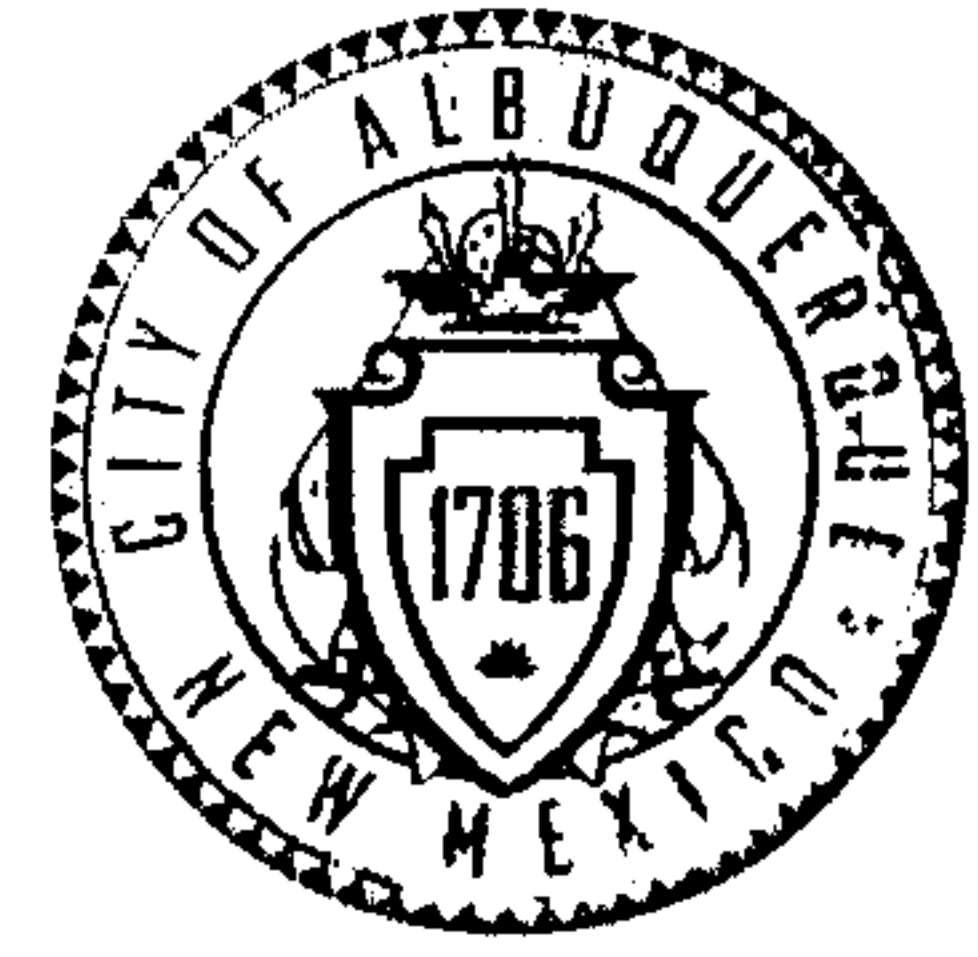


# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

April 17, 2012

Daniel Herr, Registered Architect  
SlagleHerr Architects  
PO Box 57106  
Albuquerque, NM 87187

Re: Certification for Permanent Certificate of Occupancy (**C.O.**)  
Galles Chevrolet, [J-15/D048]  
1601 Lomas Blvd.  
Architect's Stamp Dated 04/13/12

Dear Mr. Herr:

Based upon the information provided in your submittal received 04-17-12,  
Transportation Development has no objection to the issuance of a Permanent Certificate  
of Occupancy.

This letter serves as a "green tag" from Transportation Development for a  
Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505)924-3630.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
CO Clerk

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: GALLES CHEVROLET

DRB #: NA

EPC#: NA

ZONE MAP/DRG. FILE #: J15 / 1048

WORK ORDER#: NA

LEGAL DESCRIPTION: UNPLATTED GALLES GROESBECK INC

CITY ADDRESS: 1601 LOMAS BLVD NE

ENGINEERING FIRM: NONE

ADDRESS: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_

PHONE: \_\_\_\_\_

ZIP CODE: \_\_\_\_\_

OWNER: GALLES MOTOR CO

ADDRESS: 1601 LOMAS BLVD NE

CITY, STATE: ALBUQUERQUE, NM

CONTACT: JAMIE GALLES

PHONE: 766-6800

ZIP CODE: 87102

ARCHITECT: SLAGLEHERR ARCHITECTS

ADDRESS: PO BOX 57106

CITY, STATE: ALBUQUERQUE, NM

CONTACT: DAN HERR

PHONE: 246-0870

ZIP CODE: 87187

SURVEYOR: CARTESIAN SURVEYS

ADDRESS: PO BOX 44414

CITY, STATE: RIO RANCHO, NM

CONTACT: WILL PLOTTNER

PHONE: 891-0244

ZIP CODE: 87174

CONTRACTOR: ENTERPRISE BUILDERS

ADDRESS: PO BOX 3987

CITY, STATE: ALBUQUERQUE, NM

CONTACT: CHRIS BACA

PHONE: 857-0050

ZIP CODE: 87190

## CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☒ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

RECEIVED  
APR 18 2012  
17

DATE SUBMITTED: 4-13-12

BY: DAN HERR

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

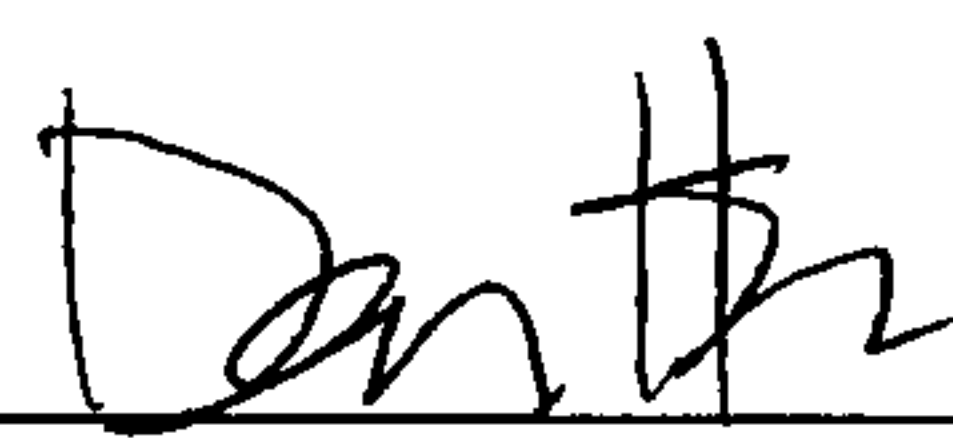
SlagleHerr.com

Kristal D. Metro P.E.  
Traffic Engineer, Planning Department  
Development and Building Services  
City of Albuquerque

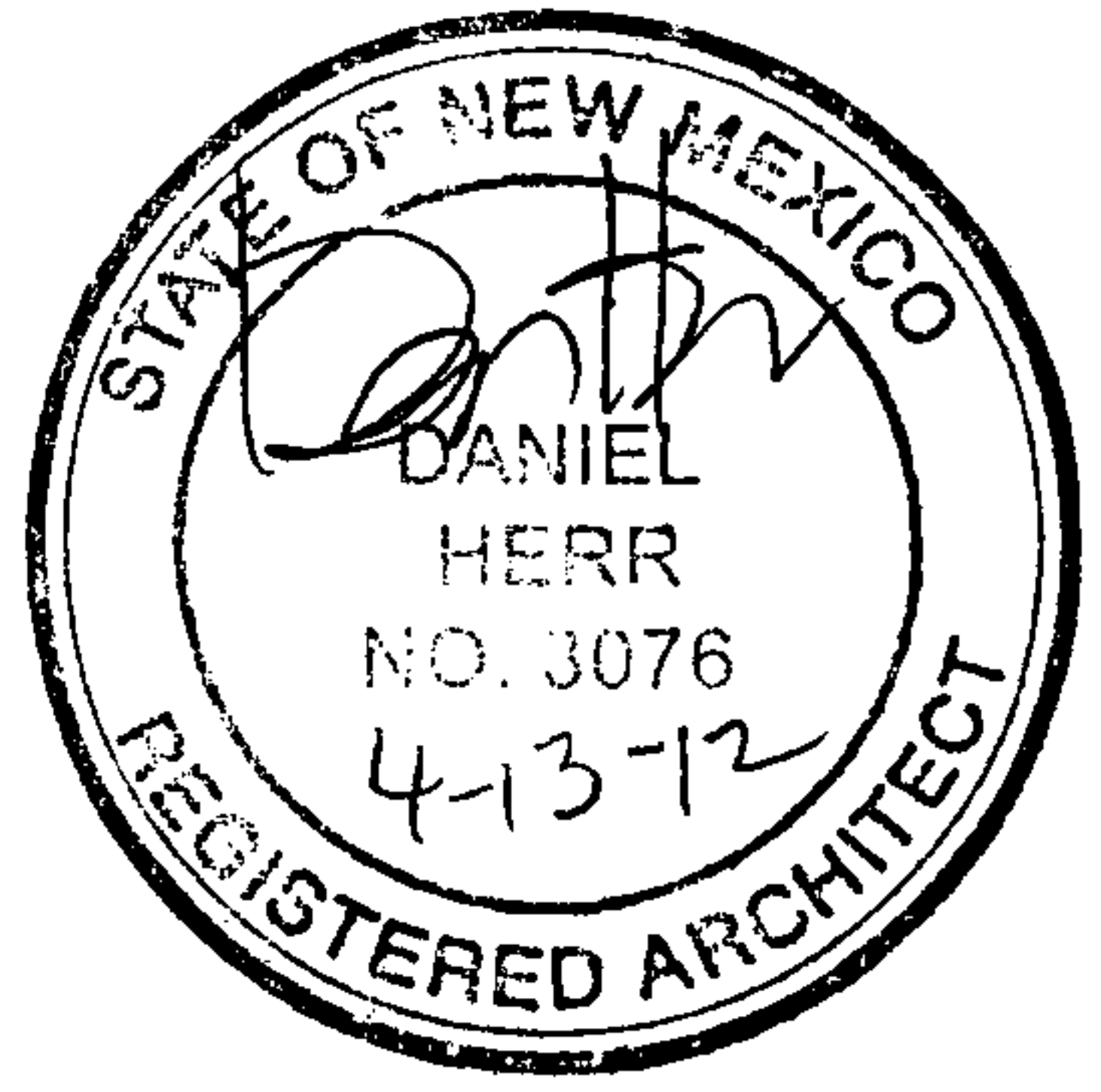
TRAFFIC CERTIFICATION-TEMPORARY CERTIFICATE OF OCCUPANCY FOR:  
1601 Lomas Blvd NE, Albuquerque, NM

I, Dan Herr, NMRA 3076, of the firm Slagle Herr Architects, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the approved Traffic Circulation Plan dated 8/15/11 (approved on 8/25/11) to the extent noted below and redlined on the attached original copy of the approved plan. I certify that I have personally visited the project site on 4/13/12 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for final certificate of occupancy.

The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

  
\_\_\_\_\_  
Dan Herr, Vice President-SlagleHERR Architects, Inc.

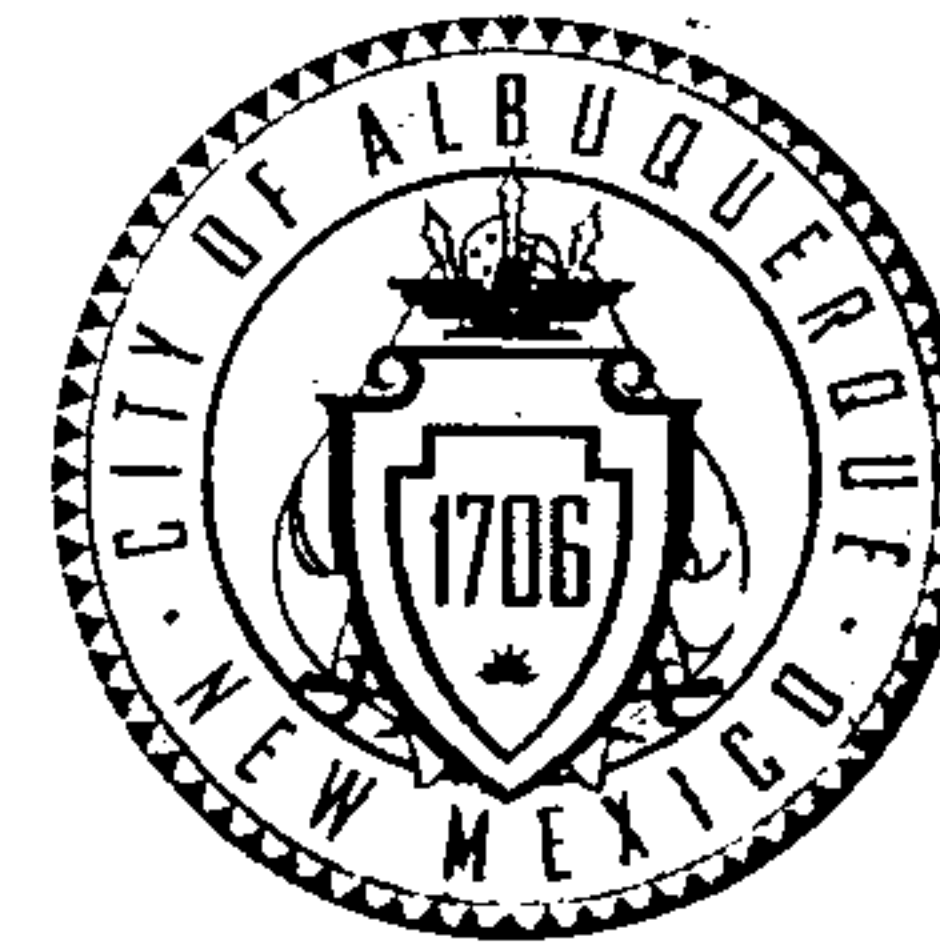
4-13-12  
\_\_\_\_\_  
Date



RECEIVED  
APR 13 2012

Slagle  
HERR

# CITY OF ALBUQUERQUE



August 25, 2011

Daniel Herr, R.A.  
Slagle Herr Architects  
1600 Rio Grande NW  
Albuquerque, NM 87104

Re: Galles Chevrolet, 1601 Lomas Blvd NE, Traffic Circulation Layout  
Architect's Stamp dated 08-15-11 (J15-D048)

Dear Mr. Herr,

The TCL submittal received 08-17-11 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.

**Prior to any certificate of occupancy approval, the following item must be completed:**

- **Provide a recorded copy of the public sidewalk easement along University Boulevard.**

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.  
Traffic Engineer, Planning Dept.  
Development and Building Services

C: File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: GALLES CHEVROLET

DRB #: NA

EPC#: NA

ZONE MAP/DRG. FILE #: J15/D048  
WORK ORDER#: NA

LEGAL DESCRIPTION: UNPLATTED GALLES GROESBECK INC  
CITY ADDRESS: 1601 LOMAS BLVD NE

ENGINEERING FIRM: NONE

ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

OWNER: GALLES MOTOR CO  
ADDRESS: 1601 LOMAS BLVD NE  
CITY, STATE: ALBUQUERQUE, NM

CONTACT: JAMIE GALLES  
PHONE: 766-6800  
ZIP CODE: 87102

ARCHITECT: SLAGLEHERR ARCHITECTS  
ADDRESS: 1600 RIO GRANDE BLVD NW  
CITY, STATE: ALBUQUERQUE, NM

CONTACT: DAN HERR  
PHONE: 246-0870  
ZIP CODE: 87104

SURVEYOR: CARTESIAN SURVEYS  
ADDRESS: PO BOX 44414  
CITY, STATE: RIO RANCHO, NM

CONTACT: WILL PLOTTNER  
PHONE: 891-0244  
ZIP CODE: 87174

CONTRACTOR: ENTERPRISE BUILDERS  
ADDRESS: PO BOX 3987  
CITY, STATE: ALBUQUERQUE, NM

CONTACT: CHRIS BACA  
PHONE: 857-0050  
ZIP CODE: 87190

## CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

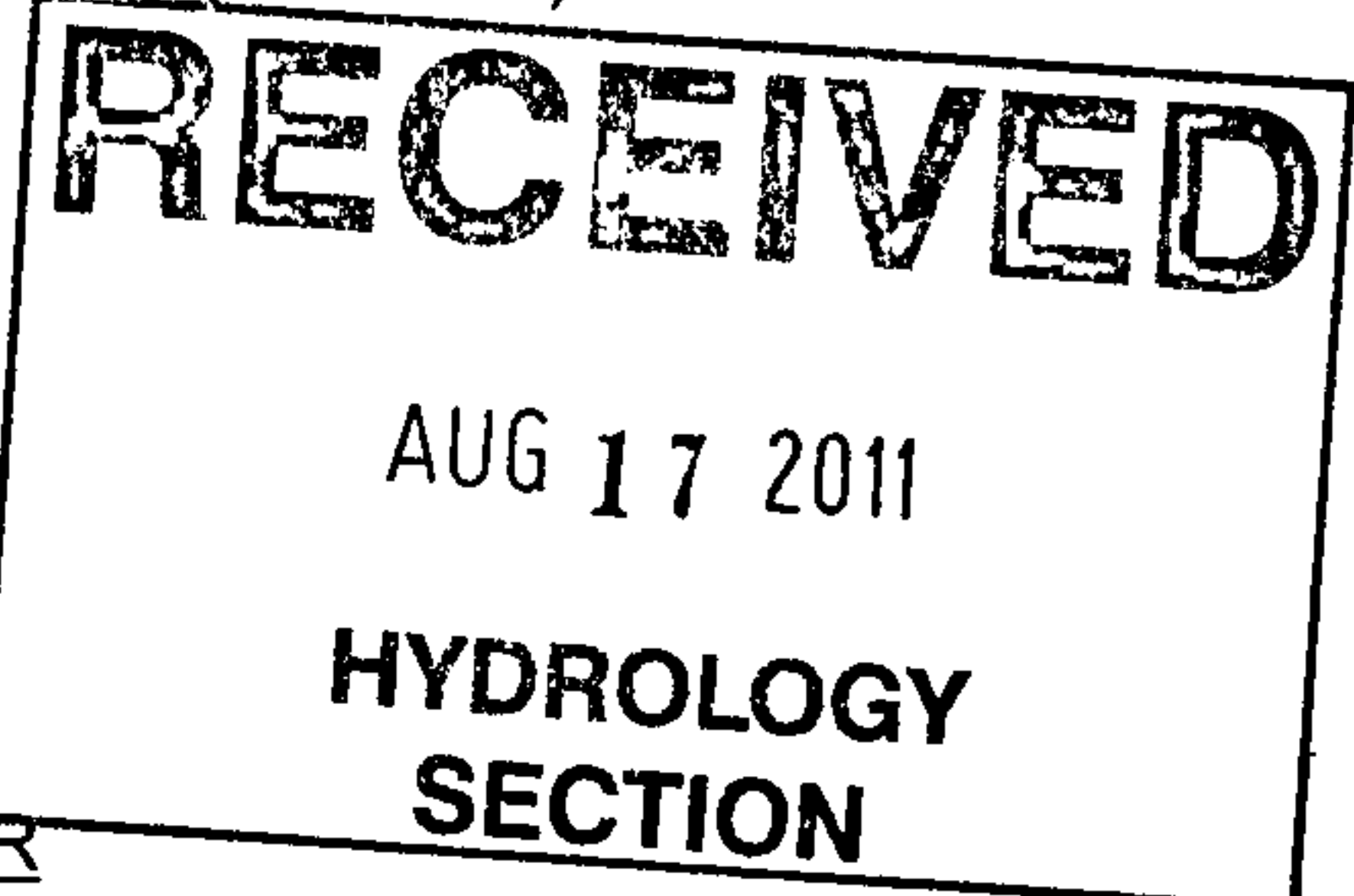
- ☐ SIA / FINANCIAL GUARANTEE RELEASE
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- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
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- ☐ FINAL PLAT APPROVAL
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- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 8-17-11

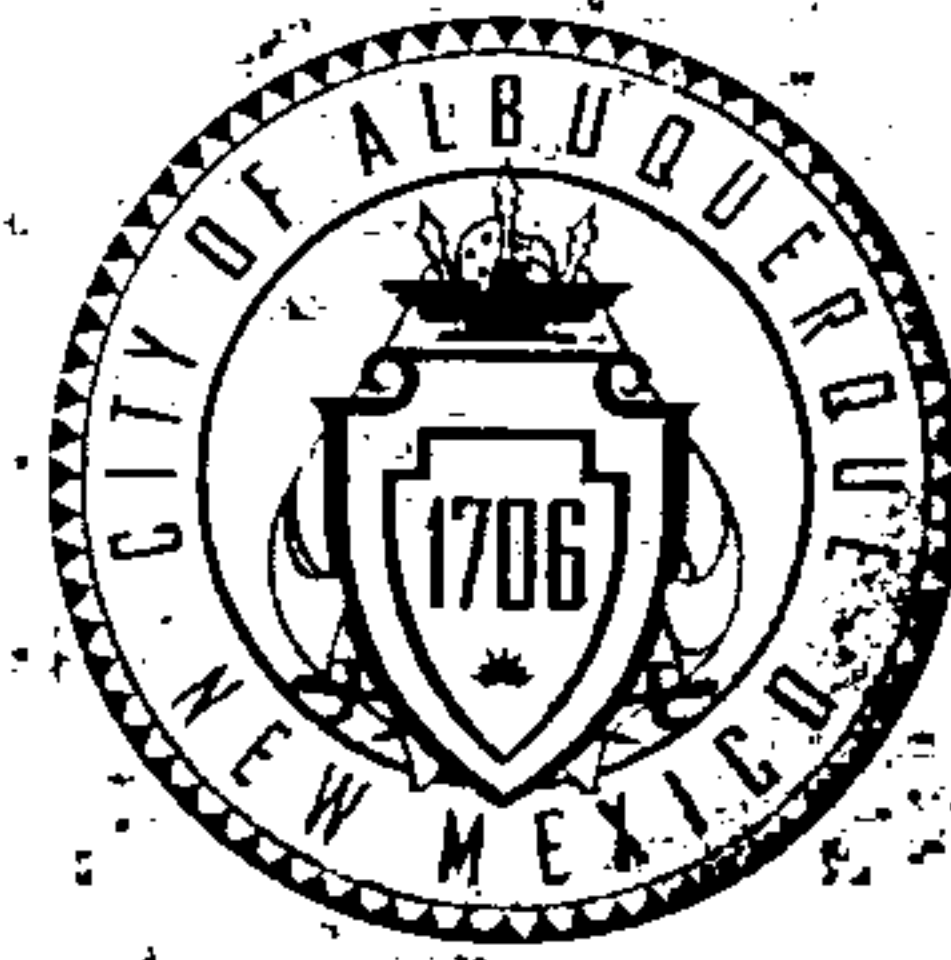
BY: DAN HERR



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

# CITY OF ALBUQUERQUE



January 11, 2012

Daniel Herr, R.A.  
Slagle Herr Architects  
1600 Rio Grande NW  
Albuquerque, NM 87104

Re: **Galles Chevrolet, 1601 Lomas Blvd NE**

**Temporary Certificate of Occupancy – Transportation Development**

**Architect's Stamp dated 08-15-11 (J15-D048)**

**Certification dated 01-09-12**

Dear Mr. Herr,

Based upon the information provided in your submittal received 01-09-12, Transportation Development has no objection to the issuance of a 90-day Temporary Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a 90-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.  
Traffic Engineer, Planning Dept.  
Development and Building Services

C: CO Clerk  
File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: GALLES CHEVROLET

DRB #: NA

EPC#: NA

ZONE MAP/DRG. FILE #: J15

WORK ORDER#: NA

LEGAL DESCRIPTION: UNPLATTED GALLES GROESBECK INC

CITY ADDRESS: 1601 LOMAS BLVD NE

ENGINEERING FIRM: NONE

ADDRESS: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_

PHONE: \_\_\_\_\_

ZIP CODE: \_\_\_\_\_

OWNER: GALLES MOTOR CO

ADDRESS: 1601 LOMAS BLVD NE

CITY, STATE: ALBUQUERQUE, NM

CONTACT: JAMIE GALLES

PHONE: 766-6800

ZIP CODE: 87102

ARCHITECT: SLAGLEHERR ARCHITECTS

ADDRESS: PO BOX 57106

CITY, STATE: ALBUQUERQUE, NM

CONTACT: DAN HERR

PHONE: 246-0870

ZIP CODE: 87187

SURVEYOR: CARTESIAN SURVEYS

ADDRESS: PO BOX 44414

CITY, STATE: RIO RANCHO, NM

CONTACT: WILL PLOTTNER

PHONE: 891-0244

ZIP CODE: 87174

CONTRACTOR: ENTERPRISE BUILDERS

ADDRESS: PO BOX 3987

CITY, STATE: ALBUQUERQUE, NM

CONTACT: CHRIS BACA

PHONE: 857-0050

ZIP CODE: 87190

## CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☒ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
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- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☒ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

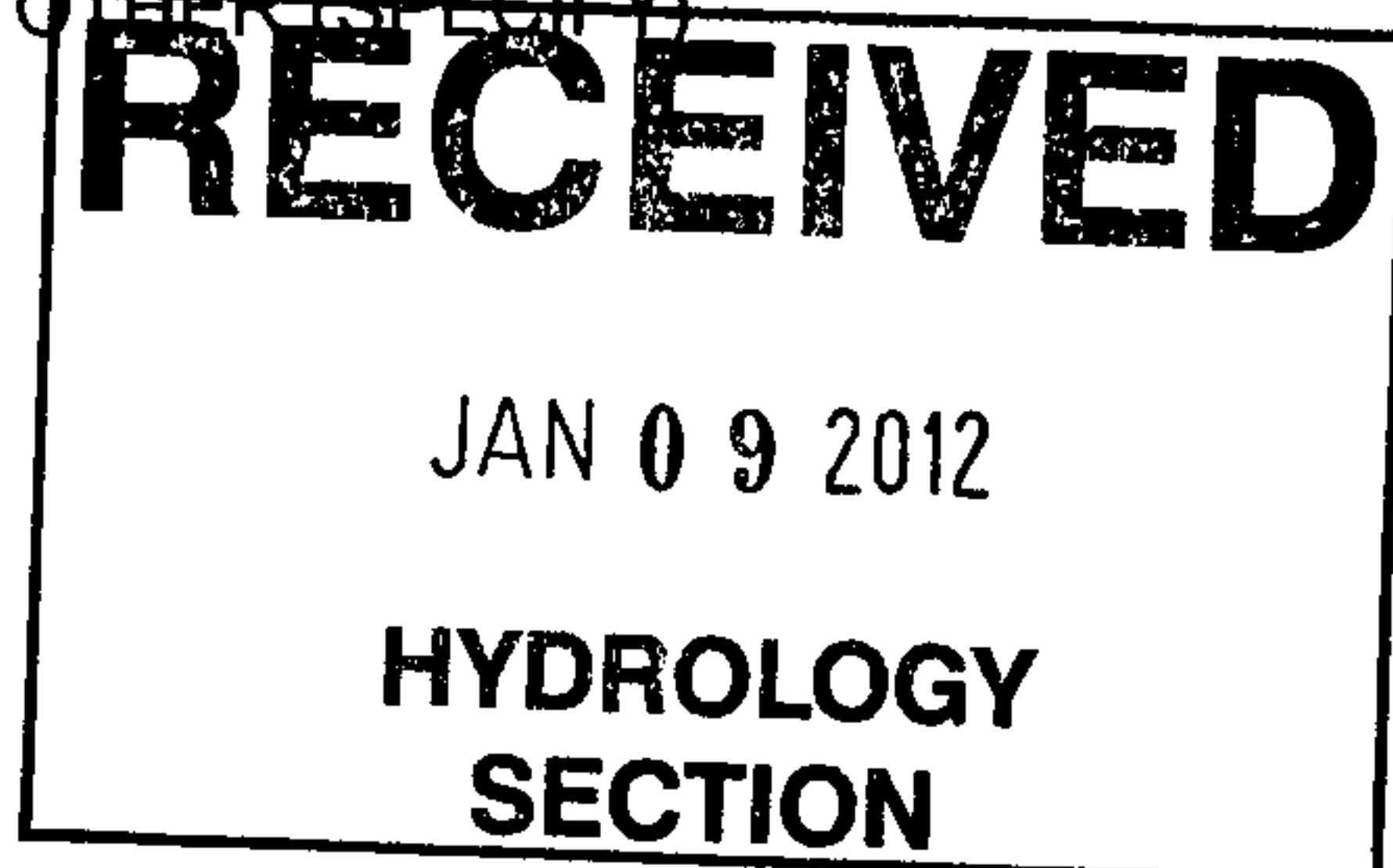
- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 1-9-12

BY: DAN HERR

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.





Kristal D. Metro P.E.  
Traffic Engineer, Planning Department  
Development and Building Services  
City of Albuquerque

**TRAFFIC CERTIFICATION-TEMPORARY CERTIFICATE OF OCCUPANCY FOR:  
1601 Lomas Blvd NE, Albuquerque, NM**

I, Dan Herr, NMRA 3076, of the firm Slagle Herr Architects, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the approved Traffic Circulation Plan dated 8/15/11 (approved on 8/25/11) to the extent noted below and also highlighted on the attached copy of the approved plan. I certify that I have personally visited the project site on 1/6/12 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for temporary certificate of occupancy.

- All new sidewalks, curbs, wheelchair ramps, handicap accessible parking spaces, accessible parking signage, pedestrian pathways and bicycle racks are complete.
- The closing off of the two existing driveways is complete.
- All other parking lot striping is incomplete. The owner wishes to seal-coat the entire existing parking lot but this cannot be done until the weather warms up. The new paint striping will be done on top of the new seal-coat. The contractor anticipates that this work will be complete before the end of March 2012.

We are requesting approval for a Temporary Certificate of Occupancy until the remainder of the parking lot striping is complete. The submitted plan drawing is a copy. I intend to submit the original stamped plan at the time of submittal for Permanent Certificate of Occupancy.

The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



Dan Herr, Vice President-SlagleHERR Architects, Inc.

1-9-12

Date



Slagle  
HERR

Architects

1503 b central ave nw

po box 57106

albuquerque

87104

87187

new mexico

505 246 0870



# CITY OF ALBUQUERQUE



August 5, 2011

Daniel Herr, R.A.  
SlagleHerr Architects  
1600 Rio Grande Blvd. NW  
Albuquerque, NM 87102

**Re: Galles Chevrolet, 1601 Lomas Blvd. NE, Traffic Circulation Layout  
Architect's Stamp dated 07-28-11 (J15-D048)**

Dear Mr. Herr,

Based upon the information provided in your submittal received 07-28-11, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please show a vicinity map.
2. Please refer to all applicable city standards.
3. Clarify the extents of the current phase.
4. Please ensure all ramps are ADA compliant.
5. Please clarify the scope of work along University Blvd. Will any of the existing driveways be closed? If so, call out all appropriate City Of Albuquerque Standard Specification used by drawing number.
6. Per Chapter 23, Section 6, Part B.5 of the City of Albuquerque *Development Process Manual*, any drive on a minor arterial roadway that is intersecting with a principal arterial must be located a minimum of 200 feet from the intersection. The first driveway north of Lomas Blvd will need to be closed.
7. A sidewalk easement will be required for the sidewalk along University Boulevard. - *can be condition of CO*
8. ~~Per Chapter 23, Section 6, Part B.7a of the City of Albuquerque *Development Process Manual*, all drives along University Blvd. are required to have curb returns~~ *cuts are existing*
9. Does the wheelchair ramp at the northwest corner of University and Lomas meet current ADA standards?
10. Per Chapter 23, Section 6, Part B.5 of the City of Albuquerque *Development Process Manual*, any drive on a principal roadway that is intersecting with a minor arterial must be located a minimum of 200 feet from the intersection. The first driveway west of University Blvd will need to be closed.
11. List all radii for all curves shown.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

# CITY OF ALBUQUERQUE



12. Dimension the parking stalls abutting the north side of the building.
13. Will the pedestrian pathway require a ramp at the existing sidewalk? Is this area flush with the pavement? Please clarify.

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.  
Traffic Engineer, Planning Dept.  
Development and Building Services

C: - File

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: GALLES CHEVROLET

DRB #: NA

EPC#: NA

ZONE MAP/DRG. FILE #: J15/DO48  
WORK ORDER#: NA

LEGAL DESCRIPTION: UNPLATTED GALLES GROESBECK INC  
CITY ADDRESS: 1601 LOMAS BLVD NE

ENGINEERING FIRM: NONE

ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

OWNER: GALLES MOTOR CO  
ADDRESS: 1601 LOMAS BLVD NE  
CITY, STATE: ALBUQUERQUE, NM

CONTACT: JAMIE GALLES  
PHONE: 766-6800  
ZIP CODE: 87102

ARCHITECT: SLAGLEHERR ARCHITECTS  
ADDRESS: 1600 RIO GRANDE BLVD NW  
CITY, STATE: ALBUQUERQUE, NM

CONTACT: DAN HERR  
PHONE: 246-0870  
ZIP CODE: 87104

SURVEYOR: CARTESIAN SURVEYS  
ADDRESS: PO BOX 44414  
CITY, STATE: RIO RANCHO, NM

CONTACT: WILL PLOTTNER  
PHONE: 891-0244  
ZIP CODE: 87174

CONTRACTOR: ENTERPRISE BUILDERS  
ADDRESS: PO BOX 3987  
CITY, STATE: ALBUQUERQUE, NM

CONTACT: CHRIS BACA  
PHONE: 857-0050  
ZIP CODE: 87190

## CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
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- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
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- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

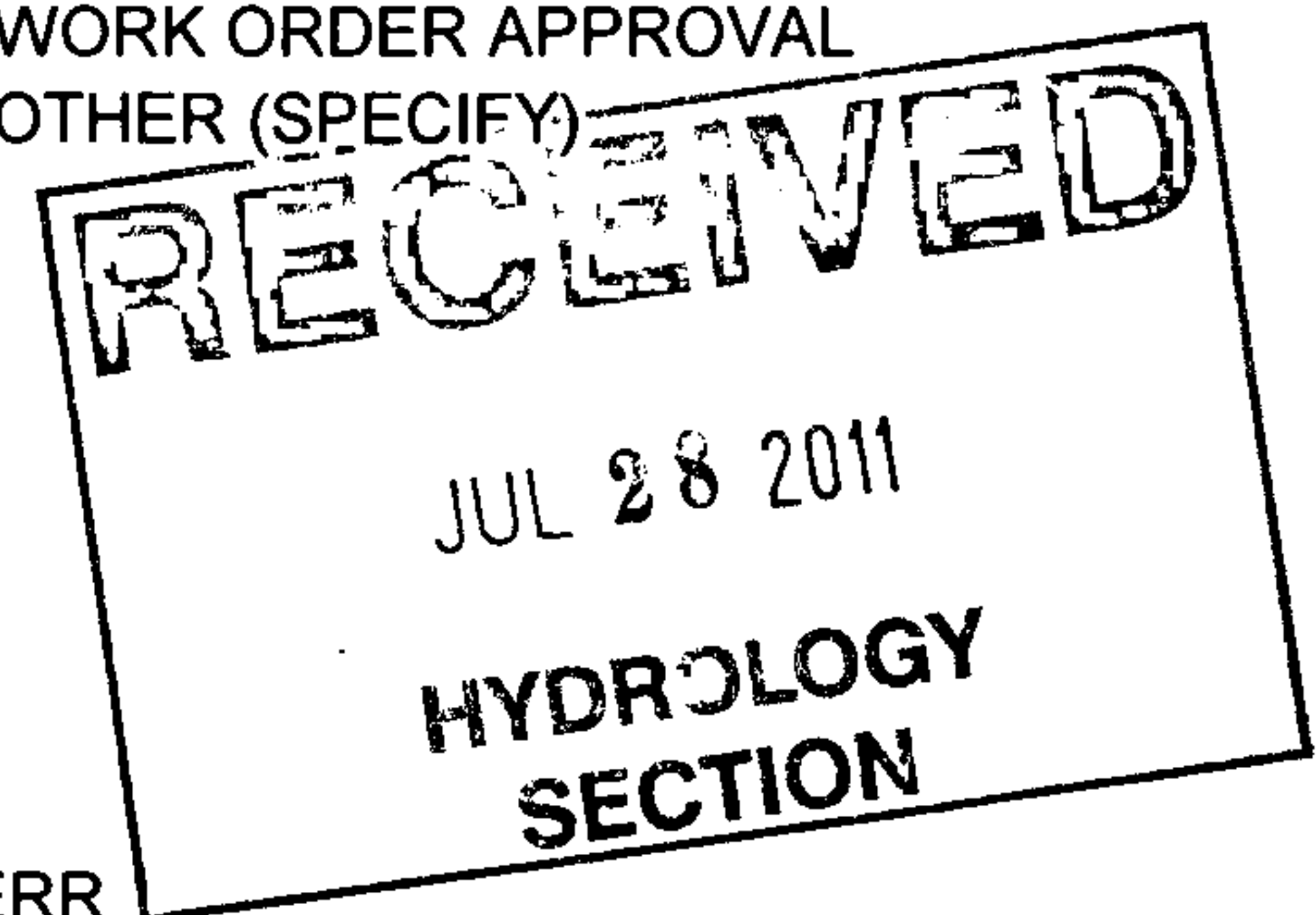
- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
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- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
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- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 7-28-11

BY: DAN HERR



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
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3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



- CALLout Build notes for DRIVEWAY CLOSURES on UNIVERSITY.

- 300'  
SIDE WALK V/S. D. WAY. CLARIFY.

- curb return.

- close 2 southern most DRIVES.

- list RADII

- S.W. EASEMENT? PLATTED

- Lomas.

- close closest Drive to University.

Due to Lomas being on Principal Arterial  
23.6.B.5

- list RADII

- Onsite  
PARKING AREA. Abutting Bldg - Dimensions length.

- How is Employee PARKING being Accessed?

- C-Link fence conflicts w/ DRIVE! CLARIFY.

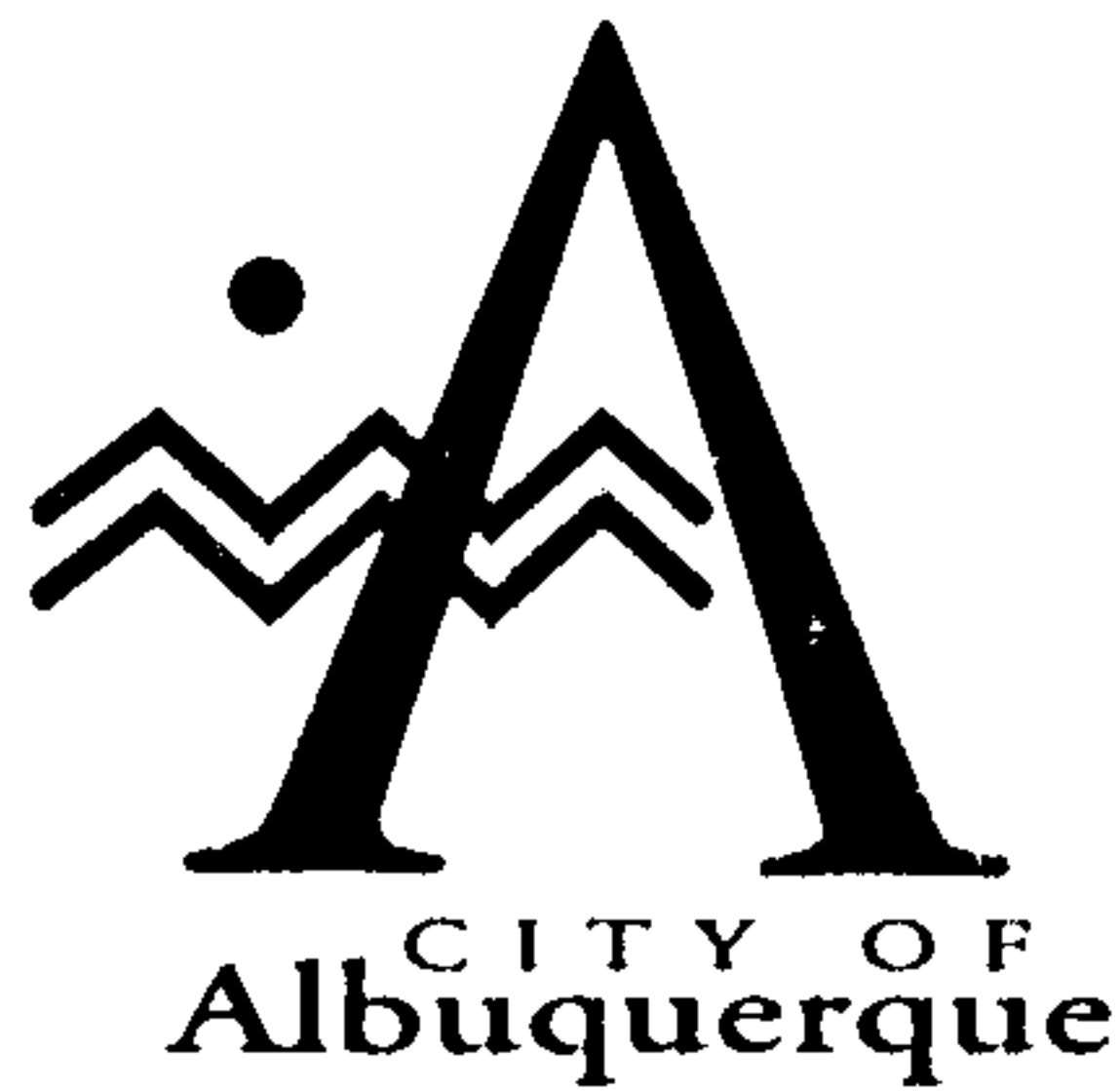
- ~~is PARKING AREA curbed or striped.~~

- S.W. EASEMENT? \*

1'20" 200' = 20 units

1'10" 200' =

for  
CALL DAN HERR  
Meeting



Martin J. Chávez, Mayor

October 16, 1997

Roger Martinez, Jr.  
Mark Goodwin & Assoc.  
P.O. Box 90606  
Albuquerque, NM 87199

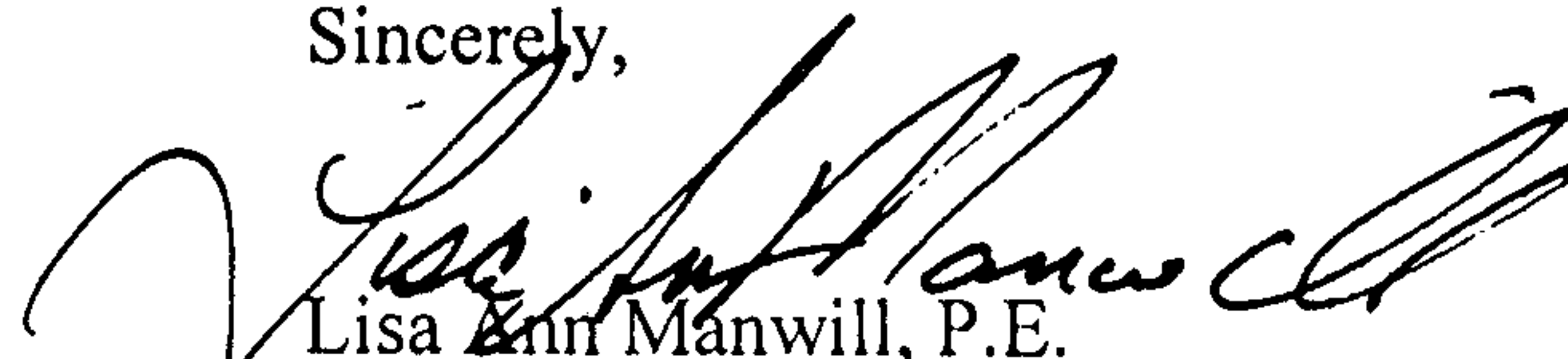
**RE: SATURN OF ALBUQUERQUE (J15-B<sup>48</sup>2). ENGINEER'S CERTIFICATION FOR  
CERTIFICATE OF OCCUPANCY. ENGINEER'S CERTIFICATION DATED  
SEPTEMBER 30, 1997.**

Dear Mr. Martinez:

Based on the information provided on your September 30, 1997 submittal, the above referenced project is acceptable for Certificate of Occupancy.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,

  
Lisa Ann Manwill, P.E.  
Hydrology

c: Andrew Garcia  
File

Good for You, Albuquerque!



# DRAINAGE INFORMATION SHEET

PROJECT TITLE: Saturn of Albuquerque ZONE ATLAS/DRNG, FILE#: J-15/D 9/10 <sup>48</sup>  
DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_  
LEGAL DESCRIPTION: TR X RKW SURVEY, MAP 8.70 AC T 10N R 3E SEC 16  
CITY ADDRESS: 1301 Lomas NE

ENGINEERING FIRM: Mark Goodwin & Associates, PA CONTACT: Roger Martinez, Jr.  
ADDRESS: PO Box 90606 PHONE: 345-2010  
OWNER: Saturn of Albuquerque CONTACT: Alex De la Torre  
ADDRESS: 7801 Academy NE - Bldg 2 PHONE: 828-9611  
ARCHITECT: De la Torre Architects CONTACT: Alex De la Torre  
ADDRESS: 7801 Academy NE - Bldg 2 PHONE: 828-9611  
SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

## TYPE OF SUBMITTAL:

\_\_\_\_ DRAINAGE REPORT  
\_\_\_\_ DRAINAGE PLAN  
\_\_\_\_ CONCEPTUAL GRADING & DRAINAGE PLAN  
\_\_\_\_ GRADING PLAN  
\_\_\_\_ EROSION CONTROL PLAN  
X ENGINEER'S CERTIFICATION  
\_\_\_\_ OTHER

## PRE-DESIGN MEETING:

\_\_\_\_ YES  
\_\_\_\_ NO  
\_\_\_\_ COPY PROVIDED

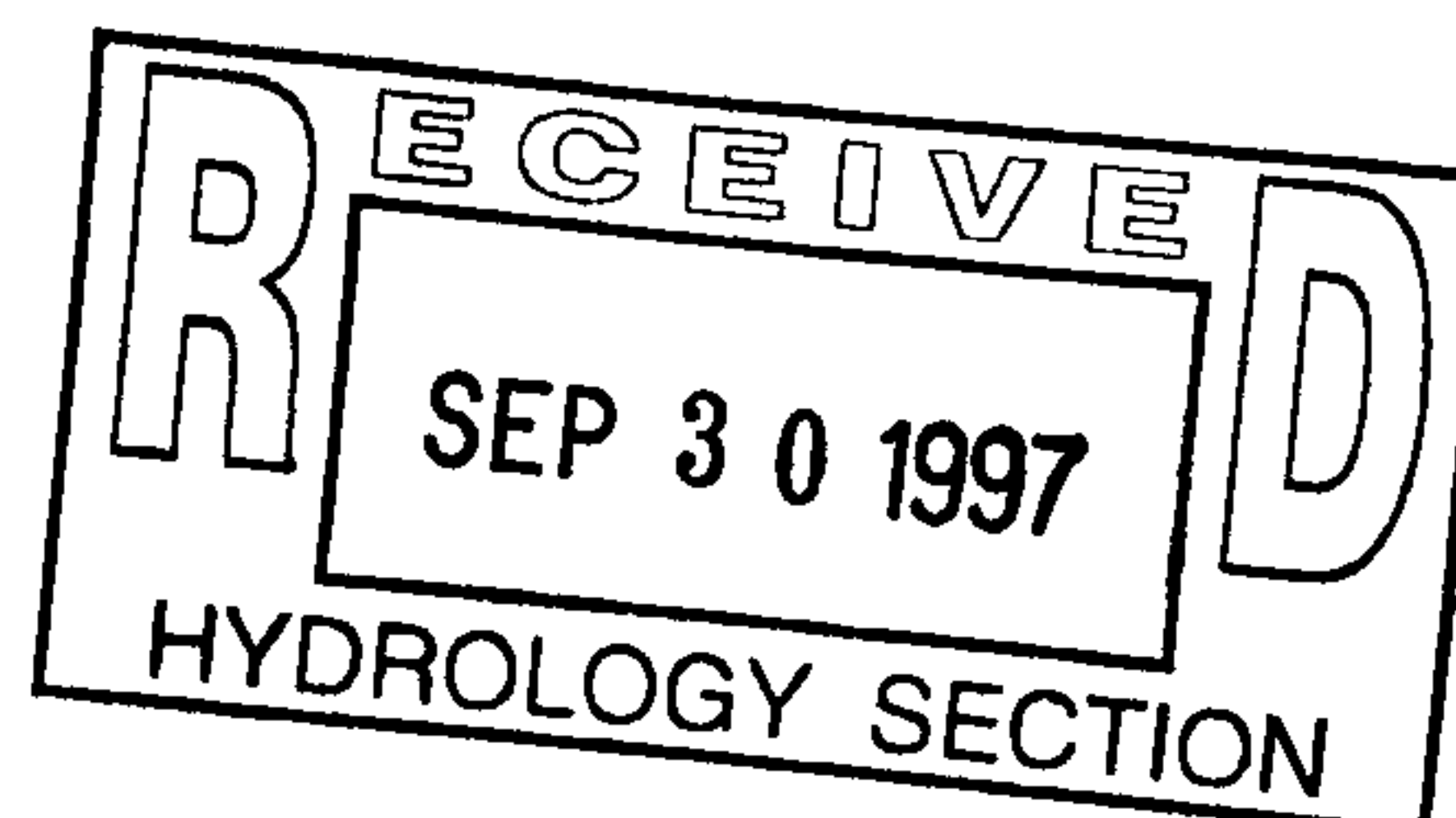
## CHECK TYPE OF APPROVAL SOUGHT:

\_\_\_\_ SKETCH PLAT APPROVAL  
\_\_\_\_ PRELIMINARY PLAT APPROVAL  
\_\_\_\_ S. DEV. PLAN FOR SUB'D APPROVAL  
\_\_\_\_ S. DEV. PLAN FOR BLDG PERMIT APPROVAL  
\_\_\_\_ SECTOR PLAN APPROVAL  
\_\_\_\_ FINAL PLAT APPROVAL  
\_\_\_\_ FOUNDATION PERMIT APPROVAL  
\_\_\_\_ BUILDING PERMIT APPROVAL  
X CERTIFICATION OF OCCUPANCY APPROVAL  
\_\_\_\_ GRADING PERMIT APPROVAL  
\_\_\_\_ PAVING PERMIT APPROVAL  
\_\_\_\_ S.A.D. DRAINAGE REPORT  
\_\_\_\_ DRAINAGE REQUIREMENTS  
\_\_\_\_ OTHER \_\_\_\_\_ (Specify)

DATE SUBMITTED: 9-30-97

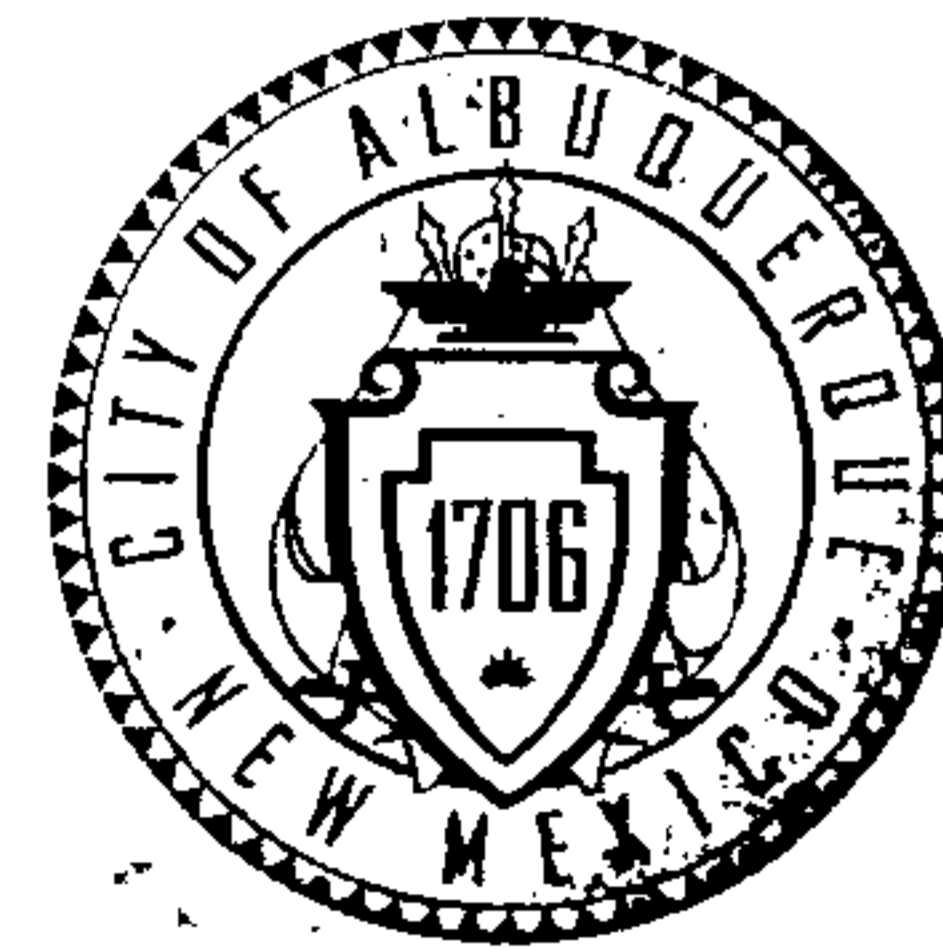
BY: [Signature]

GREGORY J. KRENIK, PE





# CITY OF ALBUQUERQUE



June 23, 2011

William Kleinschmidt, R.A.  
Slagle Herr Architects  
1600 Rio Grande NW  
Albuquerque, NM 87104

**Re: Galles Chevrolet, 1601 Lomas Blvd NE, Traffic Circulation Layout  
No Architect's Stamp (J15-D048)**

Dear Mr. Kleinschmidt,

Based upon the information provided in your submittal received 05-31-11, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. The traffic circulation layout must be stamped, signed, and dated by an engineer or architect licensed in the state of New Mexico.
2. Please include two copies of the traffic circulation layout at the next submittal.
3. List radii for all curves shown; for passenger vehicles, the minimum end island radius is 15 feet.
4. Please list the width and length for all parking spaces.
5. Will the display parking be striped?
6. Clarify existing versus proposed conditions.
7. A 6-foot wide, ADA accessible pedestrian pathway is required from the public sidewalk to the building.
8. Please clearly show all ramps and provide details.
9. All ramps located within City of Albuquerque right of way must have truncated domes.
10. List the number of parking spaces required by the zoning code as well as the proposed number of parking spaces.
11. Define the width of all sidewalk, existing and proposed.
12. Is there a median break at the site?
13. Call out all aisle widths.
14. Define the angle for all proposed parking.
15. Label the roadway on all sheets.

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.  
Traffic Engineer, Planning Dept.  
Development and Building Services

C: File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: GALLES CHEVROLET  
DRB #: NA EPC#: NA

ZONE MAP/DRG. FILE #: J15  
WORK ORDER#: NA

D048

LEGAL DESCRIPTION: UNPLATTED GALLES GROESBECK INC  
CITY ADDRESS: 1601 LOMAS BLVD NE

ENGINEERING FIRM: NONE  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

OWNER: GALLES MOTOR CO  
ADDRESS: 1601 LOMAS BLVD NE  
CITY, STATE: ALBUQUERQUE, NM

CONTACT: JAMIE GALLES  
PHONE: 766-6800  
ZIP CODE: 87102

ARCHITECT: SLAGLEHERR ARCHITECTS  
ADDRESS: 1600 RIO GRANDE BLVD NW  
CITY, STATE: ALBUQUERQUE, NM

CONTACT: BILL KLEINSCHMIDT  
PHONE: 246-0870  
ZIP CODE: 87104

SURVEYOR: CARTESIAN SURVEYS  
ADDRESS: PO BOX 44414  
CITY, STATE: RIO RANCHO, NM

CONTACT: WILL PLOTTNER  
PHONE: 891-0244  
ZIP CODE: 87174

CONTRACTOR: ENTERPRISE BUILDERS  
ADDRESS: PO BOX 3987  
CITY, STATE: ALBUQUERQUE, NM

CONTACT: CHRIS BACA  
PHONE: 857-0050  
ZIP CODE: 87190

## CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

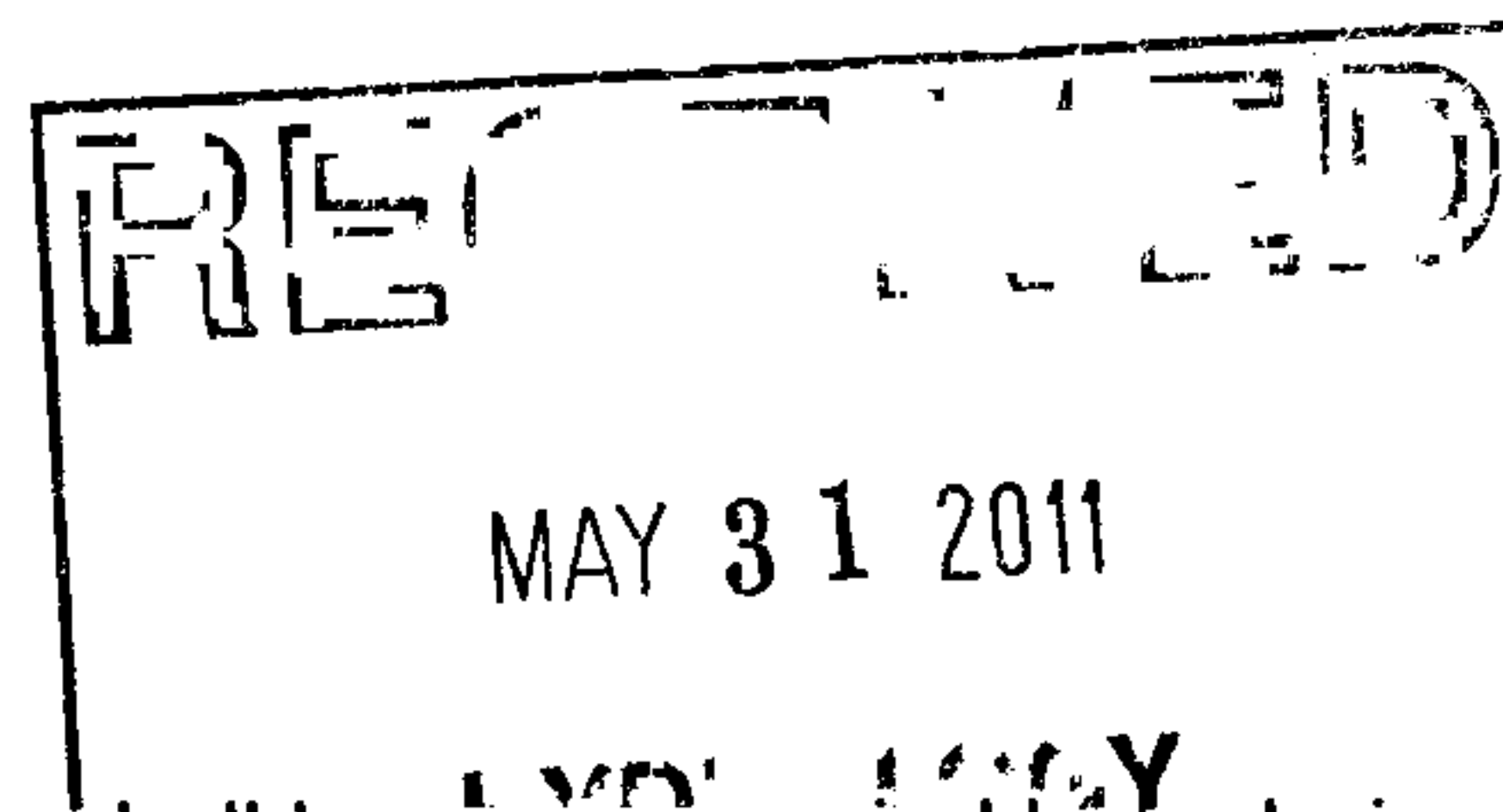
- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

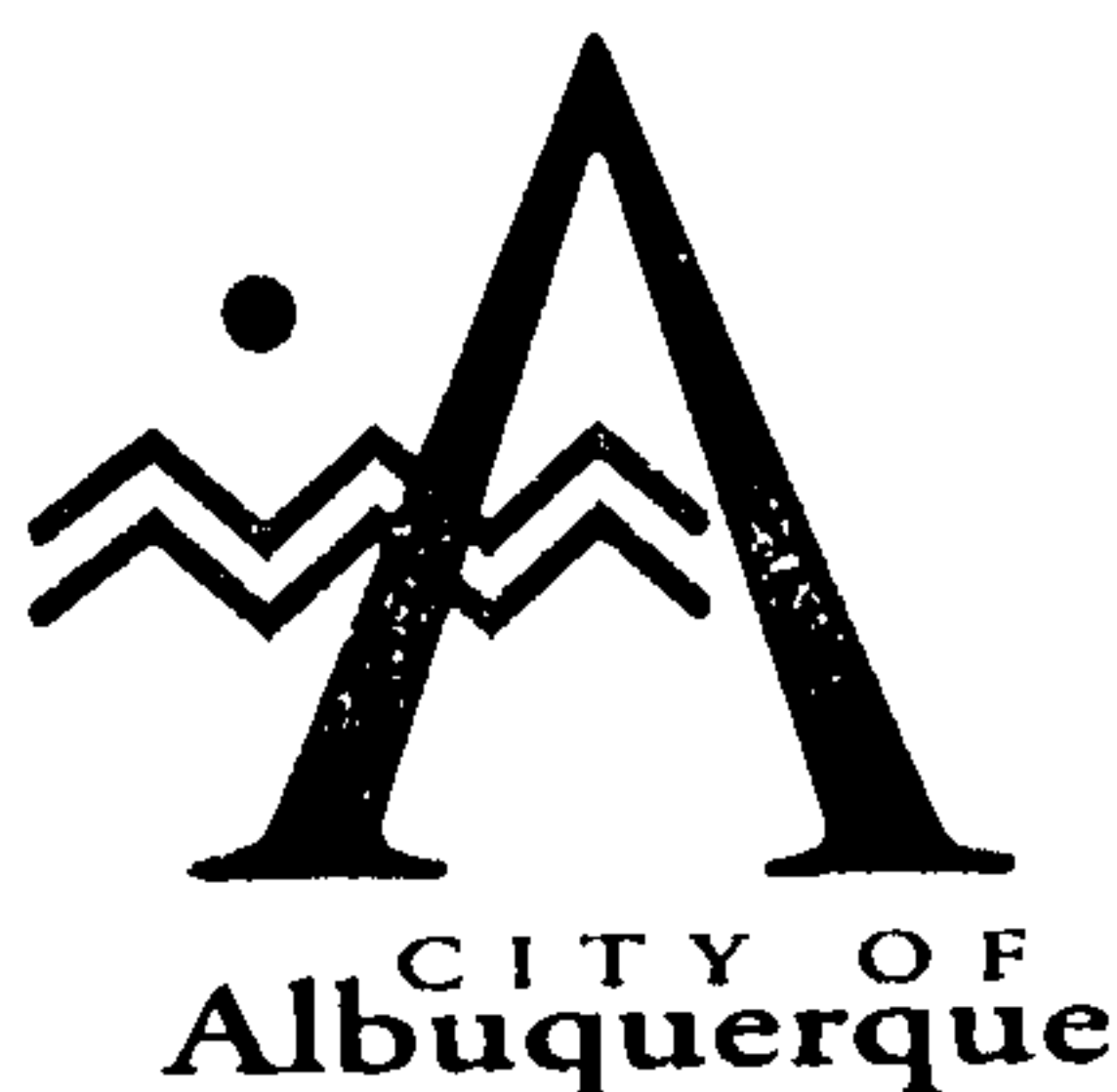
DATE SUBMITTED: \_\_\_\_\_

BY: \_\_\_\_\_



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



September 25, 1997

Martin J. Chávez, Mayor

Roger Martinez, Jr.  
Mark Goodwin & Assoc.  
P.O. Box 90606  
Albuquerque, NM 87199

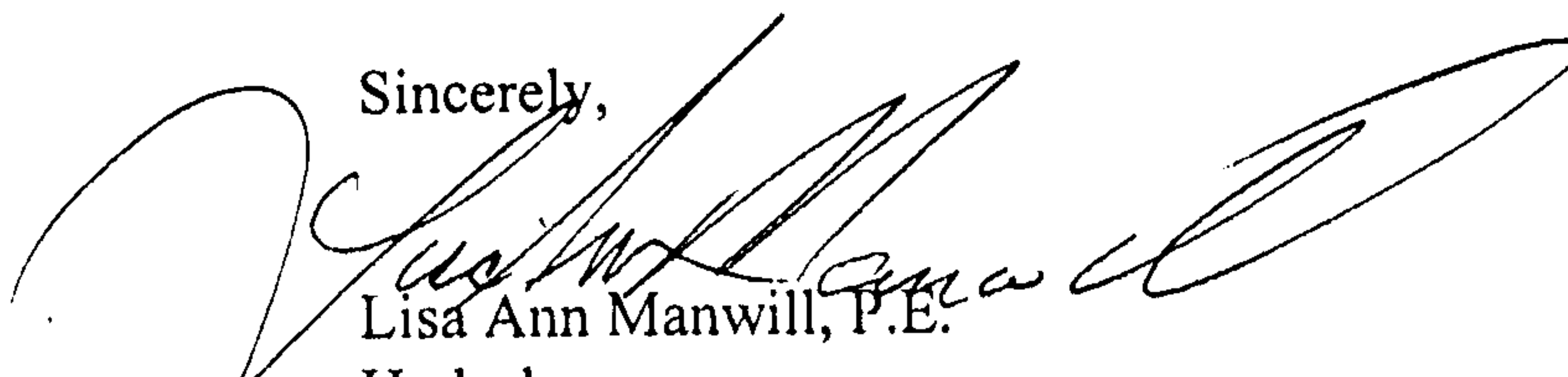
*RE: SATURN OF ALBUQUERQUE (J15-D<sup>48</sup>~~76~~). ENGINEER'S CERTIFICATION FOR  
CERTIFICATE OF OCCUPANCY. ENGINEER'S CERTIFICATION DATED  
SEPTEMBER 12, 1997.*

Dear Mr. Martinez:

Based on the information provided on your September 12, 1997 submittal, the above referenced project is not acceptable for Certificate of Occupancy. The approved grading and drainage plan was dated 1-7-97. If minor changes were made in the field, you should have listed them with your certification statement.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,



Lisa Ann Manwill, P.E.  
Hydrology

c: Andrew Garcia  
File

Good for You, Albuquerque!







CITY OF  
Albuquerque

Public Works Department

January 16, 1997

Martin J. Chávez, Mayor

Robert E. Gurulé, Director

Roger Martinez, Jr.  
Mark Goodwin & Assoc.  
P.O. Box 90606  
Albuquerque, NM 87199

RE: SATURN OF ALBUQUERQUE (J15-<sup>48</sup>~~D96~~) GRADING AND DRAINAGE PLAN  
SUBMITTAL FOR BUILDING PERMIT APPROVAL. ENGINEER'S STAMP DATED  
1-7-97.

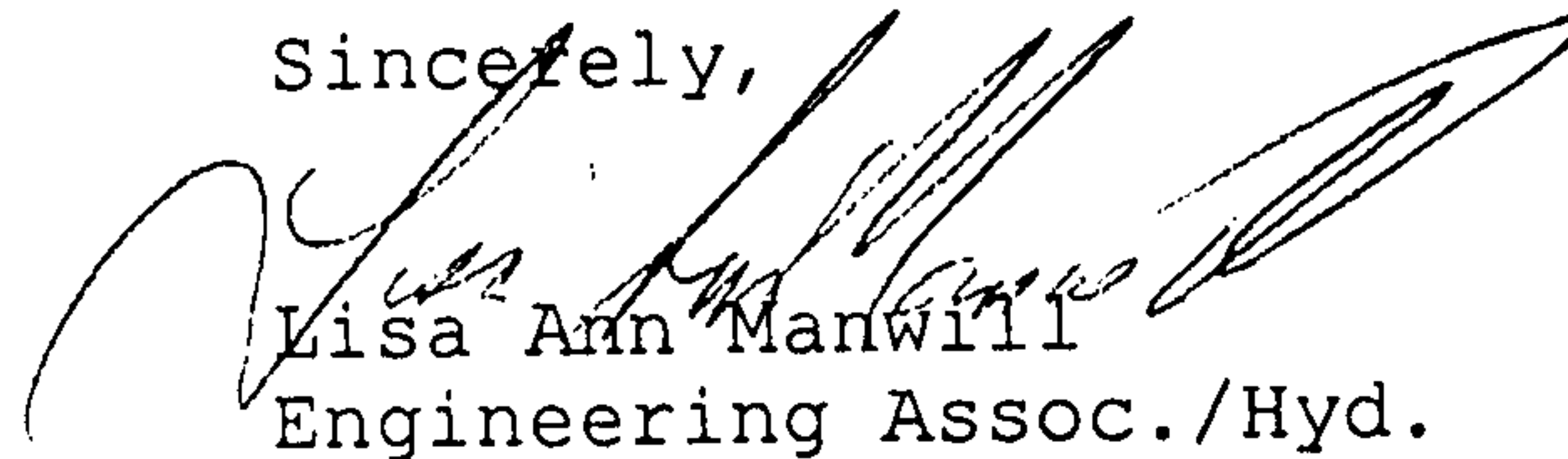
Dear Mr. Martinez:

Based on the information provided on January 7, 1997 submittal, the  
above referenced project is approved for Building Permit.

Prior to Certificate of Occupancy an Engineer's Certification will  
be required.

If I can be of further assistance, please feel free to contact me at  
768-3622.

Sincerely,



Lisa Ann Manwill  
Engineering Assoc./Hyd.

c: Andrew Garcia  
File

Good for You, Albuquerque!

P.O. Box 1293, Albuquerque, New Mexico 87103



# DRAINAGE INFORMATION SHEET

PROJECT TITLE: Saturn of Albuquerque ZONE ATLAS/DRNG, FILE#: J-15/D90 <sup>48</sup>  
DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_  
LEGAL DESCRIPTION: TR X RW SURVEY, MAP 8.70 AC T 10N R 3E SEC 16  
CITY ADDRESS: 1301 Lomas NE

ENGINEERING FIRM: Mark Goodwin & Associates, PA CONTACT: Roger Martinez, Jr.  
ADDRESS: PO Box 90606 PHONE: 345-2010  
OWNER: Saturn of Albuquerque CONTACT: Alex De la Torre  
ADDRESS: 7801 Academy NE - Bldg 2 PHONE: 828-9611  
ARCHITECT: De la Torre Architects CONTACT: Alex De la Torre  
ADDRESS: 7801 Academy NE - Bldg 2 PHONE: 828-9611  
SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

## TYPE OF SUBMITTAL:

\_\_\_\_ DRAINAGE REPORT  
X DRAINAGE PLAN  
\_\_\_\_ CONCEPTUAL GRADING & DRAINAGE PLAN  
X GRADING PLAN  
\_\_\_\_ EROSION CONTROL PLAN  
\_\_\_\_ ENGINEER'S CERTIFICATION  
\_\_\_\_ OTHER

## PRE-DESIGN MEETING:

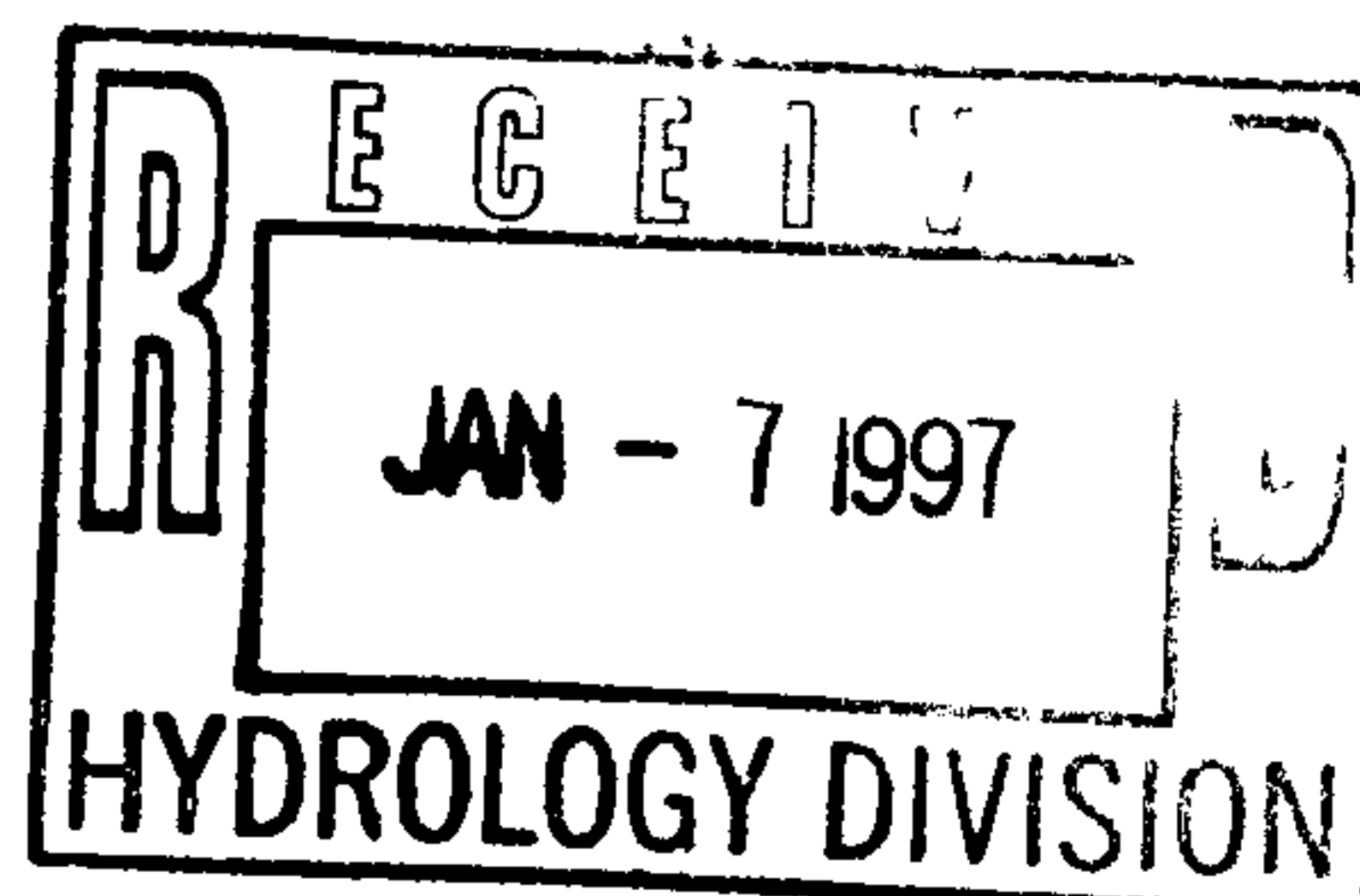
\_\_\_\_ YES  
\_\_\_\_ NO  
\_\_\_\_ COPY PROVIDED

## CHECK TYPE OF APPROVAL SOUGHT:

\_\_\_\_ SKETCH PLAT APPROVAL  
\_\_\_\_ PRELIMINARY PLAT APPROVAL  
\_\_\_\_ S. DEV. PLAN FOR SUB'D APPROVAL  
\_\_\_\_ S. DEV. PLAN FOR BLDG PERMIT APPROVAL  
\_\_\_\_ SECTOR PLAN APPROVAL  
\_\_\_\_ FINAL PLAT APPROVAL  
\_\_\_\_ FOUNDATION PERMIT APPROVAL  
X BUILDING PERMIT APPROVAL  
\_\_\_\_ CERTIFICATION OF OCCUPANCY APPROVAL  
\_\_\_\_ GRADING PERMIT APPROVAL  
\_\_\_\_ PAVING PERMIT APPROVAL  
\_\_\_\_ S.A.D. DRAINAGE REPORT  
\_\_\_\_ DRAINAGE REQUIREMENTS  
\_\_\_\_ OTHER \_\_\_\_\_ (Specify)

DATE SUBMITTED: 7 JAN 97

BY: Roger Martinez Jr.  
Roger Martinez Jr.





D. Mark Goodwin & Associates, P.A.  
Consulting Engineers and Surveyors

P.O. BOX 90606, ALBUQUERQUE, NM 87199  
(505) 345-2010

January 7, 1997

Ms Lisa Manwill  
Hydrology  
City Of Albuquerque  
P.O. Box 1293  
Albuquerque, NM 87103

RE: SATURN OF ALBUQUERQUE J-18/D90 48

Dear Ms Manwill,

The intent of this letter is to respond to your comments outlined in your letter dated May 24, 1996. Attached, please find the revised grading and drainage plan for the referenced project.

1. Finished floor elevations have been shown to mean sea level.
2. The ACS benchmark has been referenced.
3. The existing to proposed drainage patterns have not been altered. The topographic survey depicts drainage patterns to its final destination on Legion Road on the western metal grate.
4. The developed storm water drains out the western property line.
5. See revised plan.
6. See revised plan..

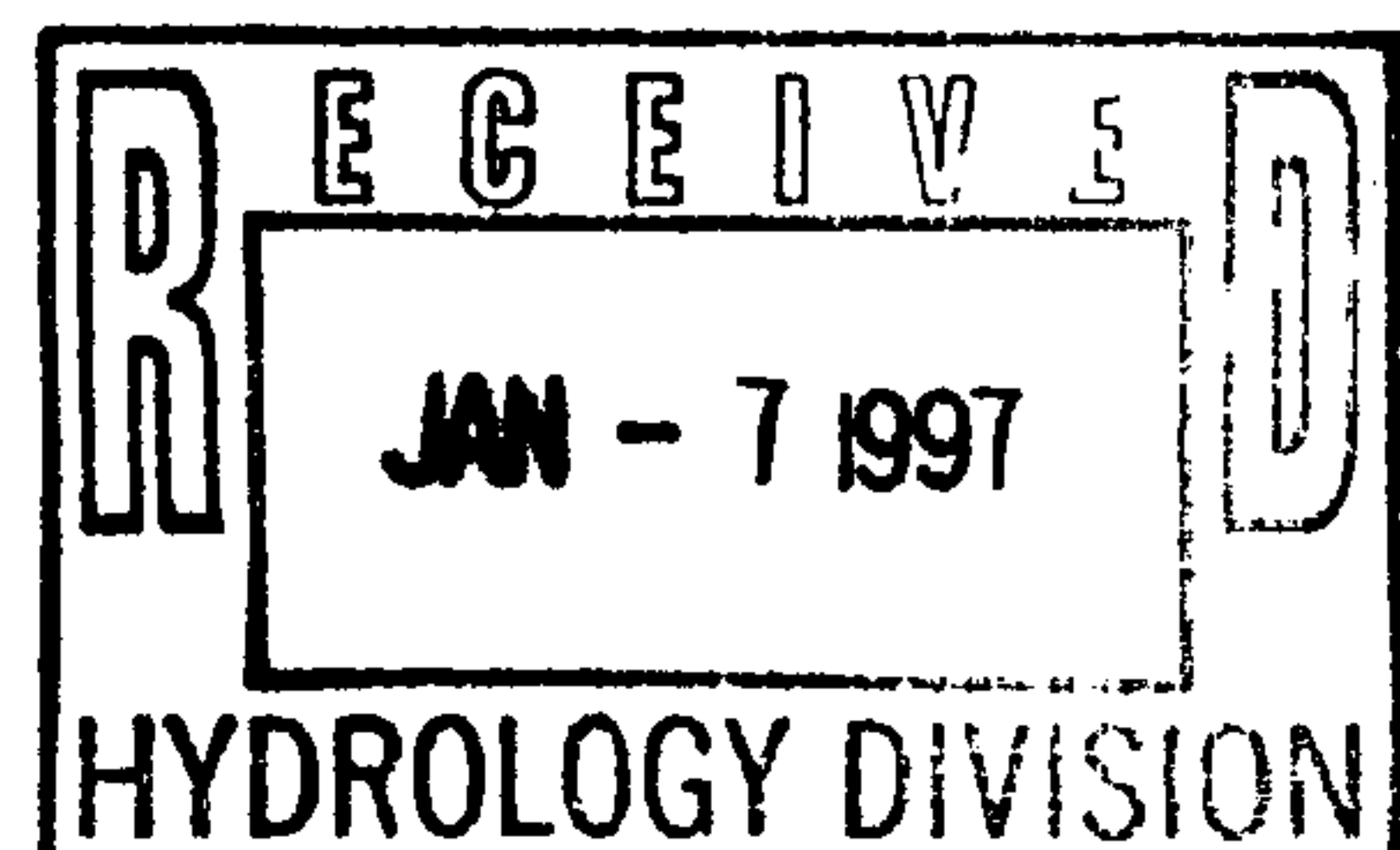
If you have any questions concerning this project or the letter, please contact me at 345-2010.

Sincerely,

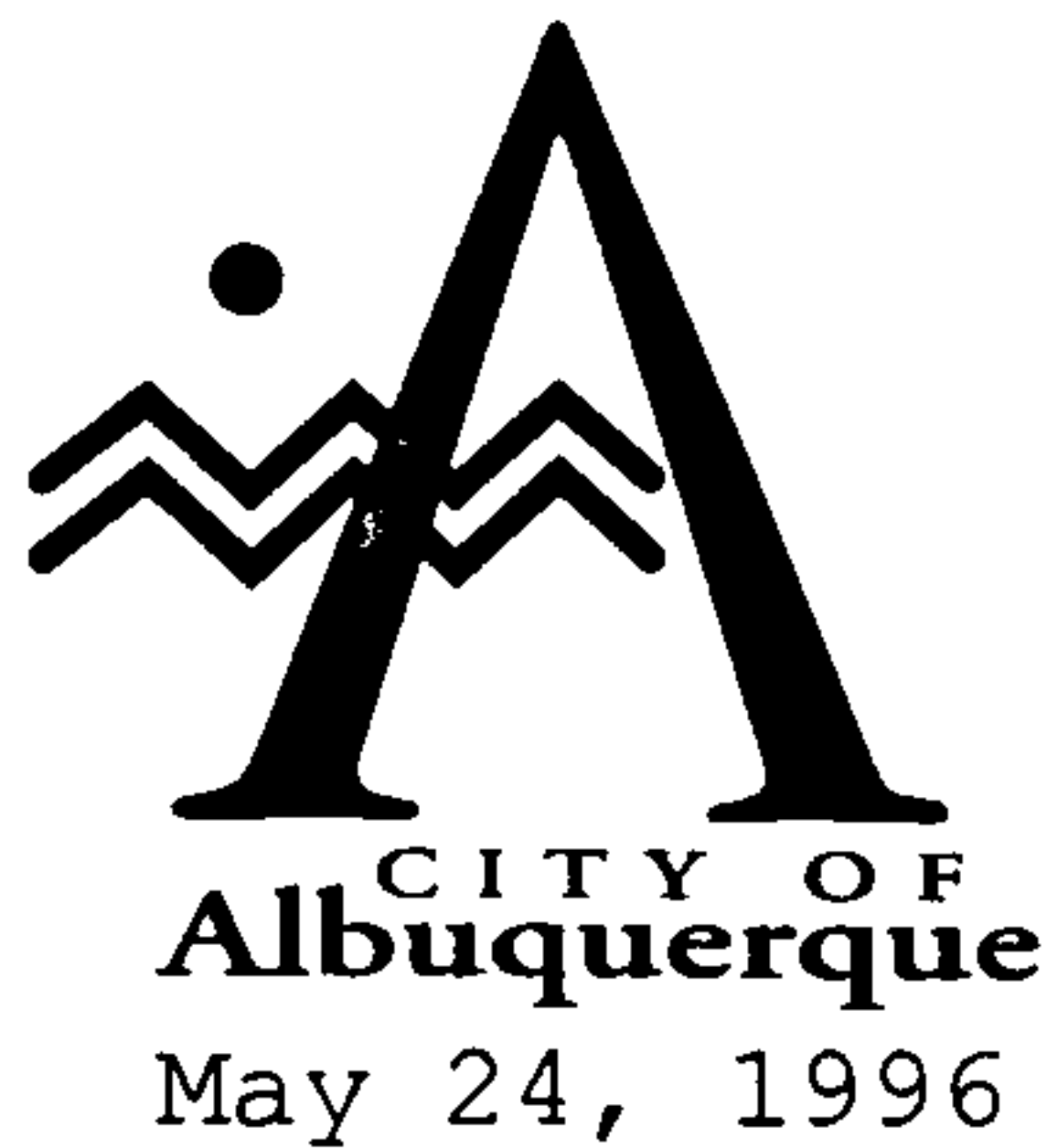
MARK GOODWIN AND ASSOCIATES, P.A.

  
Roger Martinez, Jr.

Attachments







Martin J. Chávez, Mayor  
Roger Martinez, Jr.  
Mark Goodwin & Assoc.  
P.O. Box 90606  
Albuquerque, NM 87199

48  
**RE: SATURN OF ALBUQUERQUE (J15-D90) GRADING AND DRAINAGE PLAN  
SUBMITTAL FOR BUILDING PERMIT APPROVAL. ENGINEER'S STAMP DATED  
5-7-96.**

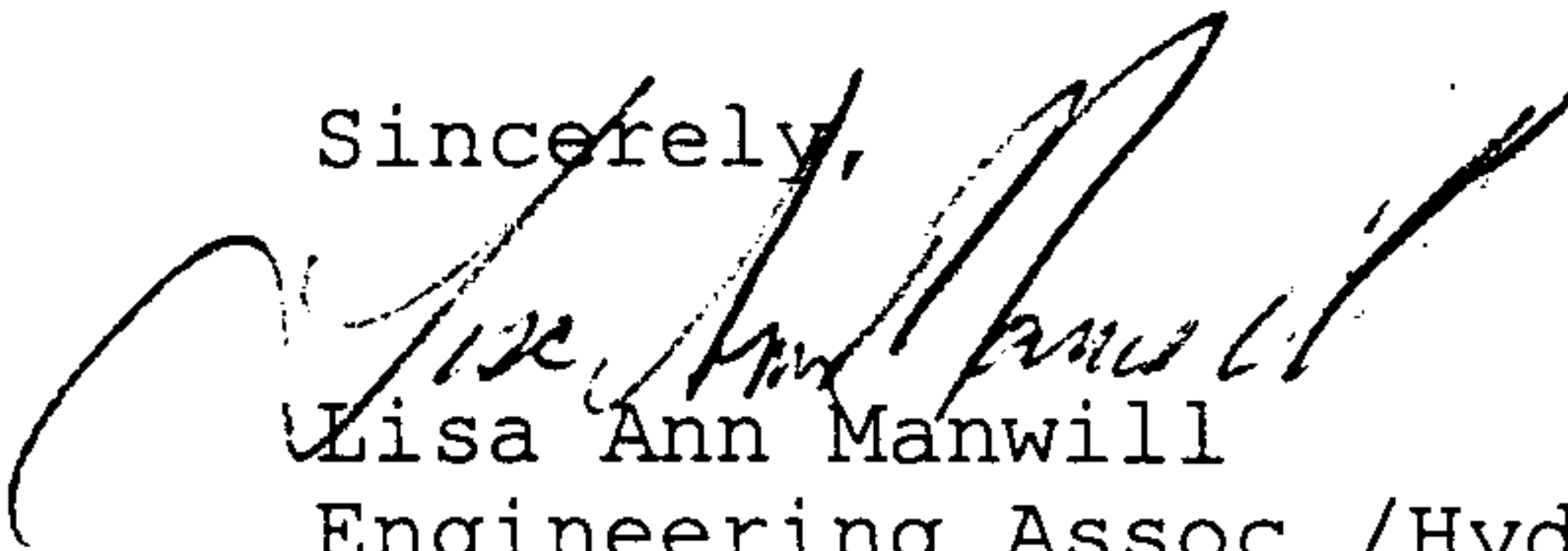
Dear Mr. Martinez

Based on the information provided on your May 7, 1996 submittal, City Hydrology has the following comments.

1. Show all finish floors (existing and proposed) to mean sea level.
2. Reference your elevations from the ACS bench mark.
3. Show existing contours. I'd like to have a general idea of how this site drains, so please extend the existing contours to Lomas Blvd., Legion Rd., and at least 25 feet east of the proposed addition.
4. Where does water discharge from the site?
5. Give legal description.
6. It appears that the last item on your legend is defined incorrectly.

If I can be of further assistance, please feel free to contact me at 768-3622.

Sincerely,

  
Lisa Ann Manwill  
Engineering Assoc./Hyd.

c: Andrew Garcia

File

Good for You, Albuquerque!





# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 20, 1990

Thomas T. Mann  
The Mann Company  
811 Dallas NE  
Albuquerque, New Mexico 87110

RE: REVISED DRAINAGE PLAN FOR SATURN OF ALBUQUERQUE (J-15/D<sup>48</sup>~~90~~) REVISION  
DATED DECEMBER 17, 1990

Dear Mr. Mann:

Based on the information provided on your December 18, 1990 resubmittal, the above referenced site is approved for Certificate of Occupancy.

If I can be of further assistance, please feel free to contact me at 768-2650.

Sincerely,

*Fred Aguirre*  
Fred Aguirre, PE  
Hydrology Division

FJA:BJM:jc  
WP+2026

PUBLIC WORKS DEPARTMENT

Walter H. Nickerson, Jr., P.E.  
Assistant Director Public Works

ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER

FILE COPY



# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

August 3, 1990

Thomas T. Mann  
The Mann Company, Inc.  
8200 Mountain Road, NE  
Albuquerque, New Mexico 87110

RE: REVISED DRAINAGE PLAN FOR SATURN OF ALBUQUERQUE  
(J-15/D~~90~~) REVISION DATED JULY 20, 1990

Dear Mr. Mann: 48

Based on the information provided on your resubmittal of July 24, 1990, the above referenced plan is approved for Building Permit.

Please attach a copy of this plan to the construction sets prior to sign-off by Hydrology.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

*Fred J. Aguirre*  
for Fred J. Aguirre, P.E.  
Hydrologist

BJM:FJA/bsj  
(WP+2026)

PUBLIC WORKS DEPARTMENT

Walter H. Nickerson, Jr., P.E.  
Assistant Director Public Works

ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER



# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 12, 1990

Thomas T. Mann  
The Mann Company, Inc.  
8200 Mountain Road, NE  
Albuquerque, New Mexico 87110

RE: DRAINAGE PLAN FOR SATURN OF ALBUQUERQUE  
(J-15/D96) RECEIVED JULY 5, 1990  
48

Dear Mr. Mann:

Based on the information provided on your submittal of July 5, 1990, listed are some concerns that will need to be addressed prior to final approval:

1. Addition proposed on the far west building on the far north side will be blocking an existing swale.
2. Please indicate existing swale and how you propose to take care of the runoff if blocked by the proposed addition.
3. Location and direction of the roof drains.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

*Fred J. Aguirre*  
Fred J. Aguirre, P.E.  
Hydrologist

BJM:FJA/bsj  
(WP+2026)

PUBLIC WORKS DEPARTMENT

Walter H. Nickerson, Jr., P.E.  
Assistant Director Public Works

ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER