



March 23, 2026

Mr. Terry Brown
VIA ELECTRONIC MAIL
Tierra West, LLC
5571 Midway Park Pl. NE
Albuquerque, NM 87109

**Subject: Lobo Plaza Traffic Impact Study
East of I-25 and Lomas Blvd.
Albuquerque, New Mexico**

Dear Mr. Brown:

This letter is to inform you that the **FINAL** Traffic Impact Study (TIS) for the Lobo Plaza TIS east of the I-25 and Lomas Blvd interchange dated February 2026 has been reviewed.

The NMDOT has no objection to using the existing full signalized intersections at the I-25 and Lomas Blvd. interchange. The site plan for this development is shown in Exhibit A. The recommendations provided for these analyses are shown in Exhibit B. Based on these analyses, the following conditions are required:

1. At the signalized intersection of I-25 southbound off-ramp and Lomas Blvd. the development shall provide signal timing recommendations to optimize operations as shown in its mitigated scenario. These signal timings shall be provided to the City of Albuquerque Traffic section for its implementation.
2. At the signalized intersection of I-25 northbound off-ramp and Lomas Blvd. the development shall provide signal timing recommendations to optimize operations as shown in its mitigated scenario. These signal timings shall be provided to the City of Albuquerque Traffic section for its implementation.

In addition to the TIA, all improvements are based on other factors, including but not limited to, the State Access Management Manual (SAMM) design criteria, Pedestrian Right of Way Accessibility Guidelines (PROWAG), roadway design references and any local jurisdiction planning documents.

**Michelle Lujan
Grisham**
Governor

David D. Quintana, P.E.
Acting Cabinet Secretary

Commissioners

John McElroy
Commissioner
District 1

Vacant
Commissioner
District 2

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Commissioner, Vice Chairman
District 3

Walter G. Adams
Commissioner, Chairman
District 4

Thomas C. Taylor
Commissioner
District 5

Charles Lundstrom
Commissioner, Secretary
District 6

If you have any questions, please feel free to call me at 505.288.2086 or email me at Margaret.Haynes@dot.nm.gov

Sincerely,

Margaret Haynes, P.E.
District 3 Assistant Traffic Engineer

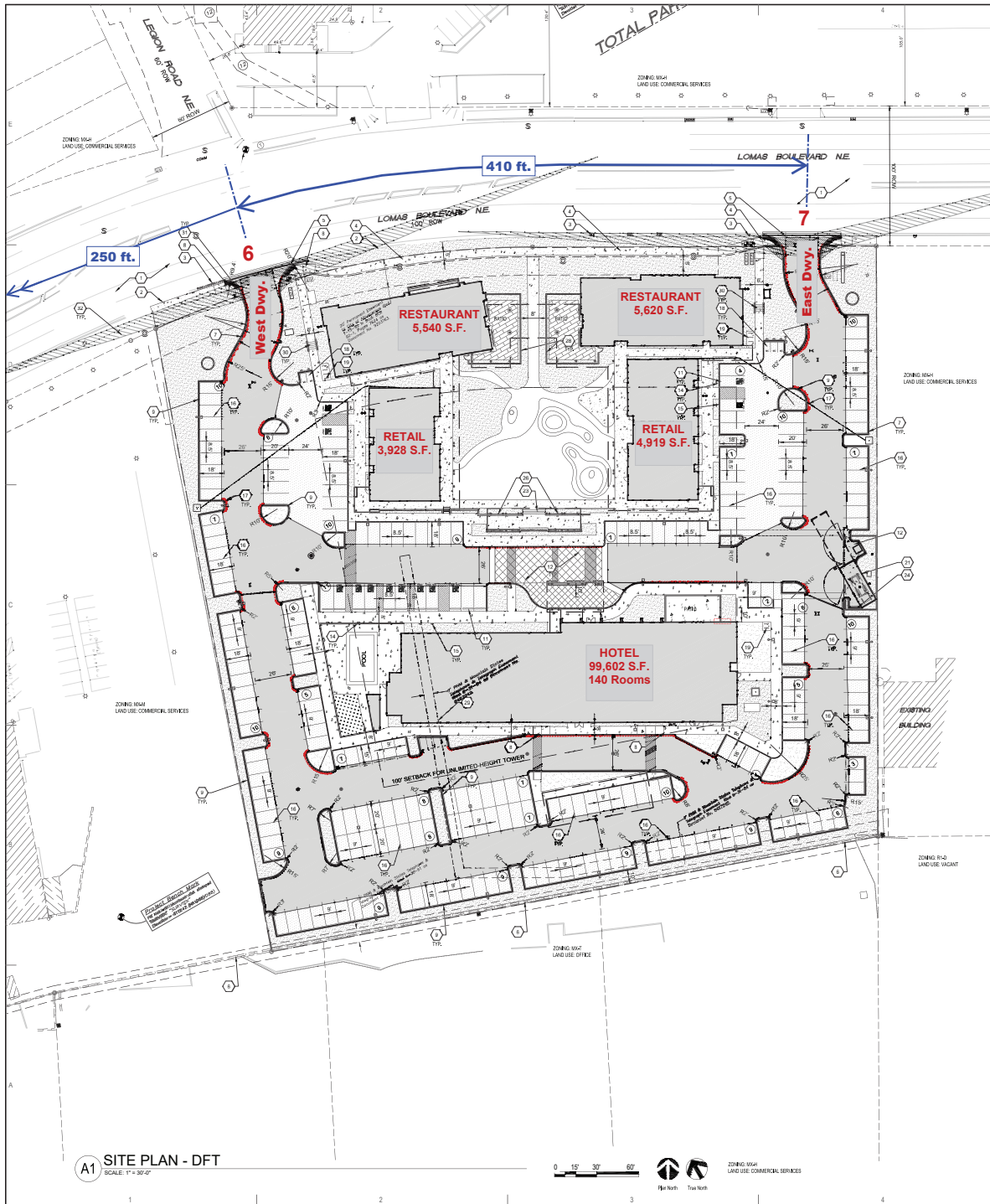
Copies:

Nancy Perea, NMDOT D3
Keith Thompson, NMDOT D3
Ernest Armijo, COA
Tim Brown, COA
file

Attachments:

Exhibit A – site plan
Exhibit B – Recommendations page 41

EXHIBIT A



CLEAR SITE TRIANGLES:
 LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 4 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.

SITE DATA:
 SITE ADDRESS: 1300 LOMAS BOULEVARD NE
 LEGAL DESCRIPTION: T10N SEC16 R3E CON 4 974 ACRA PARCEL 1
 SITE AREA: 4.87 ACRES
 EXISTING ZONING: MX-M

GENERAL NOTES:
 1. THE PROJECT SITE IS WITHIN AN AREA OF CHANGE, AN AREA OF CONSISTENCY IS ADJACENT TO THE PROJECT SITE AT ITS SOUTHWEST CORNER.
 2. THE PROJECT SITE IS WITHIN THE LOMAS BOULEVARD MAJOR TRANSIT CORRIDOR. LOMAS 11 BUS ROUTE RUNS ALONG LOMAS BOULEVARD AND BUS STOPS ARE IN CLOSE PROXIMITY TO THE PROJECT SITE.
 3. SITE LIGHTING SHALL BE COMPLIANT WITH IBC SECTION 5-8 OUTDOOR AND SITE LIGHTING, TABLE 5-8.1 MAXIMUM HEIGHT FOR LIGHT POLES, AND TABLE 5-8.2 LIGHTING DESIGNATIONS BY ZONE DISTRICT.

BUILDING AREA TOTALS BY PHASE
 PHASE 1: 202,817 SF (RESTAURANTS AND RETAIL)
 PHASE 2: 99,602 SF (HOTEL)
 FULL BUILD OUT: 302,419 SF

PARKING CALCULATIONS
 PROPOSED BUILDING PHASE 1 (RESTAURANTS AND RETAIL):
 RESTAURANTS: 15 SPACES/1,000 SF AND 15 SPACES/1,100 SF
 PARKING REQUIRED: 64 SPACES PER 1,000 SF OF GFA + 63 SPACES REQUIRED.
 RETAIL: 2.4 SPACES/1,000 SF AND 2.0 SPACES/1,100 SF
 PARKING REQUIRED: 12 SPACES PER 1,000 SF OF GFA + 11 SPACES REQUIRED.
 PHASE 2
 HOTEL: 140 ROOMS, 204 BEDS, 90,822 SF TOTAL
 PARKING REQUIRED: 1 SPACE/GUESTROOM OR 1 SPACE PER 2 BEDS, WHICHEVER IS GREATER + 140 STALLS.
 COMBINED PHASE 1 AND PHASE 2
 TOTAL SPACES PROVIDED:
 207 STALLS
 12 ADA ACCESSIBLE SPACES PROVIDED
 ACCESSIBLE PARKING REQUIRED: 8 PER MAXIMUM SECTION 110.
 PARKING PROVIDED:
 207 TOTAL SPACES PROVIDED
 206 STALLS
 12 ADA ACCESSIBLE SPACES PROVIDED
 MOTORCYCLE PARKING REQUIRED: TABLE 5-8.4 - 3 SPACES
 MOTORCYCLE SPACES REQUIRED: 3 MOTORCYCLE SPACES PROVIDED
 BICYCLE PARKING PER TABLE 5-8.4
 NUMBER OF BICYCLE PARKING SPACES: 140 + 3 SPACES OF 10% OR REQUIRED OFF-STREET PARKING SPACES, 10% OF 31 SPACES = 3 SPACES ROUNDED UP
 HOTEL: 2 SPACES/1,000 SF OF GFA FOR CONFERENCE, RESTAURANT, BANQUET AND MEETING SPACE
 MEETING SPACE 7,959 SF, ROOF TOP BANQUET: 1,000 SF, RESTAURANT: 1,000 SF
 THEREFORE TOTAL BICYCLE PARKING: 14 ROUNDED.
 PROVIDED TO BE MET BY 14 BICYCLE SPACES PER HOTEL AND 14 AT HOTEL TOTAL OF 28.
 14 BICYCLE SPACES REQUIRED, 28 BICYCLE SPACES PROVIDED

PROJECT NUMBER: _____

Application Number: _____

Is an Infrastructure List required? () Yes () No. If yes, then a set of approved DRIC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DFT SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
ABC/WJA	Date
Parks and Recreation Department	Date
Hydrology	Date
Code Enforcement	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
Planning Department	Date

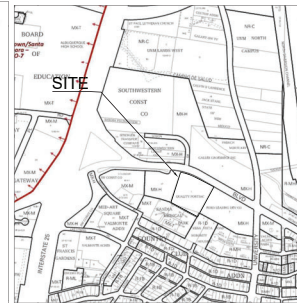
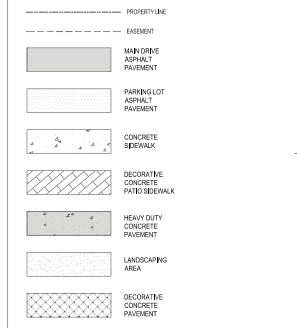
GENERAL SHEET NOTES

- CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS TO REMAIN INCLUDING, BUT NOT LIMITED TO, BUILDINGS, PAVING, CURBS, SIDEWALKS, FOUNDATIONS AND UTILITIES. EXISTING FOUNDATIONS SHALL REMAIN UNLESS STRUCTURAL INTEGRITY AS THEY WERE DESIGNED.
- GENERAL CONTRACTOR SHALL PATCH, REPAIR AND/OR REPLACE ITEMS TO REMAIN THAT HAVE BEEN DAMAGED DURING CONSTRUCTION TO THE OWNER'S SATISFACTION AND AT NO COST TO THE OWNER.
- CONTRACTOR SHALL ENSURE THAT UTILITY SERVICE TO EXISTING BUILDINGS TO REMAIN SHALL BE OPERATIONAL DURING CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFETY MEASURES TO PROTECT EXISTING UTILITIES DURING CONSTRUCTION.
- CONTRACTOR TO VERIFY ALL EXISTING UTILITY LOCATIONS BEFORE EXCAVATION.
- ALL SITE PLAN DIMENSIONS ARE IN DECIMAL FEET.
- BEFORE ANY WORK SHALL BE PERFORMED AS SHOWN ON SITE PLAN.

KEYED NOTES

- EXISTING ASPHALT TO REMAIN.
- EXISTING CURB AND GUTTER.
- EXISTING STORMWATER CATCH BASIN.
- EXISTING CONCRETE SIDEWALK.
- CONCRETE VALLEY GUTTER PER GDA STD DWG 2420.
- STANDARD CURB AND GUTTER.
- CONCRETE CURB ACCESS RAMP.
- DEPRESSED CURB AND GUTTER.
- CONCRETE SIDEWALK.
- CONCRETE PARKING BLOCK.
- CONCRETE PAVEMENT.
- ADA RESERVED PARKING STALL.
- ADA RESERVED PARKING SIGN.
- ADA VAN ACCESSIBLE RESERVED SIGN.
- 4" WIDE WHITE TRAFFIC PARKING.
- PAINT CURB RED WITH 4" TALL WHITE LETTERS READING "NO PARKING FIRE LANE".
- MOTORCYCLE PARKING SPACE WITH SIGN AND 12" TALL "M" LETTERS.
- BIKE RACK.
- 12" LONG AND 6" TALL MONUMENT SIGN PER ARCHITECTURAL PLANS.
- REUSE ENCLOSURE WITH ENCLOSURE GATES.
- CONCRETE RAMP WITH HANDRAILS.
- CONCRETE STAIRS WITH HANDRAILS.
- 8" TALL CMU SCREEN WALL.
- LIGHT POLE - SEE ELECTRICAL PLANS.
- 30" TALL CONCRETE FIRE TRAINING WALL.
- DECORATIVE CONCRETE PAVEMENT.
- 42" TALL PATIO WALLS.
- EXISTING UTILITY EASEMENT TO BE VACATED.
- CONCRETE STEPS WITH METAL HANDRAILS.
- MINI-SIGHT TRIANGLES AT SIDEWALKS (1" ON EACH SIDE).
- STOPPING SIGHT TRIANGLES (BASED IN 30 MPH SPEED LIMIT).

LEGEND



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CONSULTANTS

Architect	Engineer
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LOBO PLAZA

1300 LOMAS BOULEVARD, NE
 Albuquerque, NM 87102

No	Date	Description
Revision Schedule		

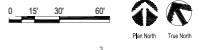
ISSUE: SITE PLAN - DFT
 PROJECT NUMBER: 2427
 FILE: Site Plan - DFT
 DRAWN BY: DAA
 CHECKED BY: DAA
 DATE: AUG 20, 2025

SHEET TITLE

SITE PLAN - DFT

SP-DFT

A1 SITE PLAN - DFT
 SCALE: 1" = 30'-0"



ZONING 1544
 LAND USE COMMERCIAL SERVICES

EXHIBIT B

Recommendations

Intersection 1, Lomas Blvd NE and I-25 Southbound Ramp

Optimization of Signal timing during the AM Peak Hour as per the recommendations in this report is recommended.

Intersection 2 - Lomas Blvd NE and I-25 Northbound Ramp

Optimization of Signal timing during the PM Peak Hour as per the recommendations in this report is recommended.

Intersection 3 - Lomas Blvd NE and University Blvd NE

Optimization of Signal timing during the PM Peak Hour as per the recommendations in this report is recommended.

Intersection 4 - Lomas Blvd NE and Medical Arts Ave NE

There are no recommendations at this Intersection.

Intersection 5 – Lomas Blvd NE and Torc Driveway / Frontage Rd

There are no recommendations at this Intersection.

Intersection 6 - Lomas Blvd NE and Legion Rd / West Driveway

- There are no recommendations at the current / existing intersection of Lomas Blvd NE and Legion Rd.
- The recommendations for West Driveway include the construction of a 2-lane (one northbound approach lane and one southbound receiving lane) commercial full access unsignalized driveway that provides access to Lobo Plaza Development. All new access shall be constructed with adequate sight distance at all approaches at the intersection.

Intersection 7 - Lomas Blvd NE and East Driveway

The recommendations for East Driveway include the construction of a 2-lane (one northbound approach lane and one southbound receiving lane) full access unsignalized commercial driveway that provides access to Lobo Plaza Development. All new access shall be constructed with adequate sight distance at all approaches to the intersection.

In summary, the proposed Retail at Lobo Plaza will have no significant adverse impact on the adjacent transportation system provided that the recommendations of this report are implemented.