

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

November 2, 2018

Fred C. Arfman, P.E.
Isaacson & Arfman, P.A.
128 Monroe St. N.E
Albuquerque, NM, 87108

**RE: New Heart Parking Expansion
Grading and Drainage Plan
Engineer's Stamp Date: 10/09/18
Hydrology File: J15D051**

Dear Mr. Arfman:

PO Box 1293

Based upon the information provided in your submittal received 10/10/18, the Grading and Drainage Plan **is not** approved for Building Permit and for action by the DRB on the Final Plat. The following comments need to be addressed for approval of the above referenced project:

Albuquerque

1. Please Add the drainage calculations for the proposed improvements for Basin B & Basin C. I think you said that you have them.

NM 87103

2. Please Add a section of the proposed garden wall between Tract D-1-B-2 and Tract D-1-B.

www.cabq.gov

3. And get written permission from the adjacent property owner for the footer and the wall to be placed along the property line. I think you mentioned that they were the ones who wants the wall. Per DPM Ch. 22.5.B, grading and construction of retaining walls at or near the property line must demonstrate that the adjacent property is not damaged or its use constrained. Any such encroachment by the wall or grading must be accompanied by written permission of both landowners.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: New Heart Parking Expansion Building Permit #: _____ Hydrology File #: J15
DRB#: 1000060 EPC#: _____ Work Order#: _____
Legal Description: Tract D-1-B, Gateway Subdivision & Lots 16 and 17, Trotter Addition No. 2
City Address: _____

Applicant: Isaacson & Arfman, PA Contact: Fred C. Arfman or
Address: 128 Monroe Street NE - Albuquerque, NM 87108 Bryan J. Bobrick
Phone#: (505) 268-8828 Fax#: _____ E-mail: freda@iacivil
bryanb@iacivil.com
Other Contact: Surv-Tek, Inc. Contact: Russ Hugg

Address: 9384 Valley View Drive NW - Albuquerque, NM 87114
Phone#: (505) 897-3366 Fax#: _____ E-mail: _____

TYPE OF DEVELOPMENT: ☒ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE _____

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT _____ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
☐ PAD CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ DRAINAGE REPORT
☐ DRAINAGE MASTER PLAN
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ STREET LIGHT LAYOUT
☒ OTHER (SPECIFY) Supplemental Information
☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☒ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ FLOODPLAIN DEVELOPMENT PERMIT
☐ OTHER (SPECIFY) _____

DATE SUBMITTED: October 9, 2018 By: Fred C. Arfman

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

OCTOBER 9, 2018

Supplemental Information for New Heart Parking Improvements



by



ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates

*Thomas O. Isaacson, PE(RET.) & LS(RET.)
Fred C. Arfman, PE
Asa Nilsson-Weber, PE*

October 9, 2018

Supplemental Information for New Heart Parking Improvements

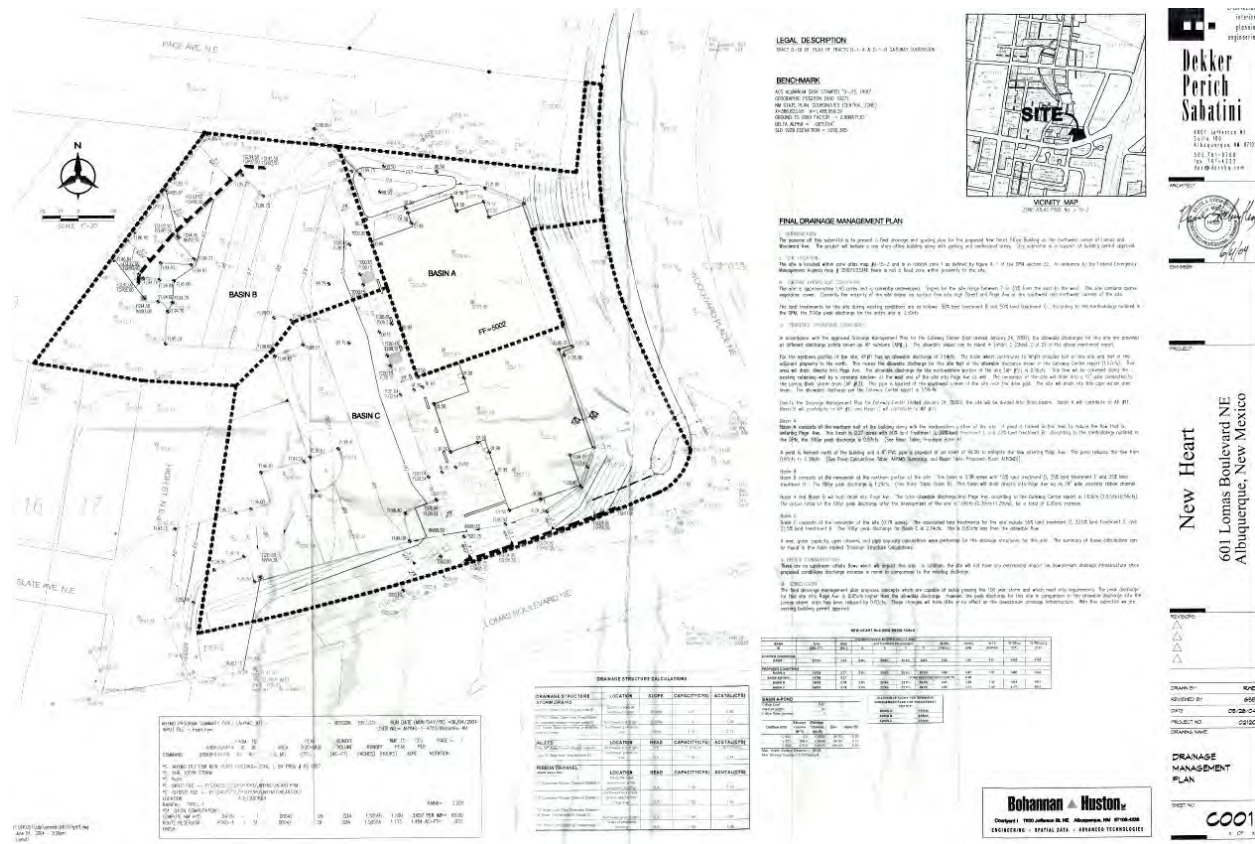
by

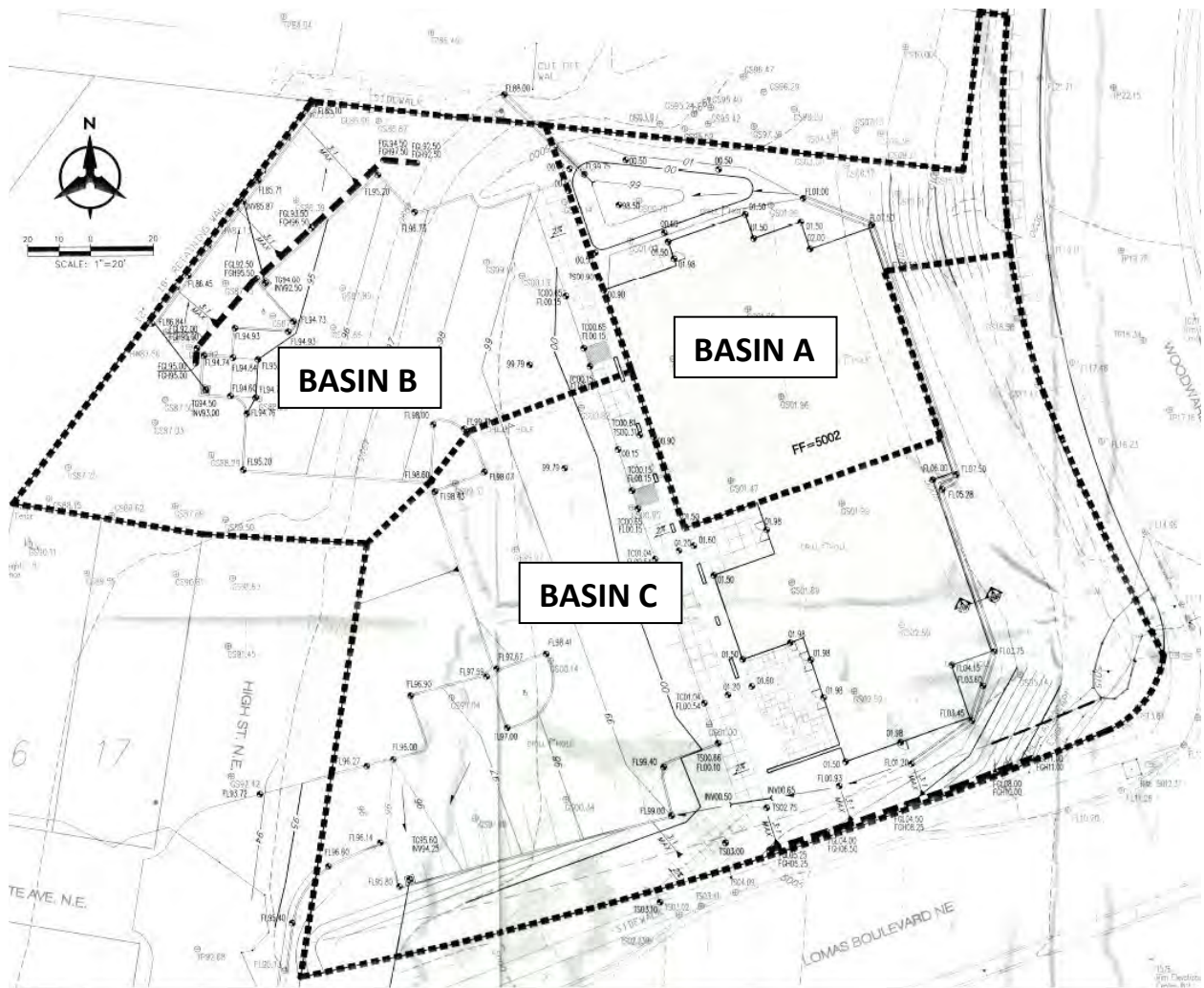


ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates

Thomas O. Isaacson, PE(RET.) & LS(RET.)
Fred C. Arfman, PE
Åsa Nilsson-Weber, PE

Basin A	11729 sf
Basin B	16418 sf
Basin C	34074 sf





Per the Gateway Center Drainage Management Plan;

- Basin A is permitted to discharge of 1.07 cfs to Page Ave.
- Basin B is permitted to discharge 0.56 cfs which is conveyed to a concrete rundown discharging into Page Ave.
- Basin C drains into a 12" pipe connected to the Lomas Blvd. storm drain at an allowable rate of 3.56 cfs.

Per the approved New Heart Drainage Management Plan (existing conditions);

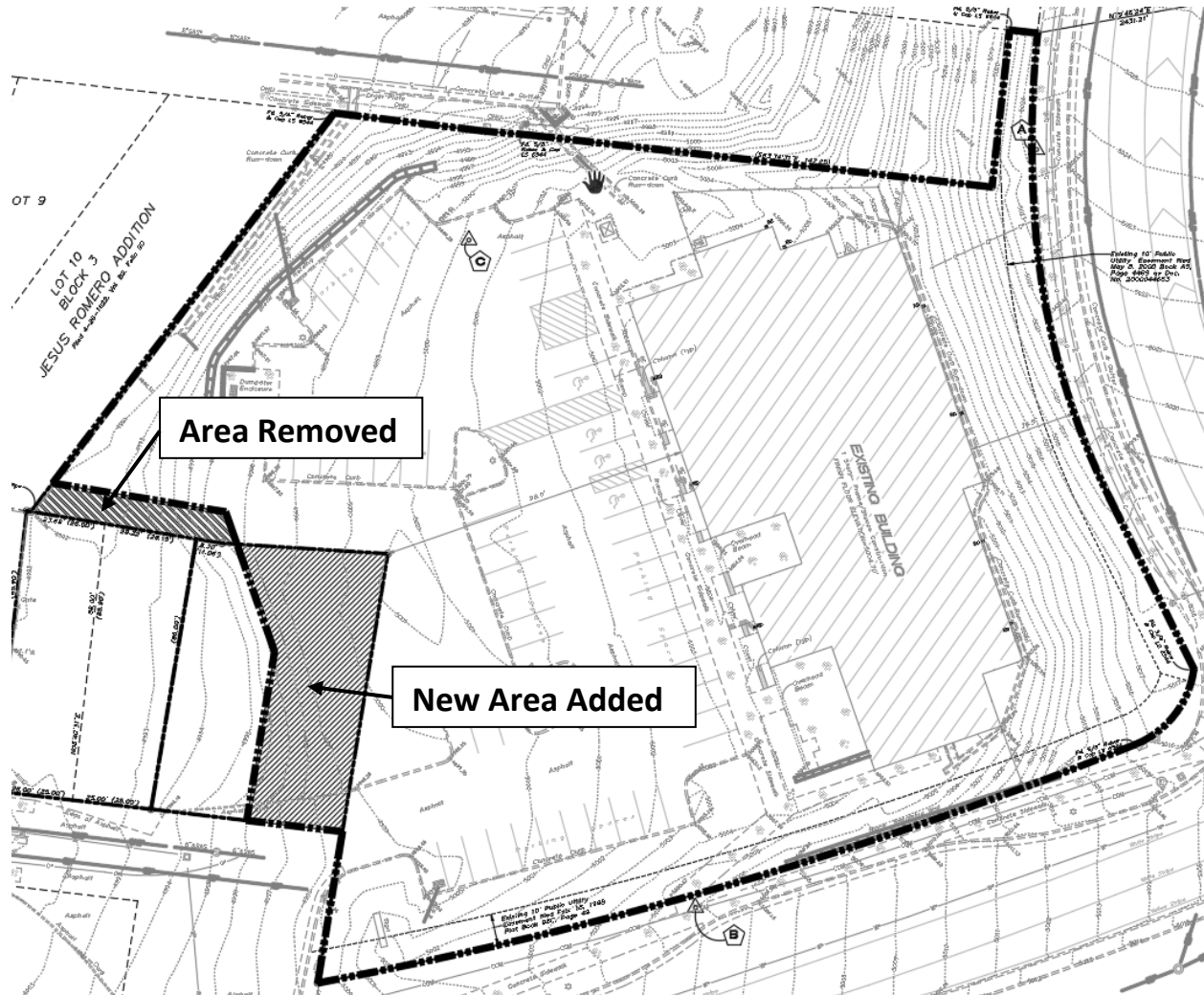
- Basin A discharges 0.39 cfs from a retention pond. This basin remains unchanged.
- Basin B discharges 1.29 cfs to the concrete rundown.

Basin A and Basin B discharge to Page Ave. at a rate of 1.68 cfs (approved).

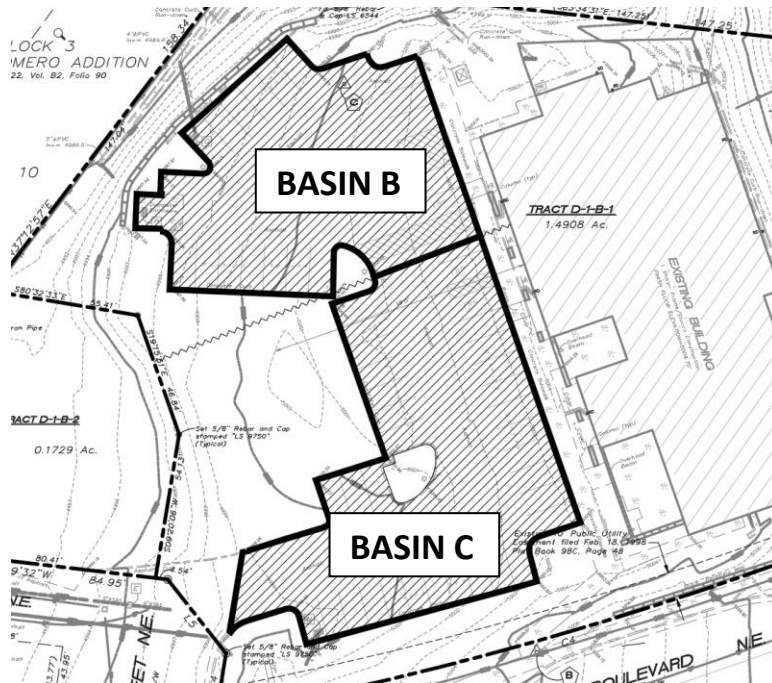
Basin C consists of the remainder of the original site (0.78 acre). With 55% D, 22.5% C and 22.% B, the 100-year peak discharge was calculated at 2.74 cfs which is 0.82 cfs less than the allowable rate.

Proposed Conditions:

The proposed development includes changes to the property boundaries. This change, in addition to the revised parking layout / pavement extents and grades will impact the limits and discharge rates of Basins B and C.



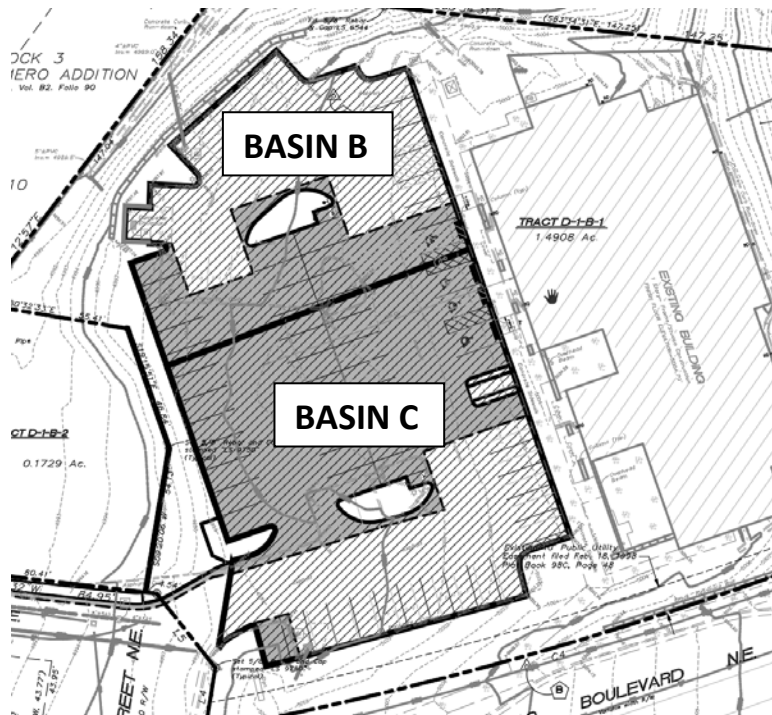
Proposed Basins:



In the existing condition,

Basin B has 8,000 sf asphalt pavement.

Basin C has 9,924 sf asphalt pavement.



In the proposed condition,

Basin B has 8,718 sf of asphalt pavement. An increase of 718 sf.

First flush volume required for added pavement = $718 \times 0.34 / 12 = 21$ cf.

Basin C has 14,319 sf of asphalt pavement. An increase of 5,601 sf.

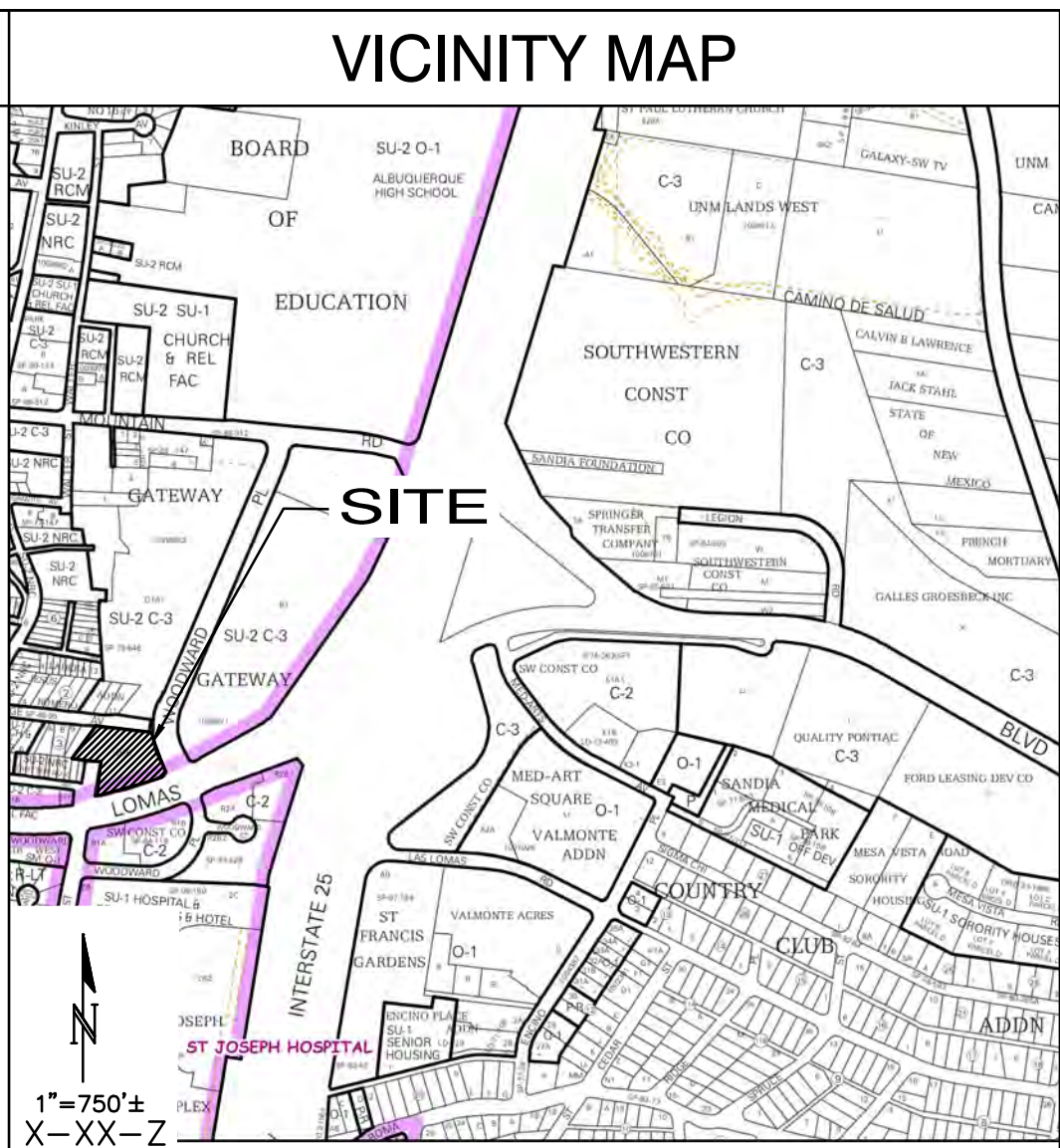
First flush volume required for added pavement = $5601 \times 0.34 / 12 = 159$ cf.

FIRST FLUSH POND - NORTH			
Contour	Area	Volume	
4999.30	137		
4998.50	1	55 CF	
TOTAL VOL.		55 CF	

FIRST FLUSH POND - SOUTH			
Contour	Area	Volume	
4999.30	207		
4998.00	40	161 CF	
TOTAL VOL.		161 CF	



- ### KEYED NOTES
1. PROPOSED PAVING. SEE PAVING PLAN (CP-101) FOR PAVEMENT MATERIAL, SECTIONS, PARKING LAYOUT, DIMENSIONS, STRIPING, ETC.
 2. CONSTRUCT HC PARKING AREA TO ADA STANDARDS. MAX. 2% SLOPE IN ANY DIRECTION.
 3. PROVIDE 12" WIDE CURB OPENING AT FLOWLINE SHOWN TO PASS DISCHARGE.
 4. PROVIDE 24" WIDE CURB OPENING AT FLOWLINE SHOWN TO PASS DISCHARGE INTO AND OUT OF 'FIRST FLUSH' RETENTION PONDING AREAS.
 5. 'FIRST FLUSH' RETENTION PONDING. CONSTRUCT TO ELEVATIONS SHOWN. SIDE SLOPES = 1.5:1 (SOUTH POND) AND 3:1 (NORTH POND) WITH 4" AVG. DIA. ANGULAR ROCK EROSION PROTECTION OVER PERMANENT FILTER FABRIC AT CURB OPENINGS AND LIMITS HATCHED. SEE POND VOLUME CALCULATIONS THIS SHEET FOR TOP AND BOTTOM ELEVATIONS AND AREAS.
 6. GRADE BREAK.
 7. NOTE: TO ENSURE READABILITY, NOT ALL PAVEMENT SPOT ELEVATIONS SHOW ADJACENT TOP OF CURB / TOP OF WALK. TEXT SHOWN WITHIN FLOWLINE REPRESENTS FLOWLINE ELEVATION. ADD 0.5' TYPICAL FOR TOP OF ADJACENT CURB OR WALK ELEVATIONS.
 8. EXISTING STORM DRAIN INLET AND DISCHARGE LINE. CONTRACTOR TO CLEAN AND FLUSH.
 9. CONSTRUCT GARDEN RETAINING WALL TO ACHIEVE GRADE DIFFERENCE SHOWN. (MAX. RETAINING = 2.5').
 10. DEPRESS NEW LANDSCAPING.
 11. SHADE HATCH REPRESENTS EXTENTS OF ASPHALT PAVEMENT IMPROVEMENTS (OVERLAY AND / OR NEW ASPHALT). SEE PAVING PLAN.



PROJECT INFORMATION

PROPERTY: THE SITE IS A FULLY DEVELOPED PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP J-15. THE SITE IS BOUND TO THE EAST BY WOODWARD PL. NE, TO THE WEST BY RESIDENTIAL PROPERTY, TO THE NORTH BY PAGE AVE NE AND TO THE SOUTH BY LOMAS BLVD NE.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE ADDITIONAL EXPANDED PARKING AREA WITH ASSOCIATED LANDSCAPING.

LEGAL: TRACT D-1-B GATEWAY SUBDIVISION AND LOTS 16 AND 17 TROTTER ADDITION NO. 2, ALBUQUERQUE, NM.

SITE AREA: 1.4294 ACRES

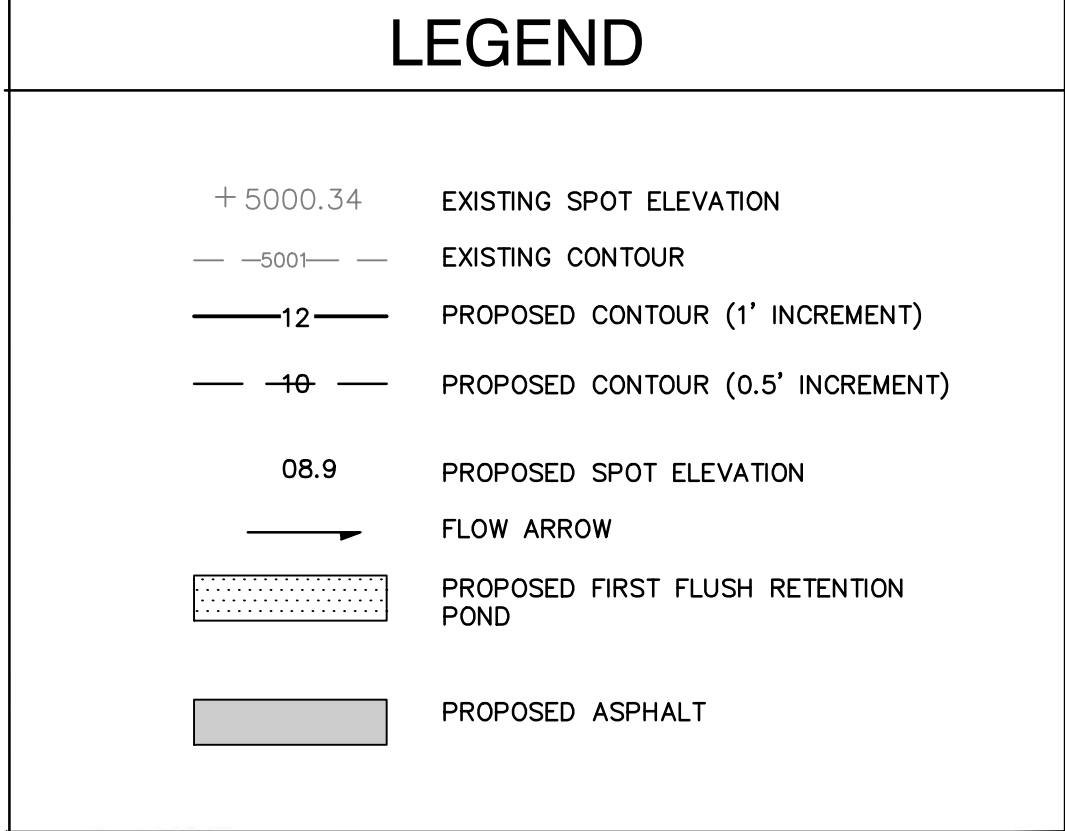
BENCHMARK: VERTICAL DATUM IS BASED ON THE ALBUQUERQUE CONTROL SURVEY BENCHMARK "11-J15" HAVING A PUBLISHED ELEVATION OF 5024.534 (NAVD 1988)

OFF-SITE FLOW: NO OFFSITE FLOW AFFECTS THIS SITE.

FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP #35001C0332G, THE SITE IS LOCATED WITHIN FLOODZONE 'X' DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

ENGINEER: FRED C. ARFMAN: NMPE 7322
ISAACSON & ARFMAN, PA
128 MONROE NE 87108
505-268-8828

SURVEYOR: RUSS HUGG: NMPS NO. 9750
SURV TEK, INC
9384 VALLEY VIEW DRIVE, NW, ALBUQUERQUE, NM 87114
505-897-3366



DRAINAGE AND FIRST FLUSH

STORMWATER CONTROL MEASURES ARE REQUIRED TO PROVIDE MANAGEMENT OF 'FIRST FLUSH' DEFINED AS THE 90TH PERCENTILE STORM EVENT. FIRST FLUSH VOLUME IS PROVIDED FOR NEW PAVEMENT AREA.

FIRST FLUSH RETENTION PONDS WILL BE CONSTRUCTED WITHIN THE LANDSCAPED AREAS. STORM WATER SHALL BE DIRECTED TO THESE PONDS AS SHOWN. SEE THE SUPPLEMENTAL CALCULATIONS FOR ADDITIONAL INFORMATION.

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 www.isaacson.com

2206 CG-101.dwg Oct 09, 2018

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NEW HEART PARKING EXPANSION NEW HEART CENTER FOR WELLNESS			
GRADING & DRAINAGE PLAN			
Date: 10/09/18	No. Revision:	Date:	Job No. 2206
Drawn By: BJB			CG-101
Ckd By: FCA			SH. OF