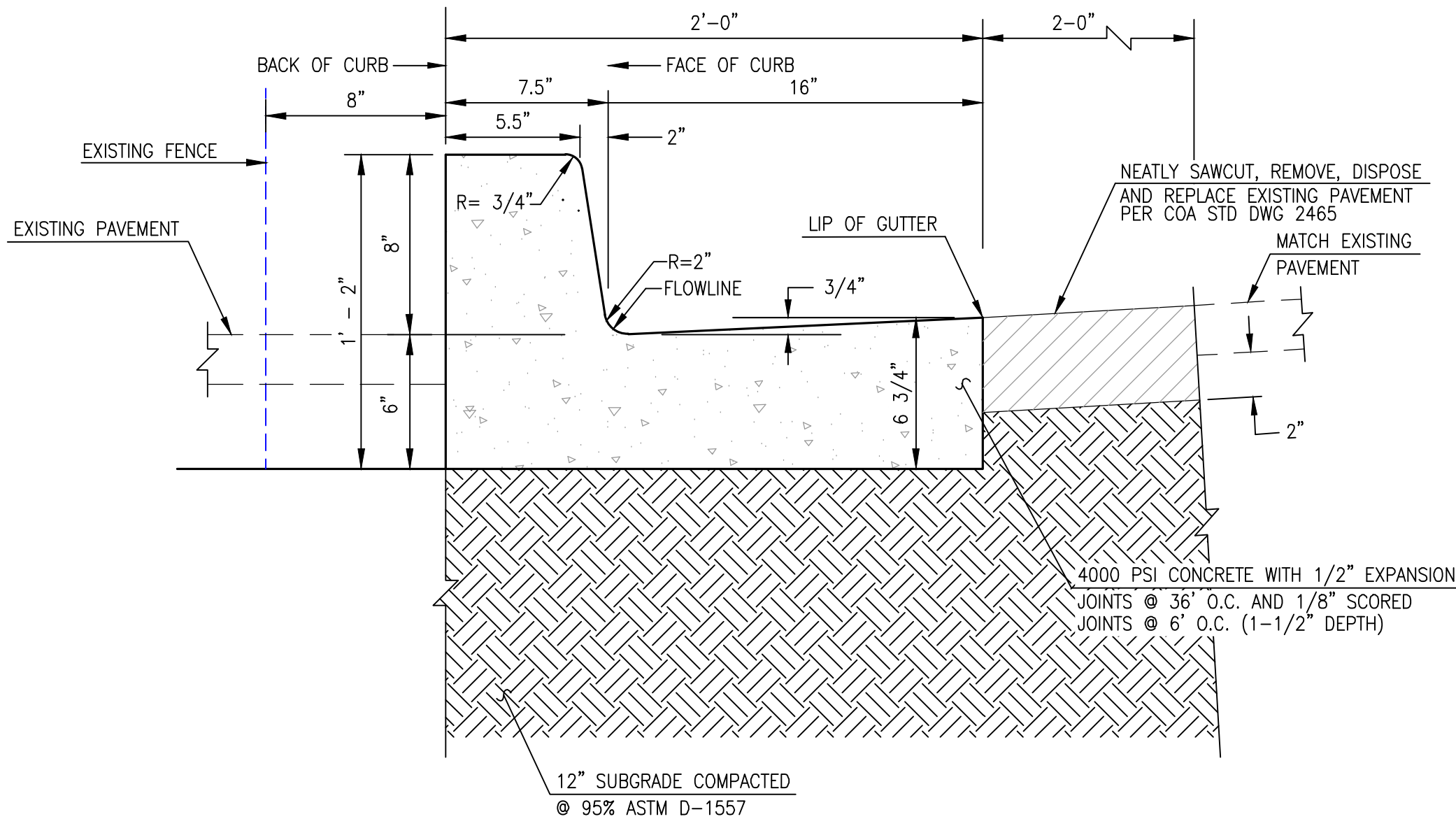
PRIVATE DRAINAGE FACILITIES WITHIN CITY
RIGHT-OF-WAY NOTICE TO CONTRACTOR
(SPECIAL ORDER 19 ~ "SO-19")

1. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" OR [(505) 260-1990] FOR THE LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC /STREET USE.
6. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
7. WORK ON ARTERIAL STREETS MAY BE REQUIRED ON A 24-HOUR BASIS.
8. CONTRACTOR MUST CONTACT AUGIE ARMUJO AT (505) 857-8607 AND CONSTRUCTION COORDINATION AT (505) 924-3416 TO SCHEDULE AN INSPECTION.



NOTE:

THIS IS NOT A BOUNDARY SURVEY OR A RIGHT-OF-WAY SURVEY. APPARENT PROPERTY CORNERS, RIGHT-OF-WAY LINES, OR PROPERTY LINES AS SHOWN ARE DERIVED FROM RECORD SURVEY PLATS, RIGHT-OF-WAY MAPS, OR DEEDS REFERENCED HEREON AND ARE NOT GUARANTEED OR TO BE RELIED ON FOR THE ESTABLISHMENT OF PROPERTY LINES. THE BOUNDARY, TOPOGRAPHIC AND UTILITY INFORMATION DEPICTED HEREON IS BASED UPON THE BOUNDARY, TOPOGRAPHIC AND UTILITY SURVEY PREPARED BY HIGH MESA CONSULTING GROUP, NMPS NO. 11184, DATED 07/16/2020 (2020.170.4)



A1 ENLARGED DETAIL (PHASE 1)
SCALE: 1" = 20'

A5 TYPICAL CURB & GUTTER SECTION
SCALE: 1" = 0'-6"



HIGH MESA Consulting Group
Engineers, Surveyors & Subsurface Utility Consultants

6010-B Midway Park Blvd. NE • Albuquerque, New Mexico 87109
Phone: 505.345.4250 • Fax: 505.345.4254 • www.highmesacg.com

**PHASE 1 BASIN B IMPROVEMENTS
UNM LANDS WEST**

DESIGNED BY	NO.	DATE	BY	REVISIONS	JOB NO.
R.J.C.					2020.170.7
DRAWN BY					DATE
J.Y.R.					08-2020
APPROVED BY					SHEET
G.M.					2 OF 2