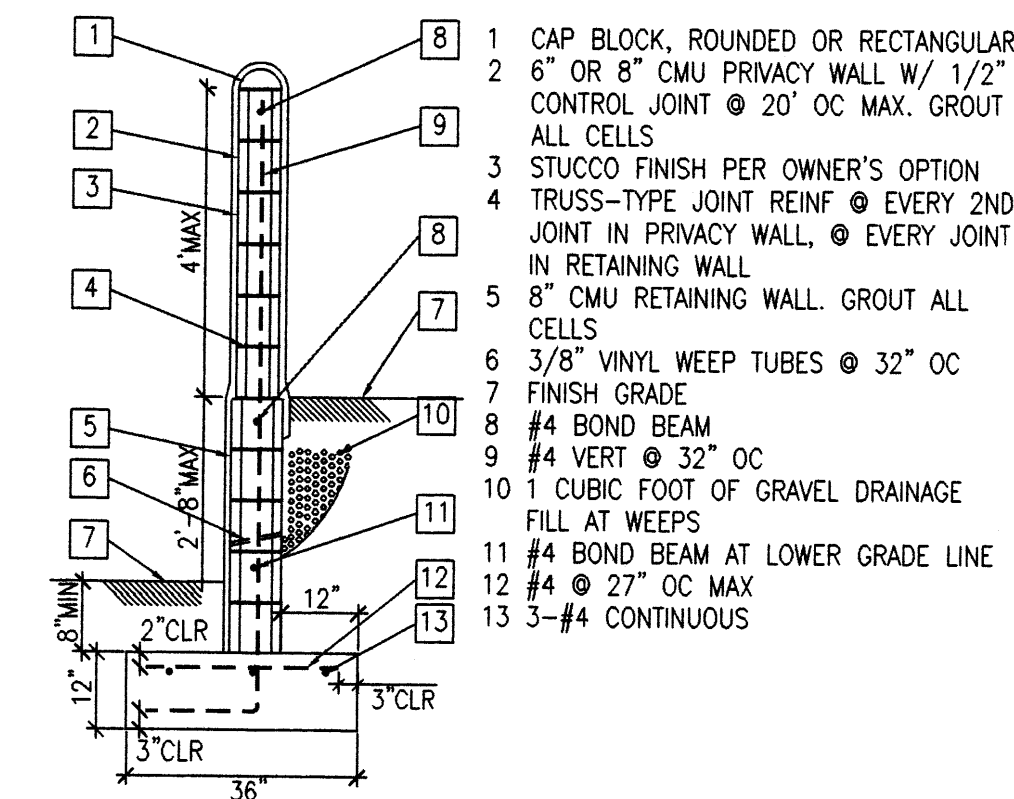


GENERAL NOTES

1. LOCATE AND VERIFY ALL OBSTRUCTIONS PRIOR TO CONSTRUCTION. IN CASE OF APPARENT ODDITY, CONFLICT, OR OMISSION, CONSULT WITH THE ENGINEER PRIOR TO FINAL LAYOUT OR CONSTRUCTION.
2. TAKE SPECIAL CARE TO GET COMPACTION AND FINISHED GRADES CORRECT FOR ALL AREAS RELATED TO HANDICAP ACCESS.
3. ALL COMPACTION FOR STRUCTURES, SIDEWALKS, AND PAVING TO BE 95% (MIN) PER ASTM D-1557.
4. ALL ASPHALT PAVING TO BE 2" MIN THICKNESS, PREPARED & PLACED ACCORDING TO CITY OF ALBUQUERQUE STANDARD SPECS FOR PUBLIC WORKS CONSTRUCTION, LATEST REVISION.
5. CONCRETE STRENGTHS TO EQUAL OR EXCEED THOSE IN THE CITY OF ALBUQUERQUE STANDARD SPECS FOR PUBLIC WORKS CONSTRUCTION, LATEST REVISION.
6. IN CASE OF CONFLICT, COA STANDARD SPECS GOVERN

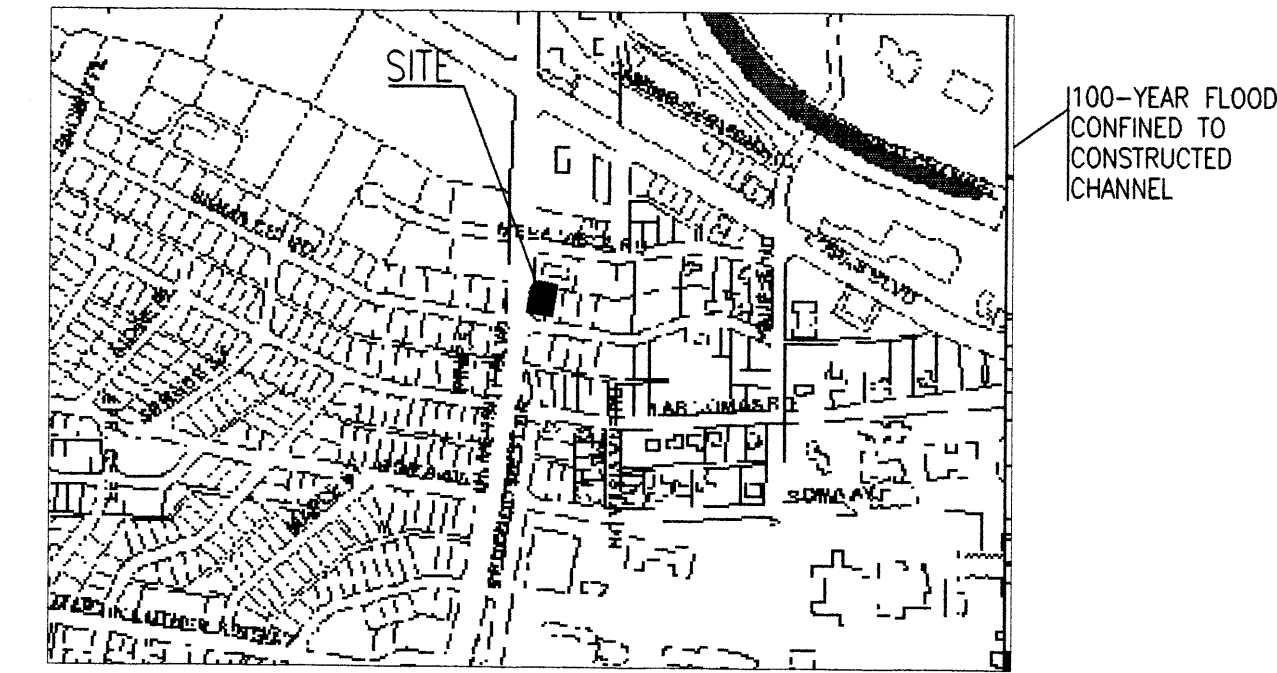
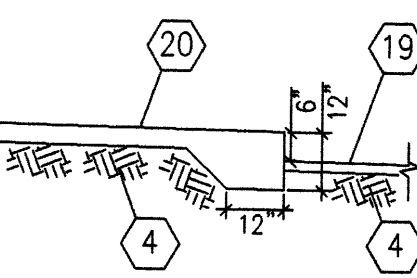
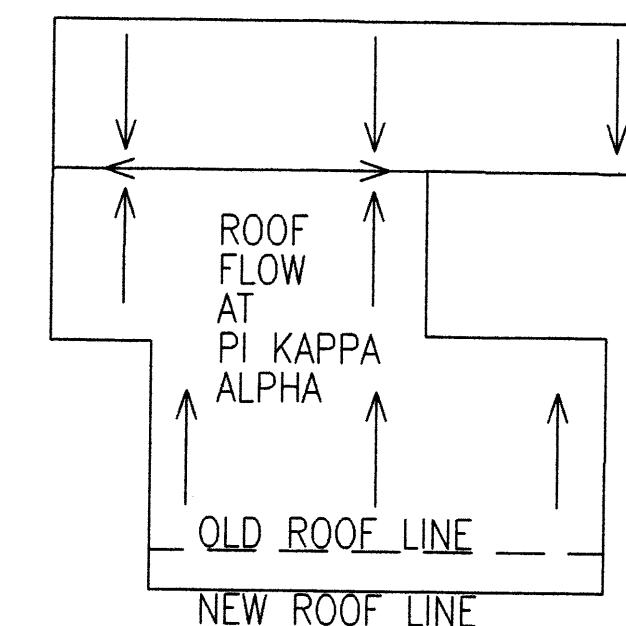
KEYED NOTES

1. EXIST. CONC STEPS
2. STATIONARY BOLLARD @ EX.GUY WIRE. PER COA DWG 2250
3. 7 STEPS 2 FT WIDE, EVENLY SPACED VERTICALLY BETWEEN ELEVATIONS SHOWN
4. COMPACTED EARTH
5. CONC OR CMU WALL TO RETAIN 2'-8" (MAX) EARTH. SEE DETAIL THIS SHEET. ALONG EAST PL REPLACES WOOD FENCE. AT ALLEY, BUT TO EXIST. ADJACENT WALL.
6. LANDSCAPE ROCK, 3" MIN SIZE, APX 8" THICK. ***DO NOT USE LANDSCAPE FABRIC ON SLOPES STEEPER THAN $\pm 3-1/2$ TO 1 V.*** COMPACT ROCK INTO SOIL. UPPER 6" OF SOIL TO BE FAIRLY LOOSE BEFORE COMPACTION. OK TO SPRINKLE ROCK W/ EARTH AND SEED W/ FLOWERS OR GRASSES.
7. EXISTING POWER POLE. PROTECT AS NECESSARY. PROVIDE 1/2 EXP. JOINT BTW POLE & PAVING.
8. CONCRETE PARKING BUMPER. AT PARKING SPACE, SET TO PROVIDE 2' MAX OVERHANG
9. NEW PAVING TO SLOPE FROM TOP OF EXIST. CURB DOWN TO ALLEY - MATCH EXISTING SLOPE
10. APX LOC. POSSIBLE VALVE. DO NOT PAVE OVER
11. APX. EXISTING LOCATION OF GARBAGE CANS
12. 2FTx4FT CUTOUT IN CONC FOR EX. GAS METER
13. EXIST. STORAGE / MECHANICAL
14. EXISTING WALL (CONC. BRICK, OR CMU)
15. EXIST WOOD FENCE
16. EXIST CONC CURB ALONG FENCE
17. RAISED AREA INSIDE PER ARCH'L. FINISHED FLOOR TO MATCH BACK OF SIDEWALK OUTSIDE
18. NEW LANDSCAPING. SEE LANDSCAPE PLAN
19. NEW ASPHALT PAVING
20. NEW CONCRETE SIDEWALK
21. SEE DETAIL THIS SHEET
22. PLANTER ADJACENT TO BLDG. WATERPROOF ADJACENT TO BUILDING. DO NOT OMIT WEEP HOLES FOR WALLS.
23. OWNER'S OPTION: DEPRESSED AREA IN LANDSCAPING, $\pm 6"$ DEEP.
24. EXISTING STREET LIGHT POLE
25. EXIST HC RAMP - APX LOCATION



NOTES:

1. ALL REINF GRADE 40 DEFORMED STEEL, LAP SPLICES 40 DIAMETERS
2. CONCRETE 3,000 PSI, GROUT 1,500 PSI, FILL ALL CELLS
3. CONCRETE MASONRY UNITS GRADE N, MORTAR TYPE M or S
4. USE SAME STRUCTURAL DESIGN AT PLANTER WALL



VICINITY & FLOOD ZONE MAP NO SCALE
FEMA FIRM maps 35001C0 334-D and 353-D
COA Map J-15

DRAINAGE REPORT TEXT:

The report text appears both on the plan and at the start of the bound report. Calculations supporting the text and the drainage plan appear only in the bound report. The bound report was submitted at the same time as the plan and should be on file at the City of Albuquerque Hydrology Dept.

LEGAL DESCRIPTION & LOCATION

Lot 5, Block 22, Country Club Addition, Bernalillo County NM
700 University Blvd. NE, Albuquerque NM -- SE corner of University & Sigma Chi Rd. COA Map K-15

FLOODZONE:

Per FEMA FIRM maps 35001C0 334-D and 353-D the site is not in or even near a 100-year flood zone, except the one confined to the North Diversion Channel and its upstream tributaries in and near Lomas Blvd.

EXISTING CONDITIONS:

The existing "U"-shaped PKA (Pi Kappa Alpha) fraternity house is located on a roughly 3/8 acre site in a long-developed area near the University of New Mexico. Currently the PKA building is rundown and vacant. The building is unusual in that the low point of the roof is near the middle of the house, almost like a regular pitched roof turned upside down. Thus there is no roof runoff directly to either the front or rear yard; instead runoff flows either east (most of it) to a concrete-paved patio in the hollow of the [and thence down a concrete sidewalk to Sigma Chi Rd. or west to a concrete sidewalk, thence to the parking lot and the street.

Sigma Chi Rd. is in front of the site, a residential building (another fraternity house?) is on the east, and a paved alley with an inverted crown is on the south. The longitudinal high point of the alley is perhaps 50-100 ft east of the site. There is a bare dirt parking lot on the west side of the building, with access from the alley and from University Blvd. but not from Sigma Chi Rd. The land slopes mostly down from the south (alley) to the north, but both Sigma Chi and the alley both slope slightly down toward University Blvd. at the PKA site. The front yard drains directly to the street. Currently the yard behind the house has been graded to retain all rain that falls on it. It appears that under normal circumstances no offsite runoff enters the site; part of the design problem is making sure that it doesn't enter during the design storm either.

PROJECT DESCRIPTION:

The project consists of a major repair and remodel of the existing fraternity house, with a 5-1/2 foot addition (apx 250 sf) to the south side of the building, and with some modifications to the parking area. The dilapidated wood fence along the south side of the east property line will be replaced with a CMU wall. The wood fence along the alley will be removed to provide for 7 new spaces. Per discussion with City staff, these spaces are shown as if access were from the east. These spaces will drain to the alley and thence west to University Blvd. Other than that, existing drainage patterns will remain essentially unchanged. Grades in the front of the house and on the east side from the courtyard northward remain unchanged. Several existing live trees will be removed to make way for the parking; one dead one will be removed because it is dead.

Although there is more paving than before, there is less packed dirt and slightly less lawn. The net result is that calculated runoff for the 100-yr 6-hr design storm barely increases, from 1.45 to 1.46 cfs, just 0.01 cfs. The only water reaching the landscape areas adjacent to the building is that which falls there, except at the new planter at the SW wall. Calculations and basin maps follow the report text. The calculations show that the alley has adequate capacity under both existing and proposed conditions - adequate but not a lot extra, largely because of the nearly flat slope along the alley near the east side of the site.

The proposed layout requires a lot of spot elevations in a small space, and the drawing is optically dense. To avoid confusion, the new contours are not shown - grading is by spot elevations only. For the most part, except in areas covered by landscape rock, the new grades are near existing grades and slopes are no steeper than about 4H:1V.

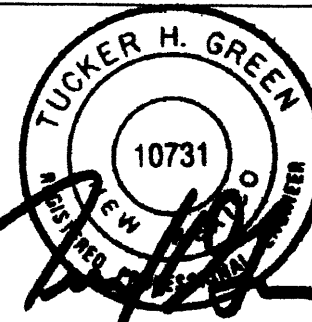
END OF REPORT TEXT

LEGEND

TW	TOP OF WALL	FG	FINISHED GRADE
INV	INVERT	EG	EXISTING GRADE
LP	LIGHT POLE	X	WATER VALVE
PP	POWER POLE	[]	WATER METER
T	TELEPHONE	○	FIRE HYDRANT
G	GAS	---	NEW CONTOURS
SS	SANITARY SEWER	- - -	EXISTING CONTOURS
SD	STORM DRAIN	→	FLOW DIRECTION
W	WATER	=====	NEW CURB AND GUTTER
E, EX	EXISTING: ELECTRICITY	=====	EXISTING CURB AND GUTTER
TA	TOP OF ASPHALT	●	NEW SPOT ELEVATION
TP	TOP OF PAVEMENT	+	EXISTING SPOT ELEVATION
FL	FLOW LINE	35.86	(NEW) TOP OF CURB
TC	TOP OF CURB, CONCRETE	35.36	(NEW) TOP OF PAVING
TSW	TOP OF SIDEWALK	□	PARKING LOT LIGHT
BSW	BACK OF SIDEWALK		



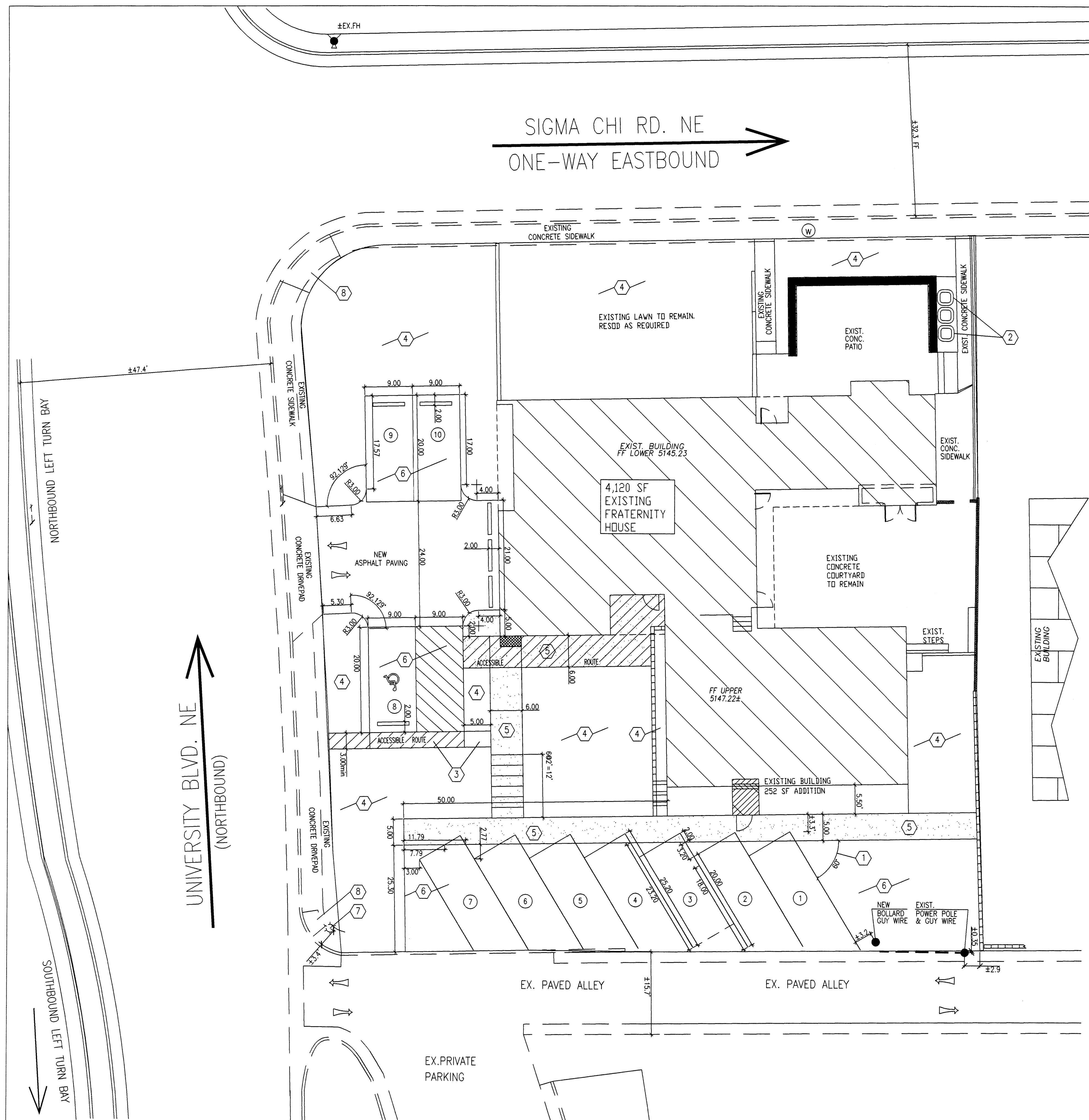
TBM: EXISTING FINISHED FLOOR OF EXISTING FRATERNITY HOUSE, NEAR THE NEW ENTRANCE
CONTRACTOR TO ESTABLISH SECONDARY TBMS BEFORE DOING ANY GRADING OR CHANGING ANY FINISHED FLOOR ELEVATIONS. TBM ELEVATION 5145.23.
BM: ACS 10J-15, ELEVATION 5102.05



Pi Kappa Alpha Fraternity
700 University Blvd. NE, Albuquerque NM
Lot 5, Block 22, Country Club Add'n
GRADING & DRAINAGE PLAN

PER SE ENGINEERING
Drainage, Utilities, and Site Design
809 Valencia NE Albuquerque NM 87108 505.232-9394

SHEET
C1 of 2



VICINITY & FLOOD ZONE MAP NO SCALE
FEMA FIRM maps 35001C0 334-D and 353-D
COA Map J-15

GENERAL NOTES

- 1 THE PROJECT CONSISTS OF A MAJOR RENOVATION OF, PLUS A MINOR ADDITION TO, AN EXISTING FRATERNITY HOUSE. THERE IS NEW PARKING AND LANDSCAPING ON THE SOUTH AND WEST.
- 2 UNDER "EXISTING" CONDITIONS THE ONLY PARKING AREA WAS BARE DIRT WEST OF THE BUILDING, EXCEPT FOR A CONCRETE PAD (REMOVED W/ THIS RENOVATION) ADJACENT TO THE WEST SIDE OF THE BUILDING. SEE DRAINAGE REPORT FOR MORE DETAIL OF "EXISTING" CONDITIONS.
- 3 SPECIFICATIONS AND STANDARD DRAWINGS REFERRED TO HEREIN ARE FROM "CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION, LATEST REVISION."
- 4 DESIGN VEHICLE AT REAR OF SITE. CAR OR LIGHT TRUCK IN PARKING AREA, (TRUCK PICK-UP IS FROM RESIDENTIAL STYLE CONTAINERS, ACCESSED FROM SIGMA CHI ROAD.)
- 5 ENTIRE PARKING LAYOUT IS NEW. ALL STRIPING TO BE IN ACCORD WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS
- 6 BUILDING PERMIT REQUIRED FOR RENOVATIONS AND ADDITION.

KEYED NOTES ①

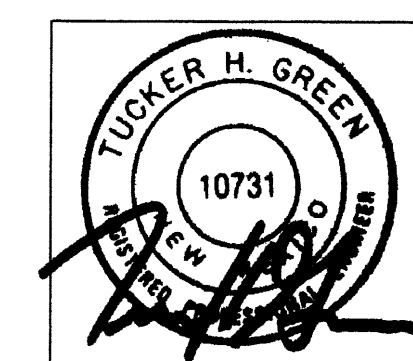
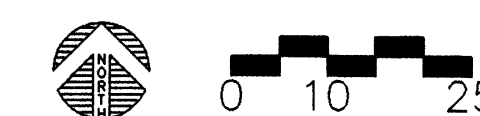
- 1 PARKING ANGLE ESTABLISHED IN DISCUSSION WITH CITY STAFF, AT EPC OR PRE-EPC MEETING
- 2 EXISTING GARBAGE CANS
- 3 ASPHALT OR CONCRETE, AT OWNER'S OPTION. THIS IS PART OF THE ACCESSIBLE ROUTE, NOT PART OF THE HC PARKING AREA, NOT A RAMP FOR HC PARKING
- 4 LANDSCAPED AREA. SEE DRAINAGE & LANDSCAPE PLANS FOR MORE DETAIL
- 5 CONCRETE SIDEWALK
- 6 ASPHALT PAVING
- 7 EXISTING LIGHT POLE IN EXIST SIDEWALK
- 8 EXIST HC RAMP - APX LOCATION

The dollar value of this project is approximately \$200,000.

As required by Transportation Development Section, a copy of the approved TCL AS-BUILT will be submitted by the designer or acceptable representative party which includes a letter of certification stating the site has been constructed in accordance with the approved TCL. Verification of TCL acceptability, to include random field checks, will be made before a Final Certificate of Occupancy (C.O.) is issued. Please call this office to obtain temporary CO. Confirmation from Hydrology, supporting this requirement, will be needed prior to approval of TCL by Transportation.

LEGEND

TW	TOP OF WALL	FG	FINISHED GRADE
INV	INVERT	EG	EXISTING GRADE
LP	LIGHT POLE	WV	WATER VALVE
PP	POWER POLE	WM	WATER METER
T	TELEPHONE	FD	FIRE HYDRANT
G	GAS	NC	NEW CONTOURS
SAS	SANITARY SEWER	EC	EXISTING CONTOURS
SD	STORM DRAIN	FD	FLOW DIRECTION (WATER)
W	WATER	NC	NEW CURB AND GUTTER
E,EX	EXISTING: ELECTRICITY	EC	EXISTING CURB AND GUTTER
TA	TOP OF ASPHALT	FL	FLOW LINE
TP	TOP OF PAVEMENT	TC	TOP OF CURB/CONCRETE
FL	FLOW LINE	TSW	TOP OF SIDEWALK
TC	TOP OF CURB/CONCRETE	BSW	BACK OF SIDEWALK
TSW	TOP OF SIDEWALK		
BSW	BACK OF SIDEWALK		



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C2 of 2