

# CITY OF ALBUQUERQUE



July 29, 2009

Thomas D. Johnston, P.E.  
**TGC Engineering, Inc.**  
330 Louisiana Blvd. NE  
Albuquerque, NM 87108

**Re: Scott & Kienzle Law Office, 1101 Las Lomas Dr. NE**  
**Request for Permanent Certificate of Occupancy (C.O.)**  
**Approved Engineer's Stamp dated 04/29/2008 (J-15/D092)**  
**Certification dated 075/06/2009**

Dear Mr. Johnston,

PO Box 1293

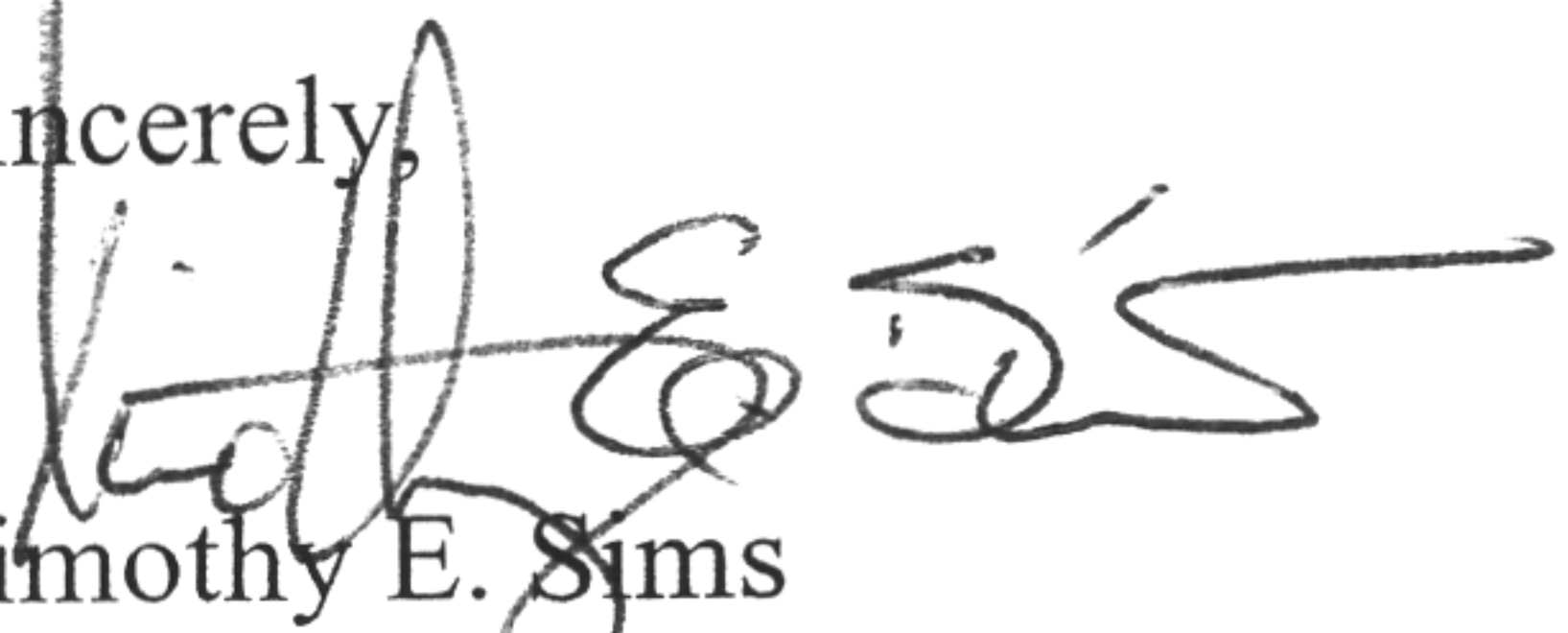
Based upon the information provided on 7/06/2009, the above referenced certification is approved for Permanent Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3982.

Sincerely,

NM 87103

  
Timothy E. Sims  
Plan Checker, Hydrology  
Development and Building Services

[www.cabq.gov](http://www.cabq.gov)

C: File  
CO Clerk—Katrina Sigala



# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 01/06)

PROJECT TITLE: Scott & Kienzle Law Office

ZONE MAP/DRG. FILE # J15-D092

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_

WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: Tract A-2-A, Med-Arts Square

CITY ADDRESS: 1101 Las Lomas NE, Albuquerque, NM 87102

ENGINEERING FIRM: TGC Engineering Inc.

ADDRESS: 330 Louisiana Boulevard, NE

CITY, STATE: Albuquerque, NM

CONTACT: Thomas D. Johnston, PE, PS

PHONE: 266-7256

ZIP CODE: 87108

OWNER: Temple Hill, LLC

ADDRESS: PO Box 587

CITY, STATE: Albuquerque, NM

CONTACT: Paul Kienzle

PHONE: 246-8600

ZIP CODE: 87103

ARCHITECT: Jon Anderson Architect

ADDRESS: 912 Roma Avenue, NW

CITY, STATE: Albuquerque, NM

CONTACT: Mark Harvold

PHONE: 764-8306

ZIP CODE: 87102

SURVEYOR: Wayjohn Surveying Inc.

ADDRESS: 330 Louisiana Boulevard, NE

CITY, STATE: Albuquerque, NM

CONTACT: Thomas D. Johnston, PE, PS

PHONE: 255-2052

ZIP CODE: 87108

  
PROFESSIONAL LICENSED SURVEYOR SIGNATURE

NMPS 14269  
LICENSE NO.

7.28.09  
DATE

CONTRACTOR: Paul Kenderdine

ADDRESS: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_

PHONE: 249-2495

ZIP CODE: \_\_\_\_\_

## TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER/ARCHITECT CERT (TCL)
- ☐ ENGINEER/ARCHITECT (DRB SITE PLAN)
- ☐ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☒ OTHER (SPECIFY) \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED:

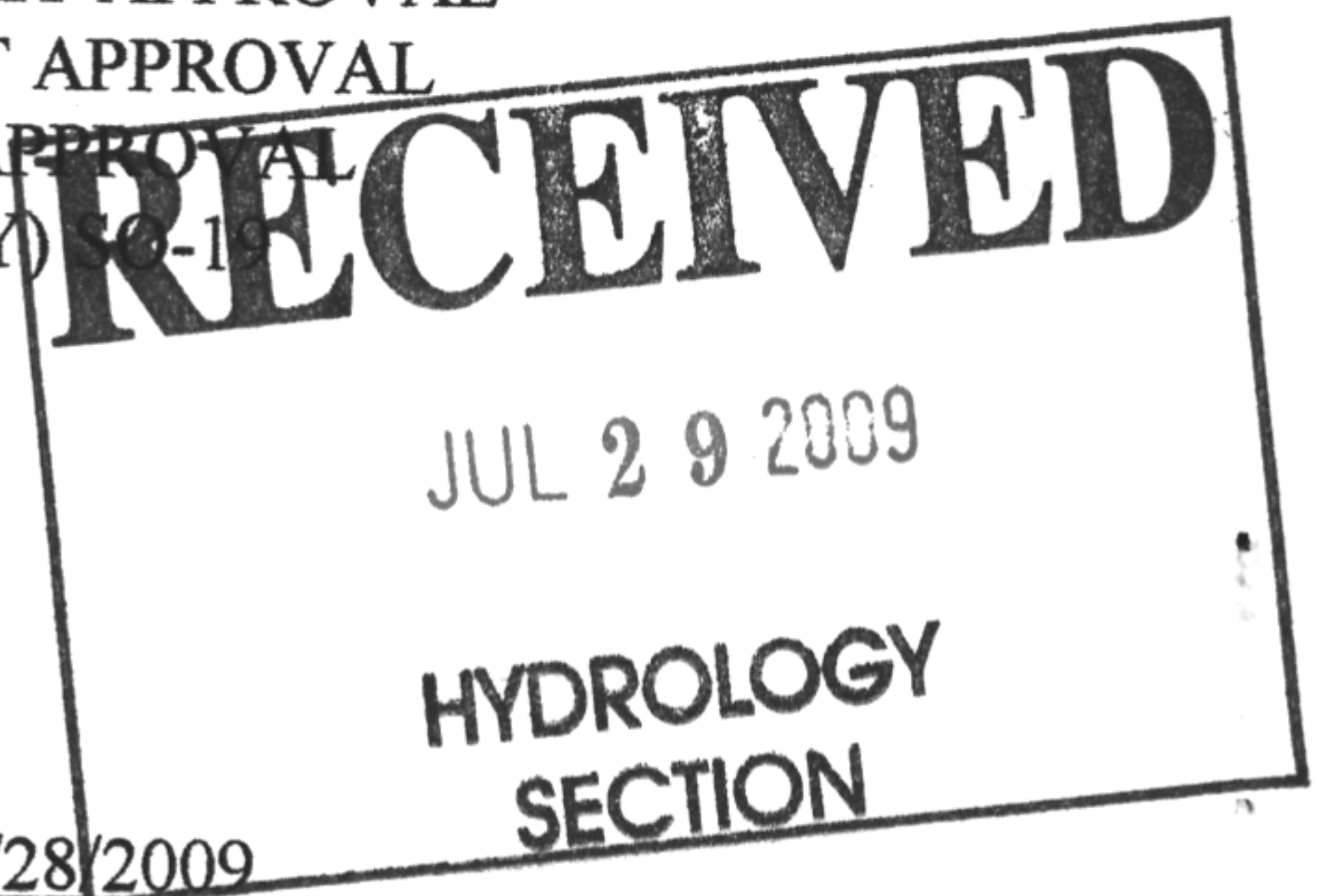
☐ YES

☐ NO

☐ COPY PROVIDED

SUBMITTED BY: 

DATE: 7/28/2009



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



# CITY OF ALBUQUERQUE



March 5, 2008

Jon Anderson, RA  
**Jon Anderson Architect, A.I.A.**  
912 Roma Avenue NW  
Albuquerque, NM 87102

**Re: Scott & Kienzle P.A. Law Office, Tract A-1,  
Traffic Circulation Layout  
Architect's Stamp dated 02-28-08 (J-15-D092)**

Mr. Anderson,

Based upon the information provided in your submittal received 2-28-08, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

P.O. Box 1293

Albuquerque

1. A 6-foot wide pedestrian path must be maintained. Does the proposed gate interfere with this path?
2. Is there currently a ramp west of the 20' private road at Los Lomas Road?
3. A portion of the proposed work appears to be located on the adjacent lot. The cross lot access easement has been vacated; therefore, this cannot be built as shown.

If you have any questions, you can contact me at 924-3991.

New Mexico 87103

Sincerely,

[www.cabq.gov](http://www.cabq.gov)

Kristal D. Metro, P.E.  
Traffic Engineer, Planning Dept.  
Development and Building Services

C: File

DRB 1001 026



# CITY OF ALBUQUERQUE



January 18, 2008

Jon Anderson, RA  
**Jon Anderson Architect, A.I.A.**  
912 Roma Avenue NW  
Albuquerque, NM 87102

**Re: Scott & Kienzle P.A. Law Office, Tract A-1,  
Traffic Circulation Layout  
Architect's Stamp dated 10-17-07 (J-15-D092)**

Mr. Anderson,

Based upon the information provided in your submittal received 1-08-08, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- ✓ 1. Remove all non-traffic related items from the Traffic Circulation Layout (TCL) submittal.
- ✓ 2. List radii for all curves shown.
- ✓ 3. Please show a vicinity map.
- ✓ 4. ~~A cross lot access easement is shown on the plat. Is this easement solely for pedestrian use?~~  
~~A gate cannot be added here, as this restricts access. Why doesn't the pedestrian path connect to Tract A-1?~~ *Vacated 3/5/08*
- ✓ 5. Please refer to all applicable City Standards by City Standard number.
- ✓ 6. Include the address of the site with the next submittal.
- ✓ 7. All details pertaining to traffic will need to be provided with the TCL submittal. Also, provide two copies of the TCL.
- ✓ 8. A 6 foot wide pedestrian path must be maintained. Does the proposed gate interfere with this path?
- ✓ 9. The handicapped spaces must include an 8-foot wide van access aisle; all other aisles should be 5 feet in width. This access aisle will need to be to the right of the parking stall.
- ✓ 10. Please place the proposed sidewalk at the property line, not the back of curb. The pedestrian path and sidewalk along Las Lomas Road will need to be six feet (6') in width.
- ✓ 11. Please ensure all ramps are ADA compliant. All proposed ramps within the City Right-of-Way are required to have truncated domes.
- ✓ 12. Is there currently a ramp west of the 20' private road at Los Lomas Road?
- ✓ 13. Provide a detail of the wheelchair ramps located at the driveway, or refer to the appropriate city standard.
- ✓ 14. In addition, a passenger vehicle must be able to turn around within the drive before a gate can be placed. Please provide a detail demonstrating how this will occur.
- ✓ 15. Are the existing clean outs flush with pavement? How will they remain in place and not impact the traffic circulation?

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.  
Traffic Engineer, Planning Dept.  
Development and Building Services

C: File

→ A Portion of the proposed work appears to be located on the adjacent lot. The cross lot access easement has been vacated, therefore, this cannot take place as shown.

*Albuquerque - Making History 1706-2006*



# CITY OF ALBUQUERQUE



November 20, 2007

Thomas D. Johnston, P.E.  
TGC Engineering, Inc  
330 Louisiana Blvd. NE  
Albuquerque, NM 87108

**Re: Scott & Kienzle Law Office, Tract A-2 Med-Arts Square, Grading and  
Drainage Plan for Building Permit  
Engineer's Stamp dated 10-18-07 (J-15/D092)**

Dear Mr. Johnston,

Based upon the information provided in your submittal received 11-09-07, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

P.O. Box 1293

Albuquerque

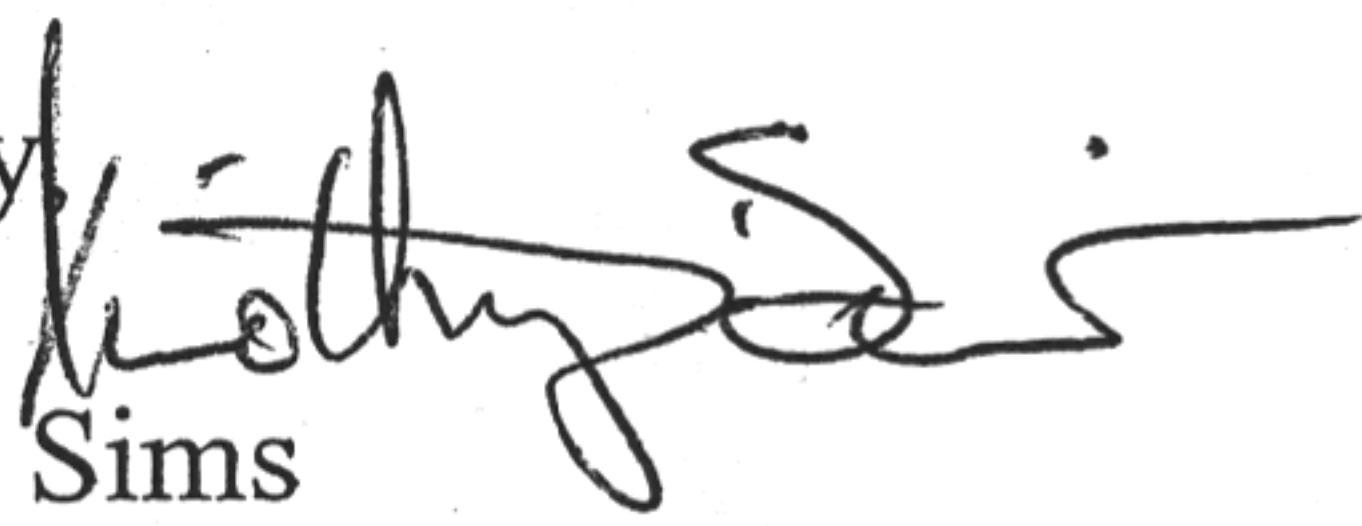
New Mexico 87103

www.cabq.gov

1. Where does the roof drain?
2. A work order will be required to construct the flat work on Las Lomas Road.
3. What are the slope values?
4. How does the runoff turn 90 degrees around the building?
5. The plan reflects water being diverted around the building via a swale; a more reasonable design is to have the water discharge through the drive-way and the easternmost sidewalk culvert.
6. Provide a cut detail on where the section lined rundown is located.
7. Where is the source of the existing drain, and why is it being sealed?
8. West of the entrance, off of Las Lomas Road, there appears to be some type of structure. Is this of any significance to this plan? Will this be removed?
9. There appears to be a huge cross-slope, (10%), in the entrance area. This seems excessive.
10. The ADA ramp does not conform to current standards. A swale, for drainage, will need to be placed at the end of the parking stalls and a redesign will be needed for the wheelchair ramp.

If you have any questions, you can contact me at 924-3982.

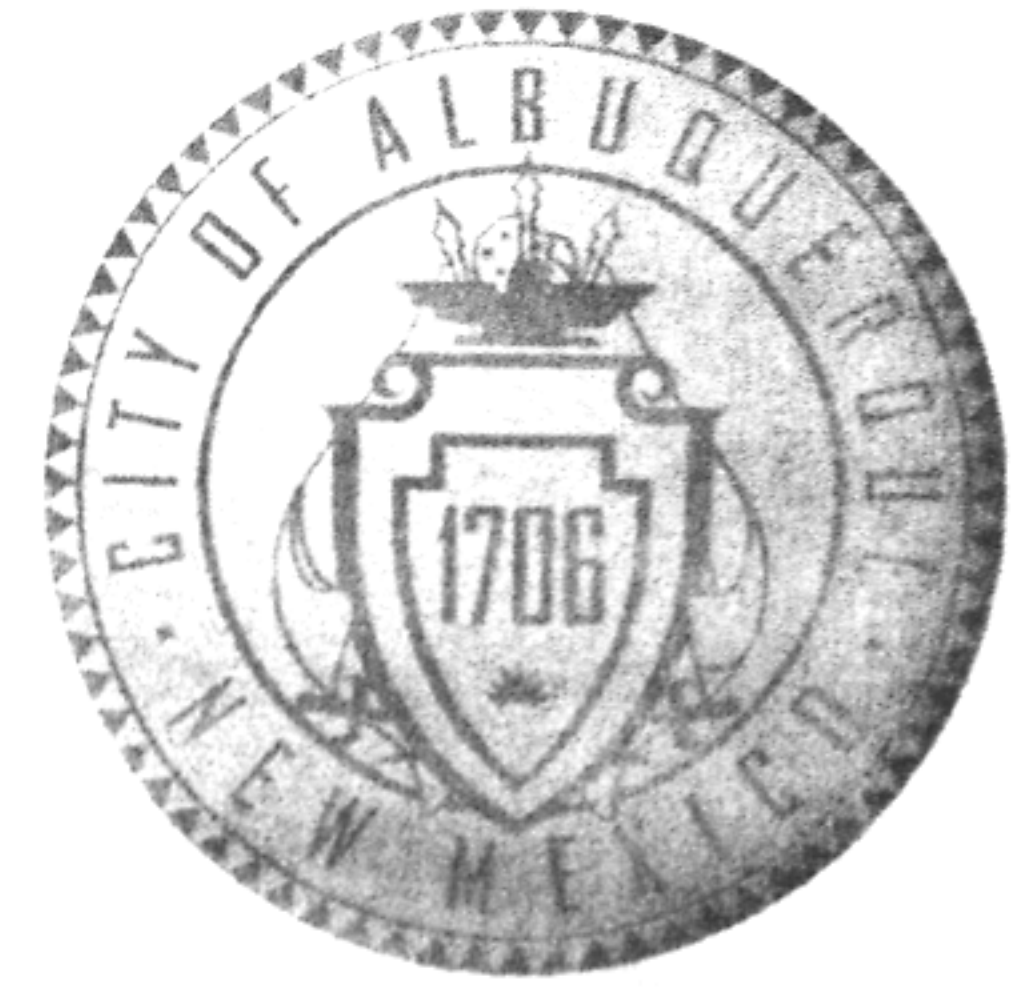
Sincerely,

  
Timothy Sims  
Plan Checker, Planning Dept.  
Development and Building Services

C:  Bradley L. Bingham  
File



# CITY OF ALBUQUERQUE



April 25, 2008

Jon Anderson, RA  
Jon Anderson Architect, A.I.A.  
912 Roma Avenue NW  
Albuquerque, NM 87102

**Re: Scott & Kienzle P.A. Law Office, Tract A-1,  
Traffic Circulation Layout  
Architect's Stamp dated 4-17-08 (J-15-D092)**

Dear Mr. Anderson,

Based upon the information provided in your submittal received 4-17-08, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

PO Box 1293

Albuquerque

1. A proposed gate is shown at the northeast corner of the site. Your detail sheet defines this as a "traffic gate." You no longer have cross lot access, and therefore cannot have a connection here.
2. Provide written permission from the adjacent property owner to perform the proposed work on their property. An exhibit, detailing the area impacted, must be included.

If you have any questions, you can contact me at 924-3991.

NM 87103

Sincerely,

www.cabq.gov

Kristal D. Metro, P.E.  
Traffic Engineer, Planning Dept.  
Development and Building Services

C: File



# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

1-15/20092

PROJECT TITLE: SCOTT & KIENZLE P.A. LAW OFFICE ZONE MAP: J-15-2  
 DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: TRACT LETTERED A-2 OF THE PLAT A-1 AND A-2  
MED-ART SQUARE, VALMONTE ADDITION  
 CITY ADDRESS: 1011 LAS LOMAS ROAD NE ABQ. NM 87102

ENGINEERING FIRM: TGC ENGINEERING INC CONTACT: THOMAS JOHNSON  
 ADDRESS: 3301 LOUISIANA BLVD NE PHONE: 255 2052  
 CITY, STATE: ABQ. NM ZIP CODE: 87108

OWNER: PAUL KIENZLE CONTACT: PAUL KIENZLE  
 ADDRESS: 201 THIRD ST NW PHONE: 246-8600  
 CITY, STATE: ABQ. NM ZIP CODE: 87103

ARCHITECT: JON ANDERSON ARCHITECT CONTACT: MARK HARVOLD  
 ADDRESS: 912 ROMA AVE NW PHONE: 764 8306 EXT 206  
 CITY, STATE: ABQ. NM ZIP CODE: 87102

SURVEYOR: WAY JOHN SURVEYING INC. CONTACT: JIM JOHNSON  
 ADDRESS: 3301 LOUISIANA BLVD NE PHONE: 255 2887  
 CITY, STATE: ABQ NM ZIP CODE: 87108

CONTRACTOR: PAUL W. KINDERDINE INC CONTACT: PAUL KINDERDINE  
 ADDRESS: NO 7 BOSQUE ROAD PHONE: 249.2495  
 CITY, STATE: ALGADONES, NM ZIP CODE: 87001

## TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY) \_\_\_\_\_

## CHECK TYPE OF APPROVAL SOUGHT:

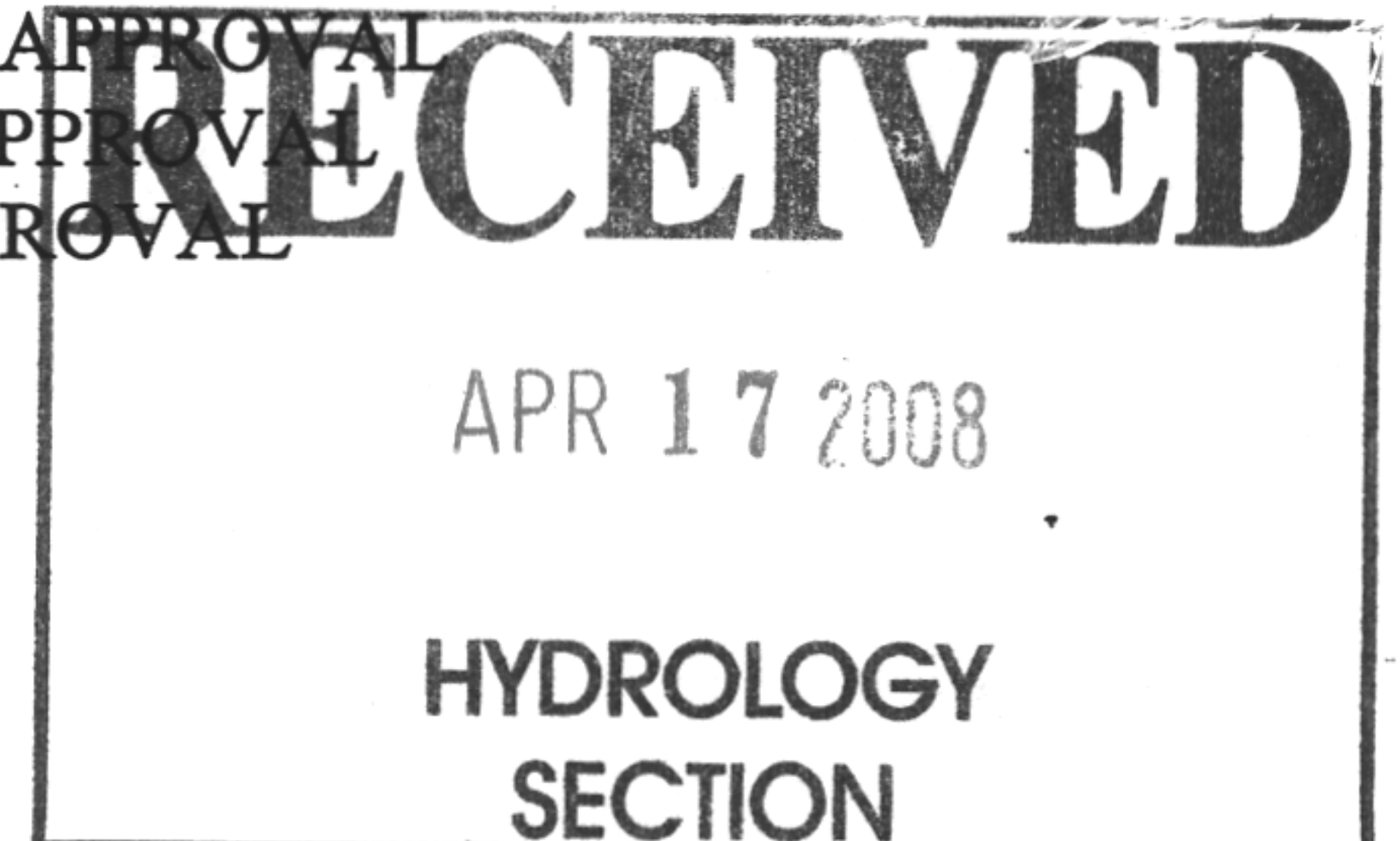
- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
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- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☒ CERTIFICATE OF OCCUPANCY (TEMP)
- ☒ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 04.17.08

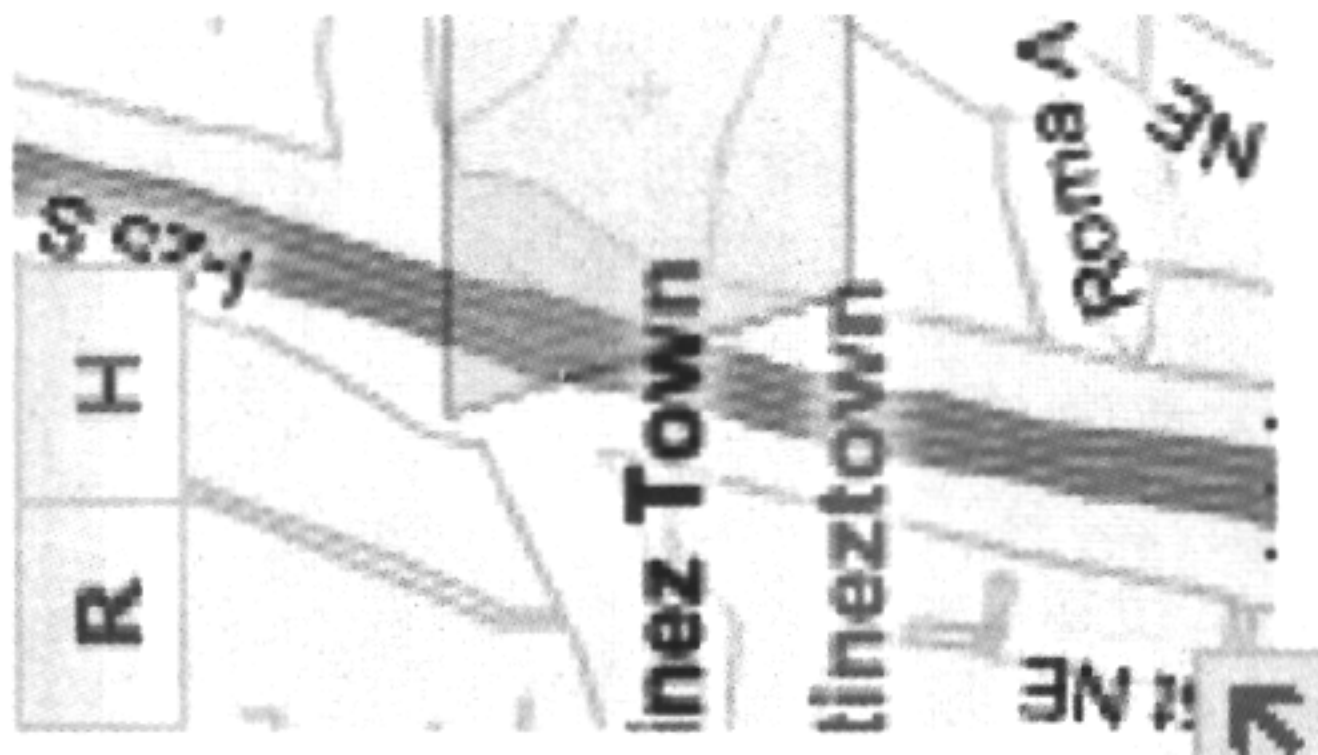
BY: \_\_\_\_\_



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.





2D 3D | Road Aerial Hybrid Bird's eye Traffic | <<

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JON ANDERSON  
ARCHITECT  
912 ROMA AVENUE NW  
ALBUQUERQUE  
NEW MEXICO  
8 7 1 0 2  
505 764 8306  
FAX 764 2879  
JONANDERSON  
ARCHITECT.COM

April 17, 2008

**EXECUTIVE SUMMARY**

**Subject Development:** Scott & Kienzle P.A. Law Office  
**Subject Location:** 1011 Las Lomas Road N.E.  
Albuquerque, NM 87102

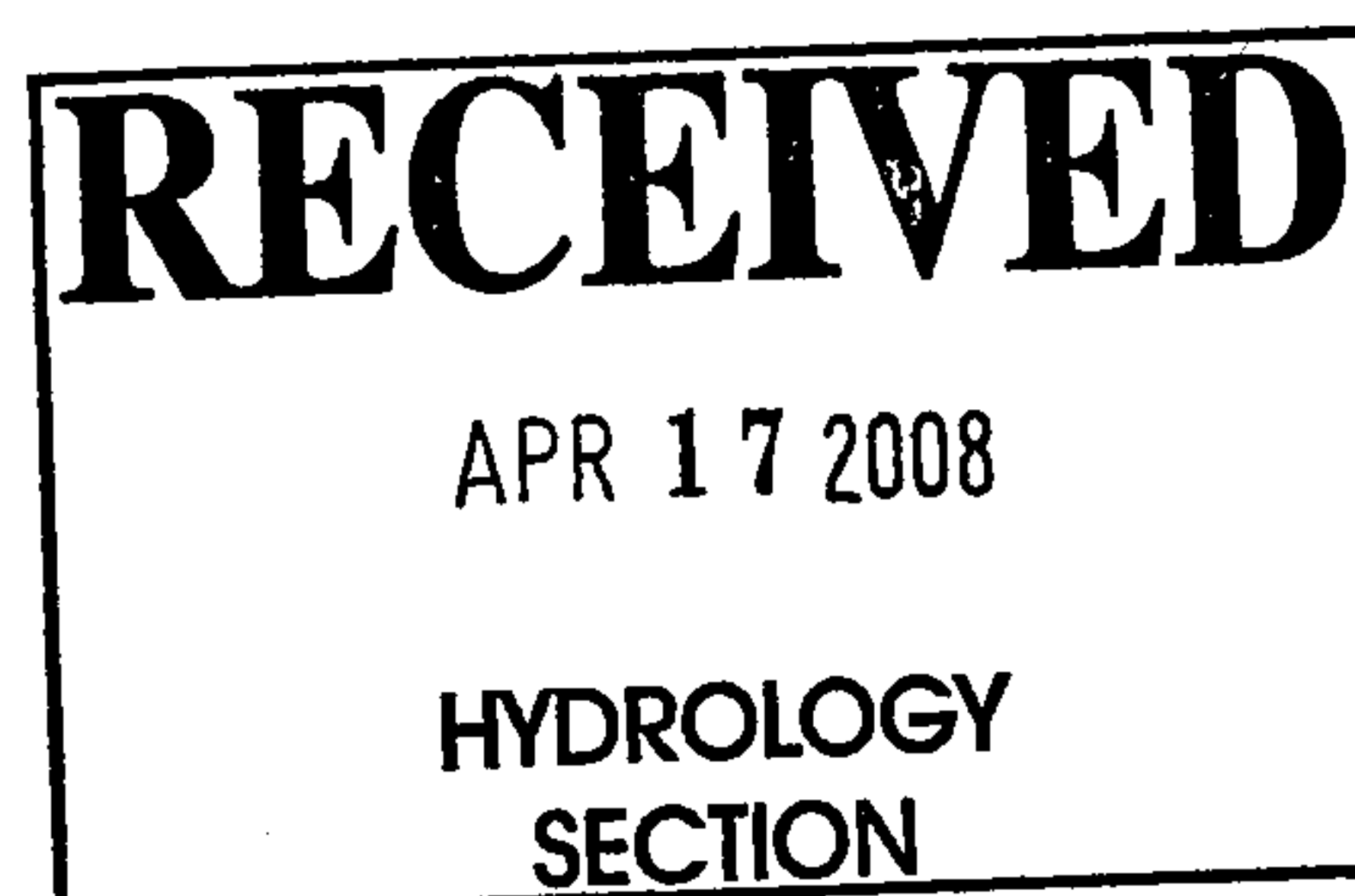
**Type of Development:** Professional Office (O-1)

**Traffic Circulation Concept:**

The intent of the traffic circulation layout proposed is to create a new access point for the subject development approximately 24' west of the south east corner of the property along Las Lomas Road N.E. leading to and making use an existing asphalt parking lot on the site. Currently, there is an existing mountable roll type curb along the south boundary of the property serving Las Lomas Road N.E. The roll type curb in the right-of-way of Las Lomas Road N.E. will be removed and replaced with new curb and gutter, and side walk with curb access ramps, all per City of Albuquerque Standards. The solid waste container enclosure is located adjacent to the alley on the South West corner of the property. The location proposed will avoid solid waste vehicular access in and out of the proposed parking lot. The subject development neighbors are the Plaza Inn and the Med-Arts Square. There is no adverse impact on the adjacent sites. No Traffic Impact Studies has been conducted and there has been no Variance requested to accommodate unusual site circumstances.

A twenty foot (20'-0") wide private access easement and cross access easement for pedestrian connections, that served between the subject development (Tract A-2) and Tracts A-1 in the past, has now been vacated. Attached is a copy of the Declaration of Termination of (20') Private Access Easement and Cross Access Easement. The proposed action to vacate these easements were heard by the Design Review Board (DRB) on Wednesday March 5, 2008. The following are the associated DRB Project and Application numbers:

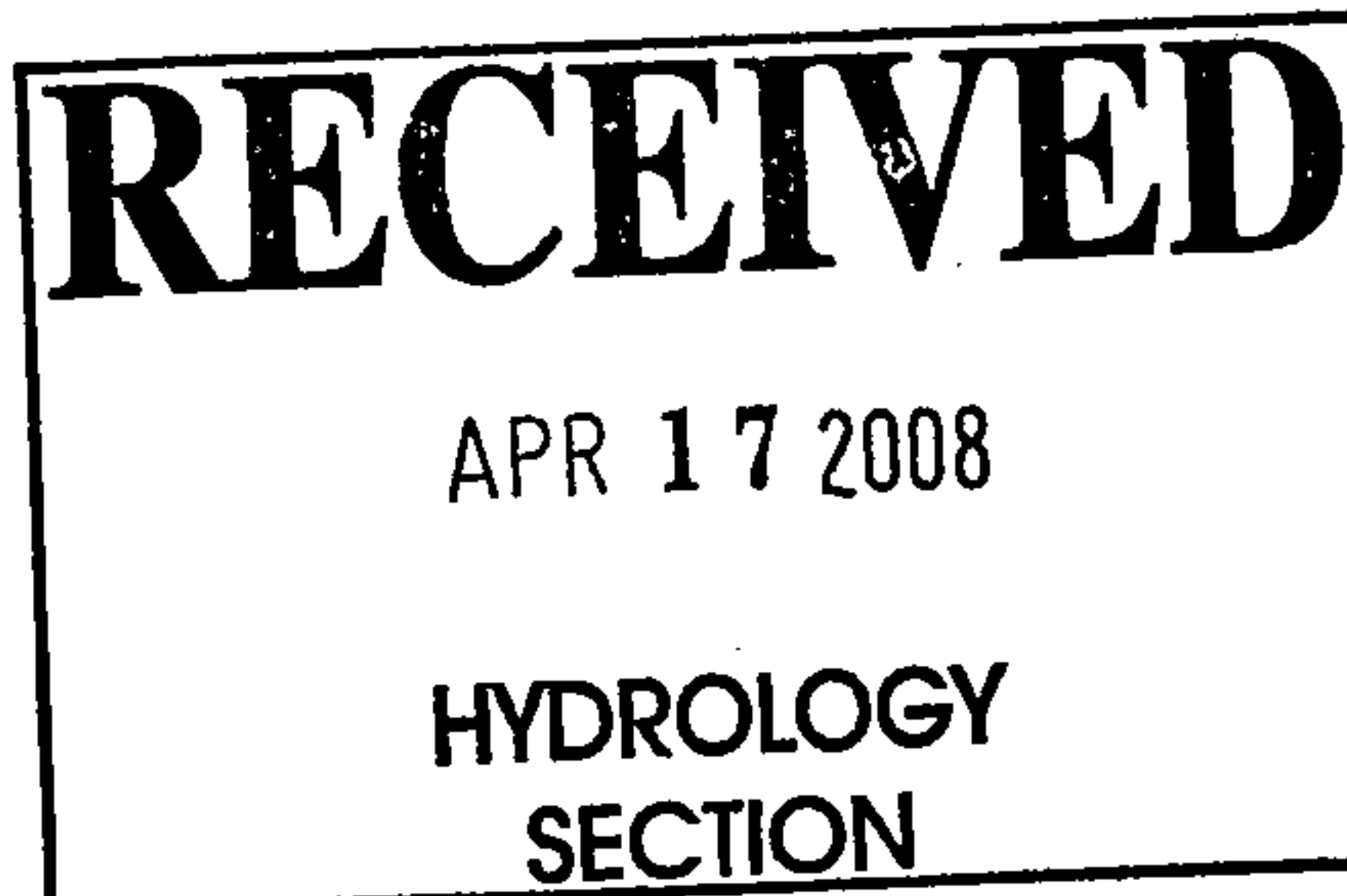
DRB Project No. 1001026  
08DRB70098  
08DRB70099





JON ANDERSON  
ARCHITECT  
912 ROMA AVE NW  
ALBUQUERQUE  
NEW MEXICO  
8 7 1 0 2  
505 764 8306  
FAX 764 2879  
JONANDERSON  
ARCHITECT.COM

Terminating the access easements created an abandoned driveway. In the past the recently abandoned driveway served both Tract A-1 and A-2. The abandoned driveway straddles the entire length of the eastern boundary between Tract A-1 and A-2. The portion of driveway on Tract A-1 is a linear strip approximately 4' wide that includes an existing concrete curb and gutter and asphalt. Over half of the length of existing curb and gutter and asphalt has been removed by the owners of Tract A-1 prior to Traffic Circulation Layout Submittal. The property owner's of Tract A-1 and A-2 are working together to remove the remaining portion of existing curb and gutter. The new Traffic Circulation Layout submittal illustrates how the abandoned driveway will be replaced with sidewalk and curb and gutter.





**DECLARATION OF TERMINATION OF  
(20') PRIVATE ACCESS EASEMENT and CROSS ACCESS EASEMENT**

This Declaration, effective the 28<sup>th</sup> day of June, 2005, is made by MedArtsSq. Ltd.  
Co., a New Mexico limited liability company (hereinafter, "MedArtsSq.").

WHEREAS, MedArtsSq. is the owner of the following described real property located in  
the County of Bernalillo, State of New Mexico, to wit:

Tract lettered "A-1", of the plat of Tracts A-1 and A-2, Med-Art Square,  
Valmonte Addition, in the City of Albuquerque, New Mexico, as the same is  
shown and designated on the Plat thereof, filed in the office of the County Clerk  
of Bernalillo County, New Mexico, on July 27, 2001, in Volume 2001C, Folio  
217.

("Tract A-1"); and

Tract lettered "A-2", of the plat of Tracts A-1 and A-2, Med-Art Square,  
Valmonte Addition, in the City of Albuquerque, New Mexico, as the same is  
shown and designated on the Plat thereof, filed in the office of the County Clerk  
of Bernalillo County, New Mexico, on July 27, 2001, in Volume 2001C, Folio  
217.

("Tract A-2")

WHEREAS, a Twenty Foot (20') Private Access Easement (hereinafter, "Private Access  
Easement"), located along the easterly portion of Tract A-2, was granted by the Plat of Tracts A-  
1 and A-2 MED-ART SQUARE VALMONTE ADDITION, City of Albuquerque Bernalillo  
County, New Mexico January, 2001 (hereinafter, "The Plat"), which Plat was recorded in Plat  
Book 2001 C, Page 217, records of Bernalillo County, New Mexico; and

WHEREAS, The Plat also created a Cross Access Easement (hereinafter, "Cross Access  
Easement"), between Tract A-1 and Tract A-2.

WHEREAS, MedArtsSq. desires to terminate the Private Access Easement and Cross  
Access Easement.



Mary Herrera

Bern. Co. TERM

R 11.00

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6288116

Page: 1 of 2

06/30/2005 02:39P

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NOW, THEREFORE in consideration of the above, MedArtsSq. declares:

1. The Private Access Easement is hereby declared null and void and of no further force and effect.
2. The Cross Access Easement is hereby declared null and void and of no further force and effect.
3. This Termination shall be binding upon the undersigned, their heirs, personal representatives, successors and assigns in all respects.

IN WITNESS WHEREOF, the undersigned have hereunto set his hand and seal effective the date first hereinabove set forth.

MEDARTSSQ. A New Mexico limited liability company



By: John F. Howden  
Its: Managing Member

STATE OF NEW MEXICO )  
COUNTY OF BERNALILLO )



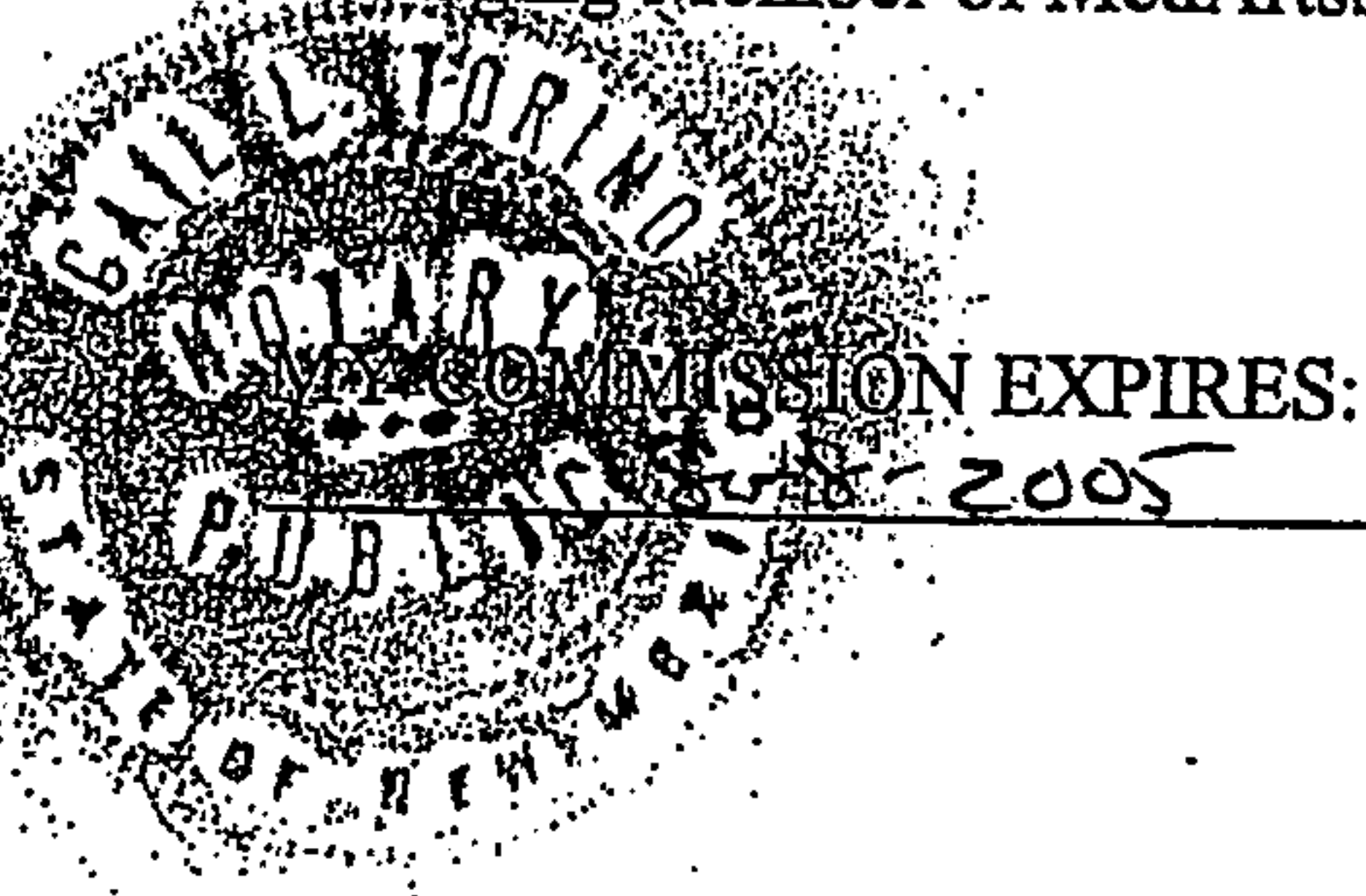
Mary Herrera

Bern. Co. TERM

R 11.00

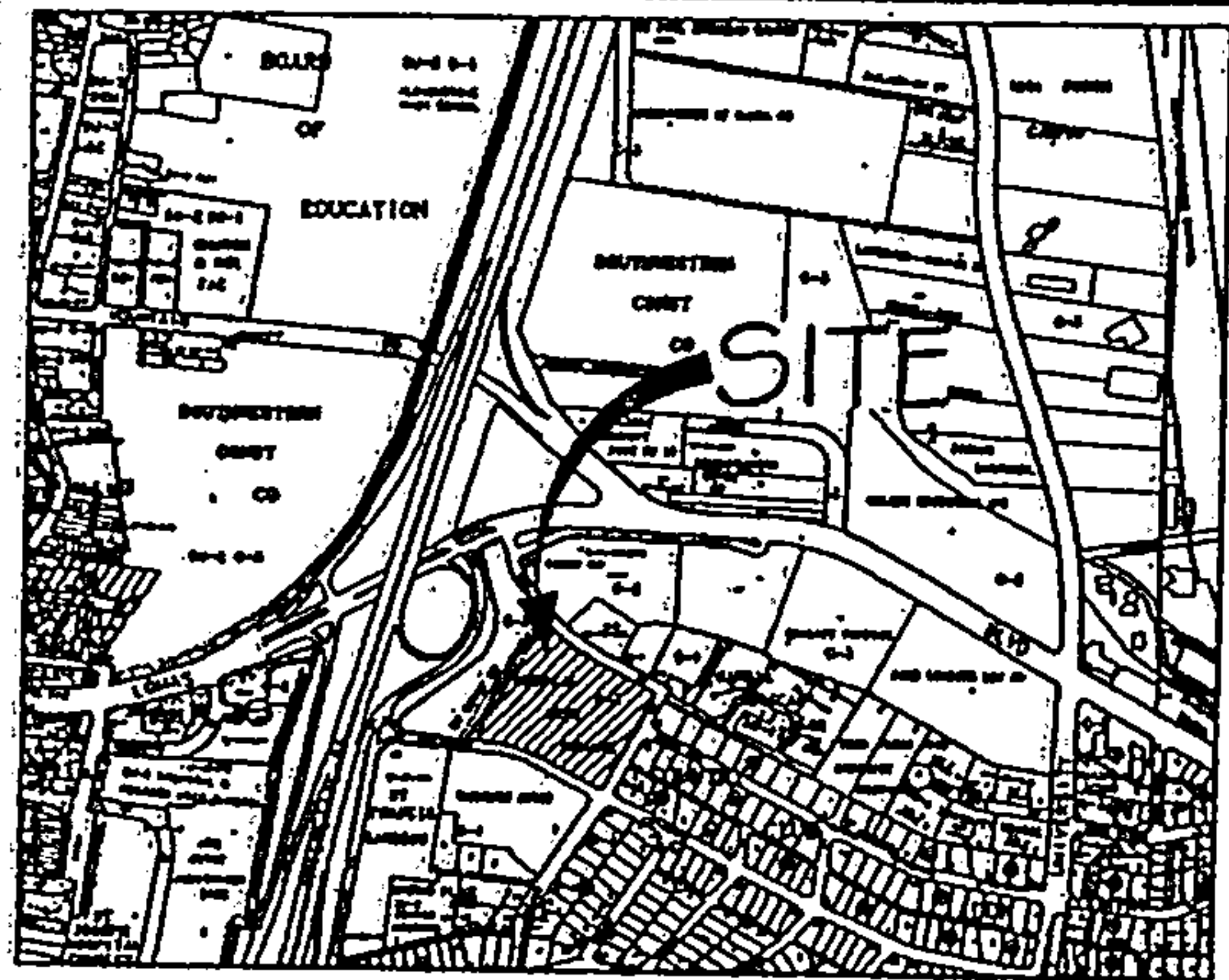
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Page: 2 of 2  
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This instrument was acknowledged before me on June 28, 2005, by John F. Howden, Managing Member of MedArtsSq., a New Mexico limited liability company.



  
NOTARY PUBLIC





K.T.S. VICINITY MAP ZONE ARAS J-16-2

#### LOT DATA:

CASE NO. \_\_\_\_\_  
GROSS SUBDIVISION ACRES 8.3613 AC  
NO. OF EXISTING TRACTS 1  
NO. OF NEW TRACTS 2  
DATE OF SURVEY DECEMBER 19, 2000  
S.P. TALOS LOG 2001141010

#### TREASURER'S CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #  
1015-058221088 30906

PROPERTY OWNER OF RECORD: Medical Arts Building  
BERNALILLO COUNTY TREASURER'S OFFICE:  
By: Araceli Rodriguez DATE: 7/27/2001

#### FREE CONSENT AND DEDICATION

THE SUBDIVISION SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AND SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY DECLARE THAT NO STREETS OR PUBLIC RIGHTS-OF-WAY ARE CREATED HEREON NOR ARE ANY UTILITY OR OBSTRUCTION EASEMENTS CREATED HEREON, AND DO HEREBY GRANT A 20.00' PRIVATE ACCESS EASEMENT AS SHOWN HEREON, AND CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED.

MEDICAL ARTS SQUARE LLC

BY: John Howden DATE: 7/16/01  
(MR. JOHN HOWDEN)

STATE OF NEW MEXICO )

COUNTY OF BERNALILLO )

SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON 16 DAY OF January 2001

BY: \_\_\_\_\_

ATTEST: Mary Ann Donatello NOTARY PUBLIC

MY COMMISSION EXPIRES: August 27, 2002

#### LEGAL DESCRIPTION

A PARCEL OF LAND LOCATED IN THE CITY OF ALBUQUERQUE, NEW MEXICO BEING ALL OF TRACT LETTERED A OF THE VALMONTE ADDITION AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT TITLED "SECOND AMENDED PLAT OF MED-ART SQUARE, VALMONTE ADDITION" FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JULY 28, 1981, IN BOOK CS, FOLIO 78, AND BEING FURTHER DESCRIBED AS FOLLOWS:

COMMENCING AT THE CITY OF ALBUQUERQUE ACS MONUMENT 1-25-27 (HAVING NEW MEXICO STATE PLANE COORDINATES X = 384342.58 AND Y = 1484341.85) N18°05'07"E, 3818.08 FEET TO THE SOUTHWEST CORNER AND THE TRUE POINT OF BEGINNING OF THE PARCEL HEREIN DESCRIBED;

THENCE, N31°18'02"E, A DISTANCE OF 450.54 FEET TO A POINT OF CURVATURE; THENCE,

ALONG THE ARC OF A CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 304.83 FEET, ARC LENGTH OF 118.16 FEET, CENTRAL ANGLE OF 22°13'28", A CHORD BEARING OF N42°25'12"E, AND A CHORD LENGTH OF 117.42 FEET TO A POINT; THENCE,

N53°34'14"E, A DISTANCE OF 25.60 FEET TO A ON THE SOUTHERLY RIGHT OF WAY LINE OF MED-ART AVENUE, N.E.; THENCE,

ALONG THE SOUTHERLY RIGHT OF WAY FOR MED-ART AVENUE N.E. ALONG THE ARC OF A CURVE TO THE LEFT, SAID CURVE HAVING A RADIUS OF 553.00 FEET, ARC LENGTH OF 232.85 FEET, CENTRAL ANGLE OF 24°02'20", A CHORD BEARING OF S51°02'02"E, AND A CHORD LENGTH OF 231.15 FEET TO A POINT; THENCE,

S63°02'11"E, A DISTANCE OF 285.06 FEET TO A POINT OF CURVATURE; THENCE,

ALONG THE ARC OF A CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 20.00 FEET, ARC LENGTH OF 31.42 FEET, CENTRAL ANGLE OF 90°00'00", A CHORD BEARING OF S18°02'11"E, AND A CHORD LENGTH OF 28.28 FEET; TO A POINT; THENCE ALONG THE WESTERLY RIGHT OF WAY FOR ENCHO PLACE N.E.,

S28°57'58"W, A DISTANCE OF 410.00 FEET TO A POINT OF CURVATURE; THENCE,

ALONG THE ARC OF A CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 20.00 FEET, ARC LENGTH OF 31.42 FEET, CENTRAL ANGLE OF 90°00'00", A CHORD BEARING OF S71°54'37"W, AND A CHORD LENGTH OF 28.28 FEET TO A POINT; THENCE ALONG THE NORTHERLY RIGHT OF WAY FOR LAS LOMAS ROAD, N.E.,

H83°05'23"W, A DISTANCE OF 221.20 FEET TO A POINT OF CURVATURE; THENCE,

ALONG THE ARC OF A CURVE TO THE LEFT, SAID CURVE HAVING A RADIUS OF 791.32 FEET, ARC LENGTH OF 307. FEET, CENTRAL ANGLE OF 22°16'18", A CHORD BEARING OF N74°13'58"W, AND A CHORD LENGTH OF 305.84 FEET TO A POINT; THENCE,

N85°28'28"W, A DISTANCE OF 72.56 FEET TO THE TRUE POINT OF BEGINNING.

THE ABOVE DESCRIBED PARCEL CONTAINS 277,101 SQUARE FEET OR 6.3613 ACRES MORE OR LESS.

#### NOTES:

1. THE PURPOSE OF THIS PLAT IS TO CREATE TWO NEW TRACTS FROM ONE EXISTING TRACT AND TO GRANT A 20.00' PRIVATE ACCESS EASEMENT.
2. THE BEARING BASE FOR THIS SURVEY IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM REFERENCING ACS STATIONS 8-J15 & 1-25-27. (BEARINGS ARE GRID)
3. ALL ADJACENT STREET RIGHTS OF WAY ARE DEDICATED TO THE CITY OF ALBUQUERQUE, NEW MEXICO
4. BEARINGS AND DISTANCES IN PARENTHESES ARE PER THE PLAT FILED 7/28/61 IN BOOK CS, FOLIO 78. ALL DISTANCES PUBLISHED ARE GROUND DISTANCES UNLESS NOTED OTHERWISE.

## PLAT OF TRACTS A-1 AND A-2 MED-ART SQUARE VALMONTE ADDITION

CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
JANUARY, 2001

#### APPROVALS:

PROJECT - 1001026

SUBDIVISION CASE NUMBER: 01440-00000-00101

James E. Cordova 7/27/01  
CITY PLANNER/ALBUQUERQUE, BERNALILLO COUNTY PLANNING DIVISION DATE  
PARKS DESIGN AND DEVELOPMENT 7/2/01 DATE

David J. Smith 7-2-01  
TRAFFIC ENGINEER, TRANSPORTATION DEPARTMENT DATE

Robert D. Meier 7/18/01  
CITY ENGINEER, ENGINEERING DIVISION DATE

Robert D. Meier 7/18/01  
A.L.A.E.C. DATE

Roger J. Hagan 7-2-01  
UTILITY DEVELOPMENT DATE

Jan Trala 1-16-2001  
CITY SURVEYOR, ENGINEERING DIVISION DATE

HA  
PROPERTY MANAGEMENT DATE

David R. Muller 1-29-01  
QUEST COMMUNICATIONS, INC. DATE

W. R. Phil 2-18-01  
PHIL GAS & ELECTRIC SERVICES DATE

Violet Watson 1-29-01  
COMCAST CABLE DATE

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown herein. Consequently, PNM does not waive nor release any easement or easements, rights to which it may be entitled.

CITY OF ALBUQUERQUE PLAT CERTIFICATION

#### SURVEYOR'S CERTIFICATION

I, CLIFF A. SPIROCK, HEREBY AFFIRM THAT I AM A DULY QUALIFIED REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO AND DO CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION; SHOWS ACCURATE DIMENSIONS, AND LAND AREAS; SHOWS ALL EASEMENTS AND RESTRICTIONS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, TITLE COMPANES, UTILITY COMPANES OR OTHER PARTIES EXPRESSING AN INTEREST, I FURTHER CERTIFY THAT THIS PLAT MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, MEETS THE "MINIMUM STANDARDS FOR LAND SURVEYS" SET FORTH BY THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

CLIFF A. SPIROCK, N.M.P.S. #4972

DATE



SHEET 1 OF 2

community  
sciences  
corporation

DATE: JANUARY, 2001  
SCALE: 1" = 60'  
OWNER: CSC  
DRAWN: JCU  
CHECKED: JCU  
JOB NO.: H637-02-800  
JOB PLANS: P.A. Box 1328  
DESIGNED: [Signature]  
SURVEYED: [Signature]



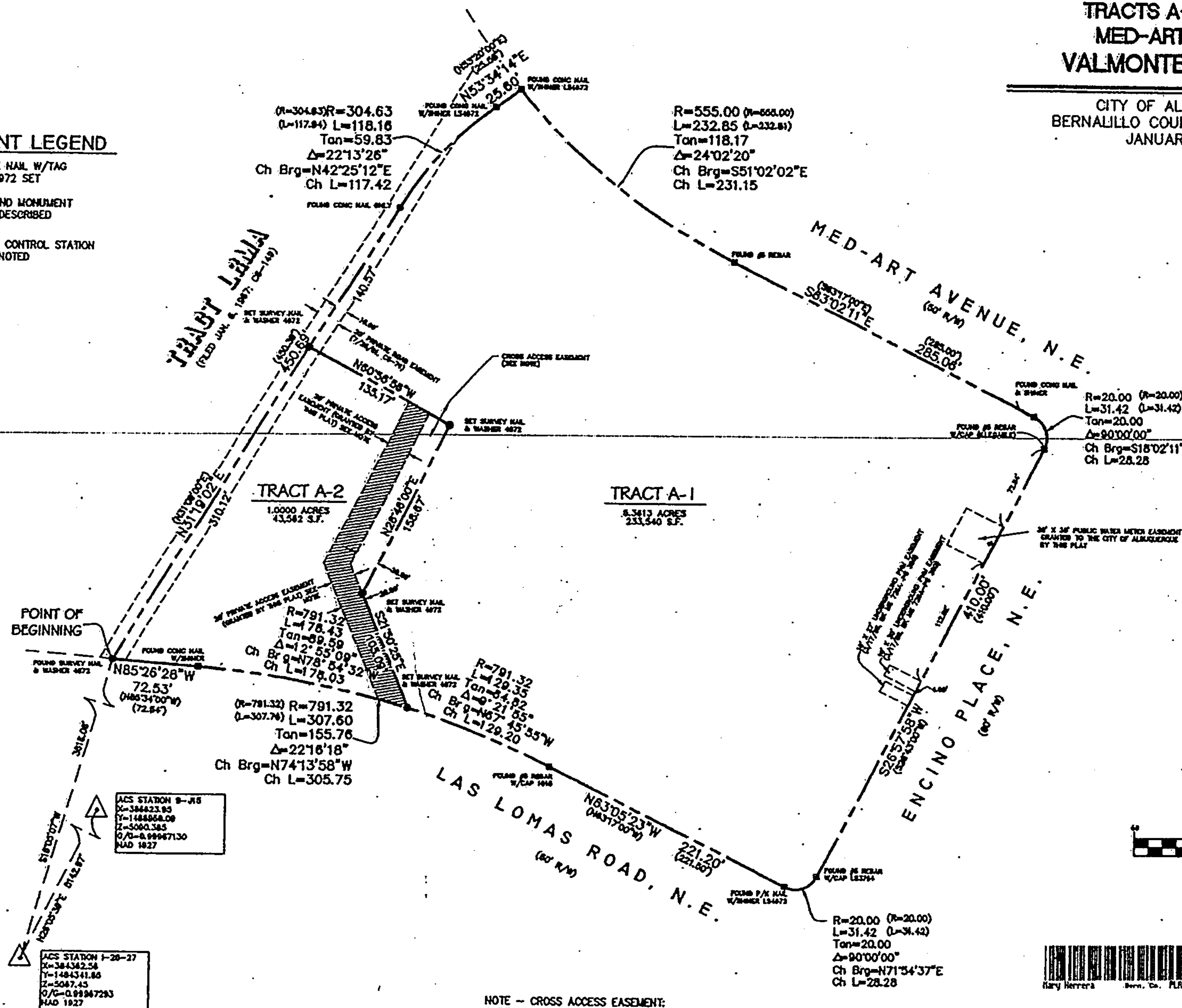


# PLAT OF TRACTS A-1 AND A-2 MED-ART SQUARE VALMONTE ADDITION

CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
JANUARY, 2001

## MONUMENT LEGEND

- P/K NAIL W/TAG  
LS4972 SET
- FOUND MONUMENT  
AS DESCRIBED
- △ ACS CONTROL STATION  
AS NOTED



SHEET 2 OF 2

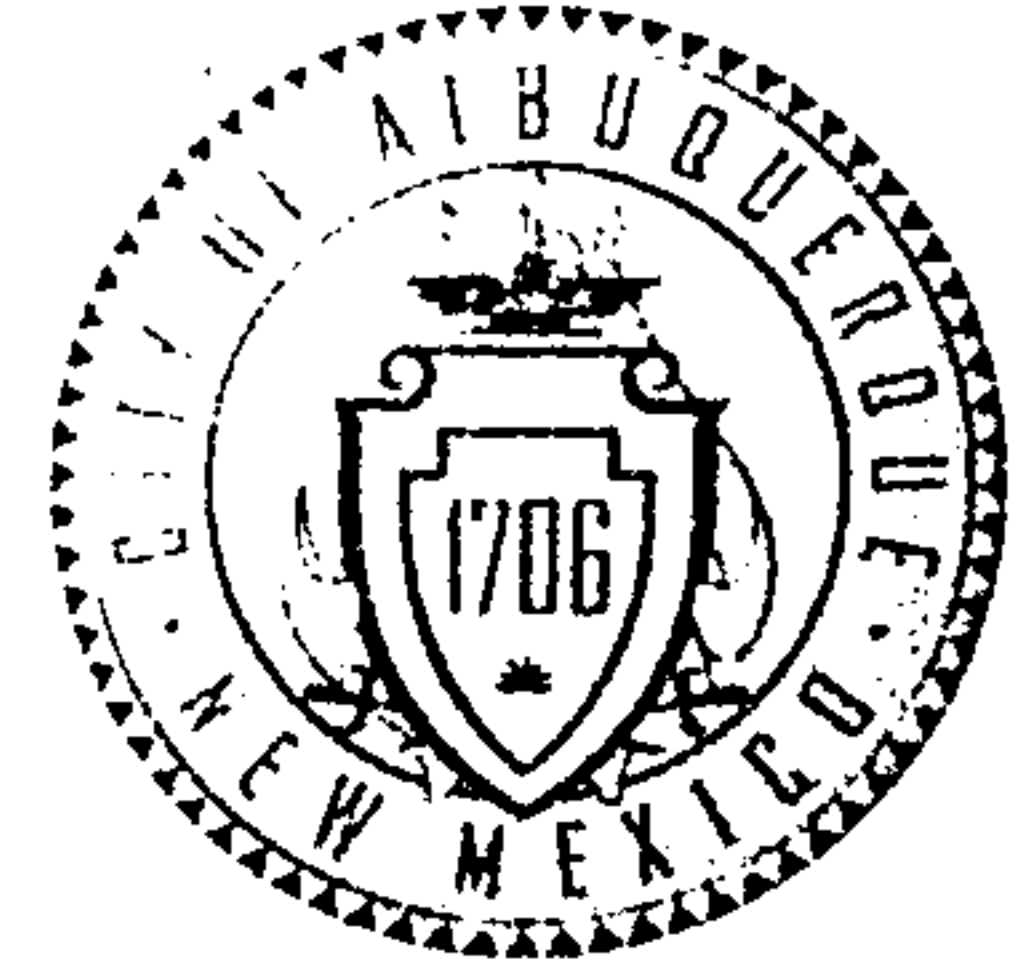
DATE	JANUARY, 2001
SCALE	1" = 80'
DESIGNED	CSO
DRAWN	JCM
CHECKED	
DATE	10-31-00

**community sciences corporation**

LAND PLANNING & SURVEYING  
CORRALES, N.M. 87009



# CITY OF ALBUQUERQUE



*Planning Department  
Transportation Development Services Section*

July 29, 2009

Jon Anderson, Registered Architect,  
Jon Anderson Architecture  
912 Roma Ave. NW  
Albuquerque, NM 87102

Re: Approval of Permanent (Final) Certificate of Occupancy (C.O.) for  
Scott & Kienzle Law Office, [J15 / D092]  
1101 Las Lomas Drive NE  
Architect's Stamp Dated 07/28/09

Dear Mr. Anderson:

The TCL / Letter of Certification submitted on July 29, 2009 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
CO Clerk

PO Box 1293

Albuquerque

NM 87103

[www.abq.gov](http://www.abq.gov)



**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(REV 12/2005)

J-15/10092

PROJECT TITLE: Scott & Kienzle P.A. Law Office ZONE MAP: ~~J-15-4~~  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: Tract Lettered A-2 of the Plat A-1 and A-2 Med-Art Square Valmonte Addition  
CITY ADDRESS: 1011 Las Lomas Road NE Albuquerque, NM 87102

ENGINEERING FIRM: TGC Engineering Inc CONTACT: Thomas Johnston  
ADDRESS: 3301 Louisiana Blvd NE PHONE: 255.2052  
CITY, STATE: Albuquerque, NM ZIP CODE: 87108

OWNER: Paul Kienzle CONTACT: Paul Kienzle  
ADDRESS: 201 Third St NW PHONE: 246.8600  
CITY, STATE: Albuquerque, NM ZIP CODE: 87103

ARCHITECT: Jon Anderson Architect CONTACT: Mark Harvold  
ADDRESS: 912 Roma Avenue NW PHONE: 764.8306x206  
CITY, STATE: Albuquerque, NM ZIP CODE: 87102

SURVEYOR: Way John Surveying Inc. CONTACT: Tim Johnston  
ADDRESS: 330 Louisiana Blvd NE PHONE: 255.2887  
CITY, STATE: Albuquerque, NM ZIP CODE: 87108

CONTRACTOR: Paul W. Kenderdine Inc. CONTACT: Paul Kenderdine  
ADDRESS: No. 7 Bosque Road PHONE: 249.2495  
CITY, STATE: Algodones, NM ZIP CODE: 87001

**TYPE OF SUBMITTAL:**

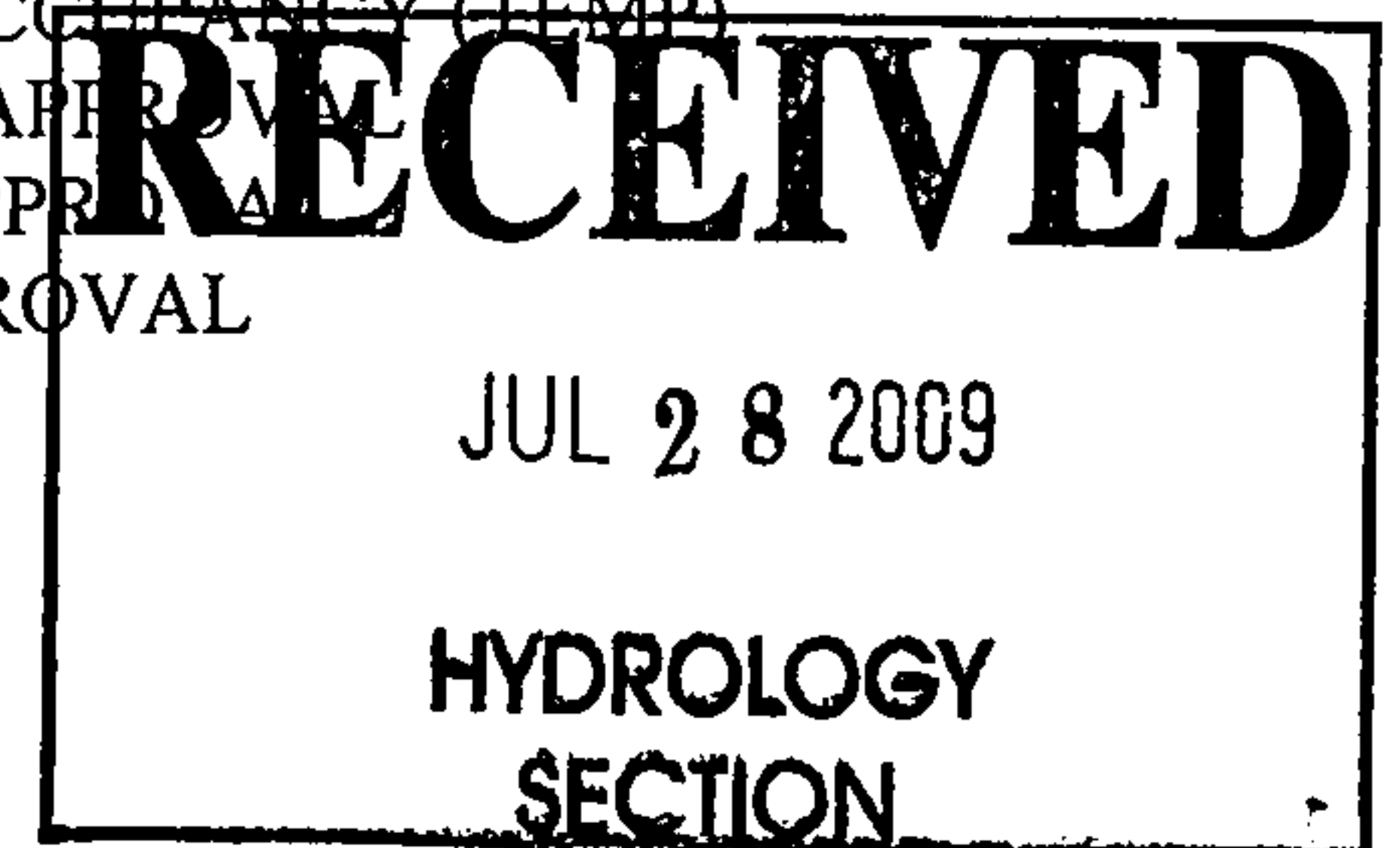
☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT  
☒ ENGINEER'S CERT (TCL)  
☐ ENGINEER'S CERT (DRB SITE PLAN)  
☐ OTHER (SPECIFY) \_\_\_\_\_

**CHECK TYPE OF APPROVAL SOUGHT:**

☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TEMP)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY) \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES  
☒ NO  
☐ COPY PROVIDED



DATE SUBMITTED: 07.28.09 BY: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



J O N A N D E R S O N A R C H I T E C T U R E  
9 1 2 R O M A A V E N U E N O R T H W E S T  
A L B U Q U E R Q U E N E W M E X I C O 8 7 1 0 2  
5 0 5 7 6 4 8 3 0 6 F A X 5 0 5 7 6 4 2 8 7 9  
W W W . J O N A N D E R S O N A R C H I T E C T . C O M

July 28, 2009

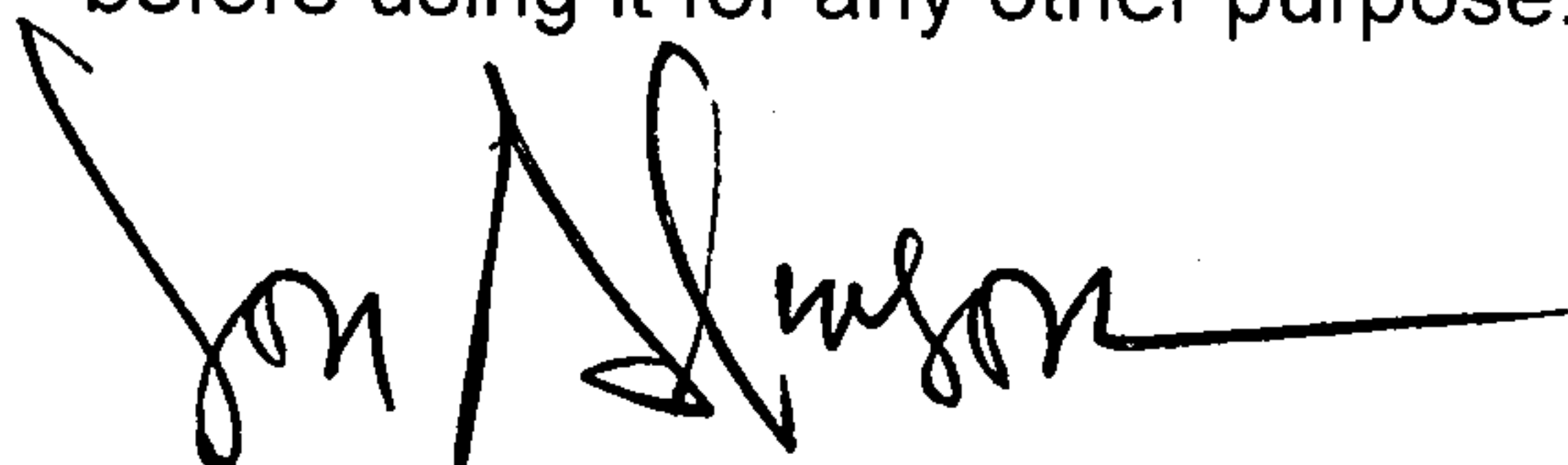
Traffic Certification

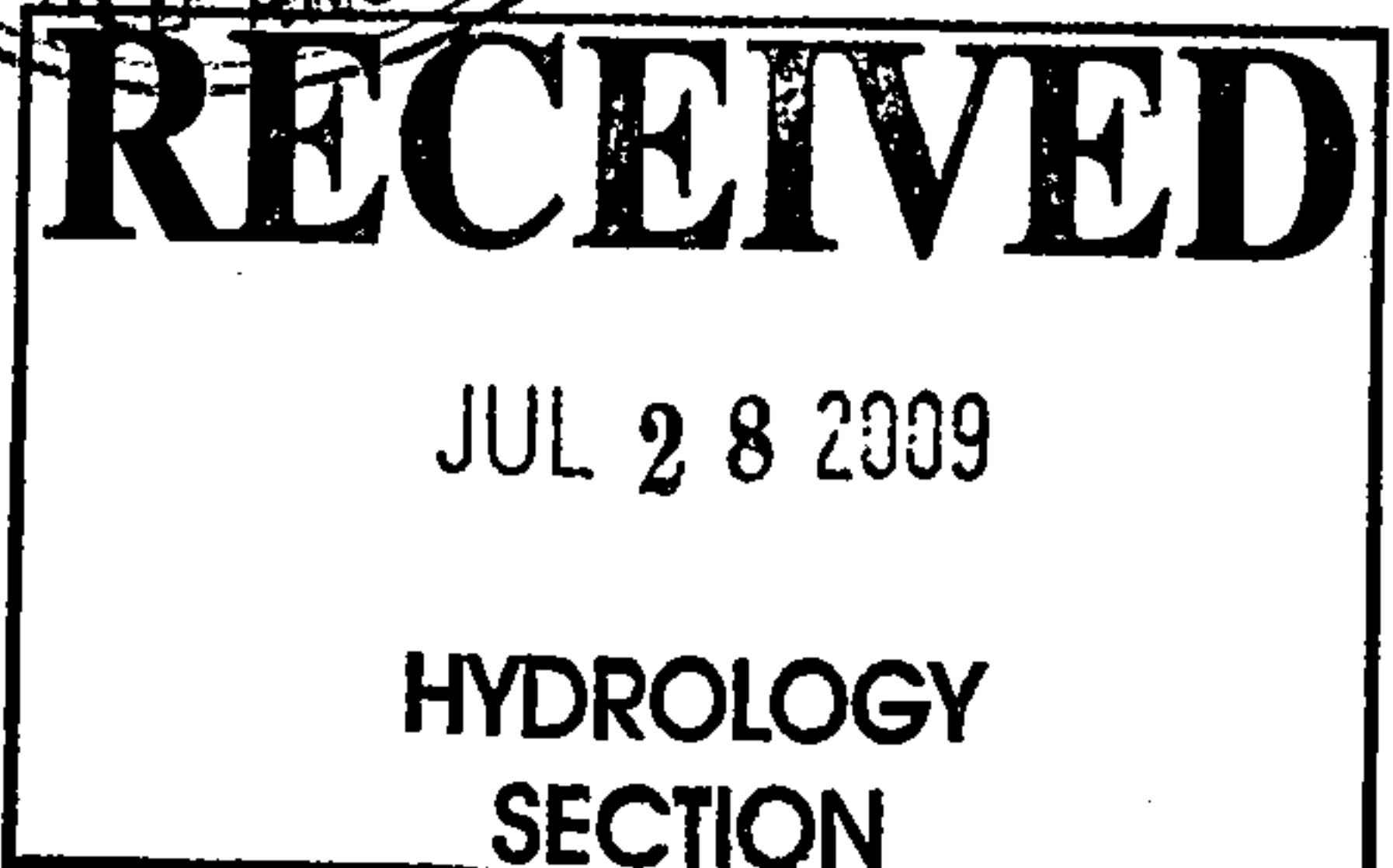
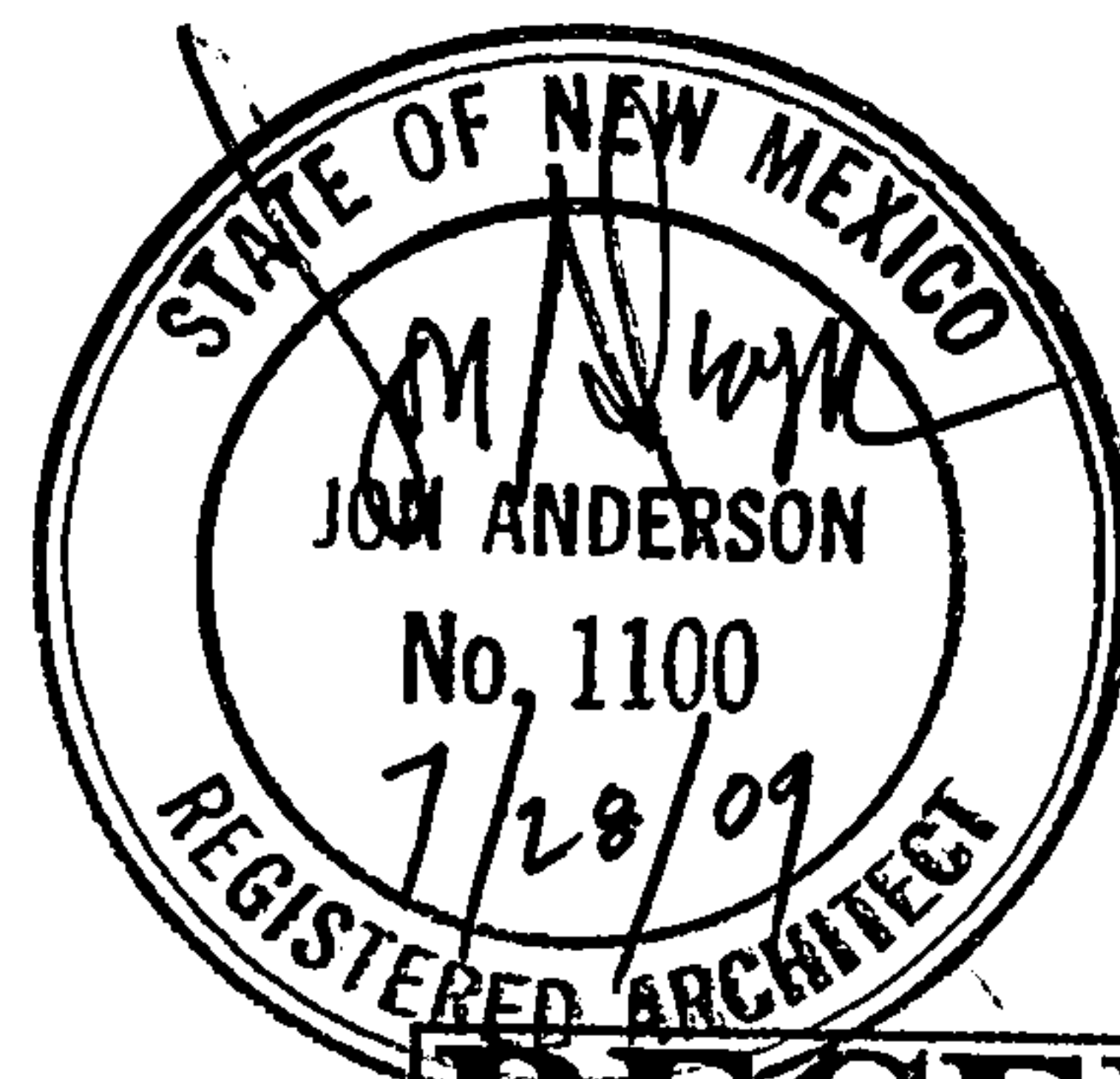
Scott & Kienzle Law Office  
1101 Los Lomas Drive NE

I, Jon Anderson, a New Mexico Registered Architect Hereby certify that this project is in Substantial Compliance with and in accordance with the design intent of the TLC approved plan dated May 13, 2008. I further certify that I have personally visited the site on June 30, 2009 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for the Certificate of Occupancy.

The following corrections noted on the Planning Department Transportation Development Services Section letter dated July 2, 2009 have been completed as witnessed on July 27, 2009. The wheel chair ramp at the SW corner of the site has been completed as well as the installation of the truncated domes on all of the ramp landings. Any equipment remaining on site has been removed from all sidewalks and drive aisles.

The record information presented herein is not necessarily complete and is intended only to verify Substantial Compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

  
Jon Anderson Architect





# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

July 2, 2009

Jon Anderson, Registered Architect,  
Jon Anderson Architecture  
912 Roma Ave. NW  
Albuquerque, NM 87102

Re: Approval of Temporary Certificate of Occupancy (C.O.) for  
Scott & Kienzle Law Office, [J15 / D092]  
1101 Las Lomas Drive NE  
Architect's Stamp Dated 06/30/09

Dear Mr. Anderson:

Based on the information provided on your submittal dated July 1, 2009, the above referenced project is approved for a 90-day Temporary C.O.

A Temporary C.O. has been issued allowing the wheel chair ramp completion (*the ramp is being constructed*), the missing truncated domes (*need to be placed on the ramp landing's*), and the equipment (*on Site*) needs to be moved from the sidewalk and drive aisle issues to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

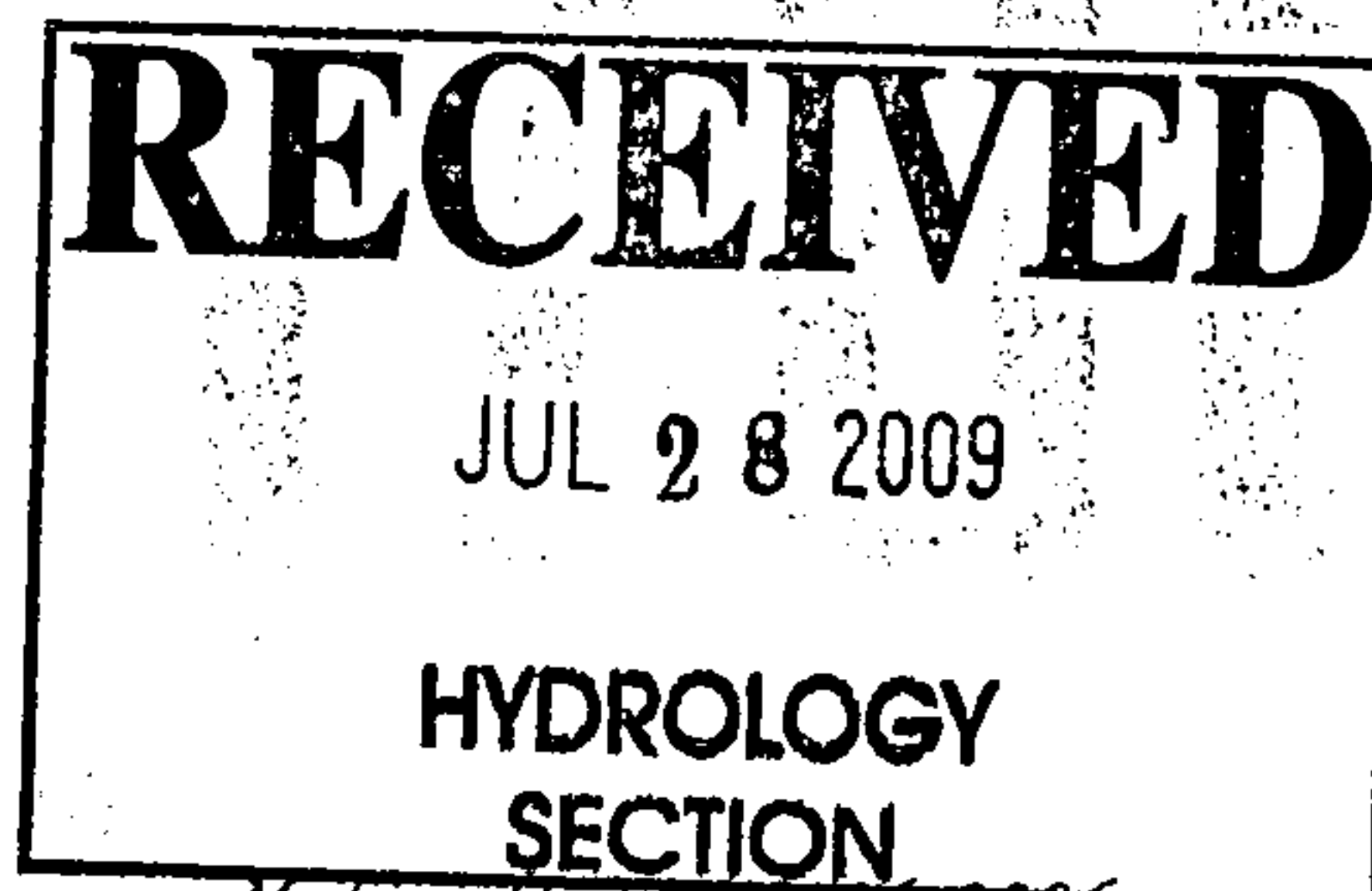
The Certification package for Final C.O. must include an exact copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead—stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

If you have any questions, please call me at 924-3630.

Sincerely,

Miguel E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

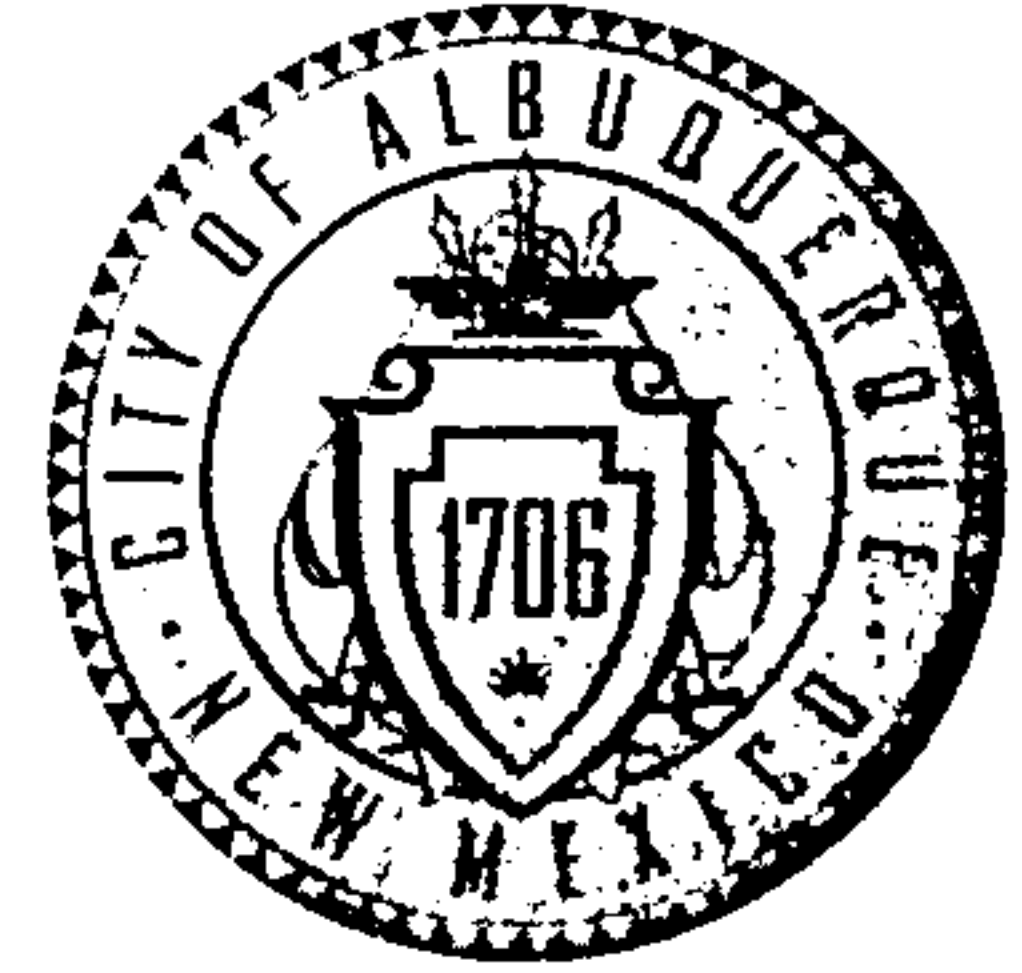
c: Engineer  
Hydrology file  
CO Clerk



Albuquerque - Making History 1706-2006



# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

July 2, 2009

Jon Anderson, Registered Architect,  
Jon Anderson Architecture  
912 Roma Ave. NW  
Albuquerque, NM 87102

Re: Approval of Temporary Certificate of Occupancy (C.O.) for  
Scott & Kienzle Law Office, [J15 / D092]  
1101 Las Lomas Drive NE  
Architect's Stamp Dated 06/30/09

Dear Mr. Anderson:

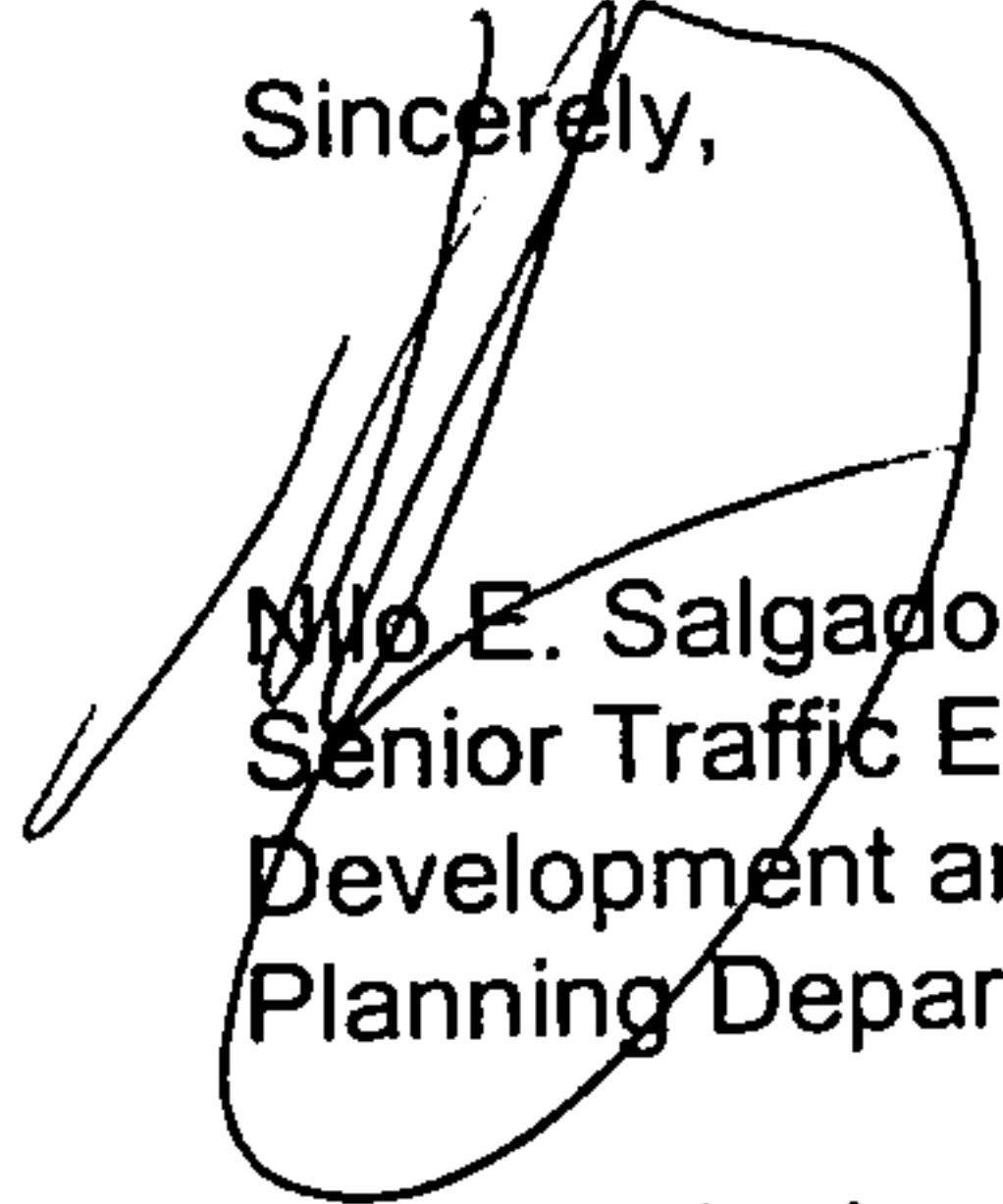
Based on the information provided on your submittal dated July 1, 2009, the above referenced project is approved for a 90-day Temporary C.O.

A Temporary C.O. has been issued allowing the wheel chair ramp completion (*the ramp is being constructed*), the missing truncated domes (*need to be placed on the ramp landing's*), and the equipment (*on Site*) needs to be moved from the sidewalk and drive aisle issues to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

The Certification package for Final C.O. must include an **exact** copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead—stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

If you have any questions, please call me at 924-3630.

Sincerely,

  
Mr. E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
CO Clerk



# JON ANDERSON ARCHITECTURE

912 ROMA AVENUE NORTHWEST  
ALBUQUERQUE NEW MEXICO 87102  
505 764 8306 FAX 505 764 2879  
WWW.JONANDERSONARCHITECT.COM

June 30, 2009

## Traffic Certification

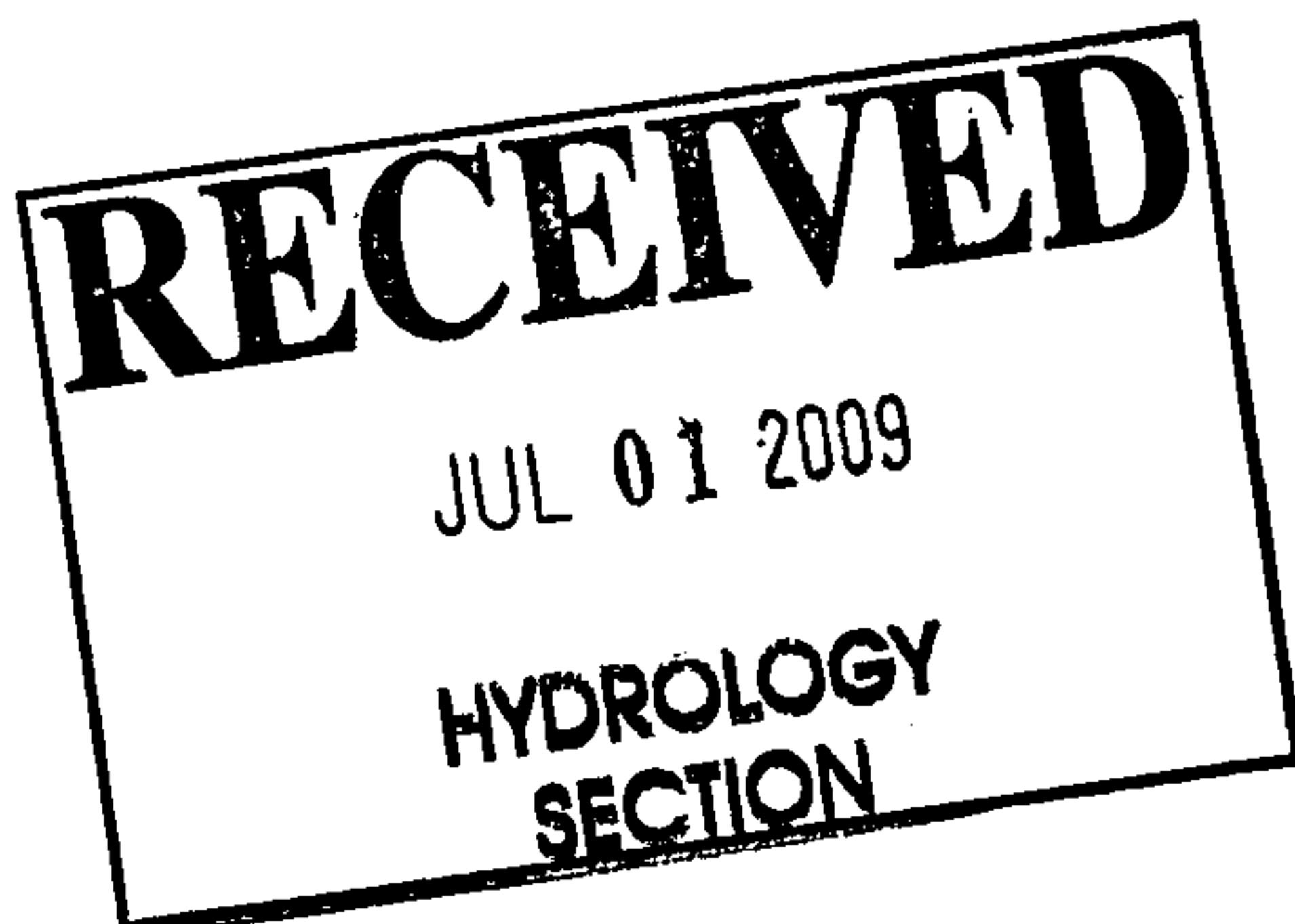
Scott & Kienzle Law Office  
1101 Los Lomas Drive NE

I, Jon Anderson, a New Mexico Registered Architect Hereby certify that this project is in Substantial Compliance with and in accordance with the design intent of the TLC approved plan dated May 13, 2008. I further certify that I have personally visited the site on June 30, 2009 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for the Certificate of Occupancy.

The only incomplete item is a small piece of sidewalk and handicapped ramp in the SW corner of the site. This should be completed in the next couple of days.

The record information presented herein is not necessarily complete and is intended only to verify Substantial Compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

  
Jon Anderson Architect





# CITY OF ALBUQUERQUE



July 6, 2009

Thomas D. Johnston, P.E.  
**TGC Engineering, Inc.**  
330 Louisiana Blvd. NE  
Albuquerque, NM 87108

**Re: Scott & Kienzle Law Office,  
Reject of Request for Temporary Certificate of Occupancy (C.O.)  
Approved Engineer's Stamp dated 04/29/2008 (J-15/D092)  
Certification dated 075/06/2009**

Dear Mr. Johnston,

PO Box 1293

Based upon the information provided on 7/06/2009, the above referenced certification **can not** be approved for Permanent Certificate of Occupancy by Hydrology.

Albuquerque

- The address must be either on the plan or on the DTIS for any certificate of occupancy.
- All sidewalk culverts will need to be inspected and approved by Duane Schmitz (235-8016), prior to issuance of a certificate of occupancy.

NM 87103

If you have any questions, you can contact me at 924-3982.

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

Timothy E. Sims  
Plan Checker, Hydrology  
Development and Building Services

C: File



# CITY OF ALBUQUERQUE



March 19, 2008

Thomas D. Johnston, P.E.  
TGC Engineering Inc.  
330 Louisiana Blvd NE  
Albuquerque, NM 87108

**Re: Scott & Kienzle Law Office Grading and Drainage Plan  
Engineer's Stamp dated 2-14-08 (J15/D092)**

Dear Mr. Johnston,

Based upon the information provided in your submittal received 2-19-08, the above referenced plan is approved for Building Permit and SO 19 Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

A separate permit is required for construction within City ROW. A copy of this approval letter must be on hand when applying for the excavation permit.

Prior to Certificate of Occupancy release:

- Engineer Certification per the DPM checklist will be required.
- A landscape fabric is required on the uphill side of the timber retaining wall to prevent erosion between the timbers. The landscape fabric should extend down to below the bottom of wall on the downhill side.
- The velocity of water leaving the 8" PVC drain is approx. 4.5 ft/sec. Install a rip-rap blanket (~6') at the exit of this drain.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.  
Senior Engineer, Planning Dept.  
Development and Building Services

C: file  
Antoinette Baldonado, Excavation and Barricading  
Duane Schmitz, Street/Storm Drain Maintenance



# CITY OF ALBUQUERQUE



May 2, 2008

Thomas D. Johnston, P.E.  
TGC Engineering Inc.  
330 Louisiana Blvd NE  
Albuquerque, NM 87108

**Re: Scott & Kienzle Law Office Grading and Drainage Plan  
Engineer's Stamp dated 4-29-08 (J15/D092)**

Dear Mr. Johnston,

Based upon the information provided in your submittal received 4-30-08, the above referenced plan is approved for Building Permit and SO 19 Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

A separate permit is required for construction within City ROW. A copy of this approval letter must be on hand when applying for the excavation permit.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.  
Senior Engineer, Planning Dept.  
Development and Building Services

C: file  
Antoinette Baldonado, Excavation and Barricading  
Duane Schmitz, Street/Storm Drain Maintenance



# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 01/06)

PROJECT TITLE: SCOTT & KIENZLE LAW OFFICE ZONE MAP/DRG. FILE # J-15/10092  
 DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: TRACT A-2, MED-ARTS SQUARE  
 CITY ADDRESS: LAS LOMAS ROAD, NE

ENGINEERING FIRM: TGC ENGINEERING INC.  
 ADDRESS: 330 LOUISIANA BLVD NE  
 CITY, STATE: ALBUQUERQUE NM

CONTACT: THOMAS JOHNSTON  
 PHONE: 266-7256  
 ZIP CODE: 87108

OWNER: TEMPLE HILL LLC  
 ADDRESS: PO BOX 507  
 CITY, STATE: ALBUQUERQUE NM


CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: 87103

ARCHITECT: JON ANDERSON ARCHITECT  
 ADDRESS: 912 ROMA AVE NW  
 CITY, STATE: ALBUQUERQUE NM

CONTACT: MARK HARVOLD  
 PHONE: 764-8306  
 ZIP CODE: 264-8879 87102

SURVEYOR: WAY JOHN SURVEYING INC.  
 ADDRESS: 330 LOUISIANA BLVD NE  
 CITY, STATE: ALBUQUERQUE NM

CONTACT: THOMAS JOHNSTON  
 PHONE: 255-2052  
 ZIP CODE: 87108

	<u>NMPS 14269</u>	<u>4-30-08</u>
PROFESSIONAL LICENSED SURVEYOR SIGNATURE	LICENSE NO.	DATE

CONTRACTOR: TBD.  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

## TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL
- \* ☒ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER/ARCHITECT CERT (TCL)
- ☐ ENGINEER/ARCHITECT (DRB SITE PLAN)
- ☐ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

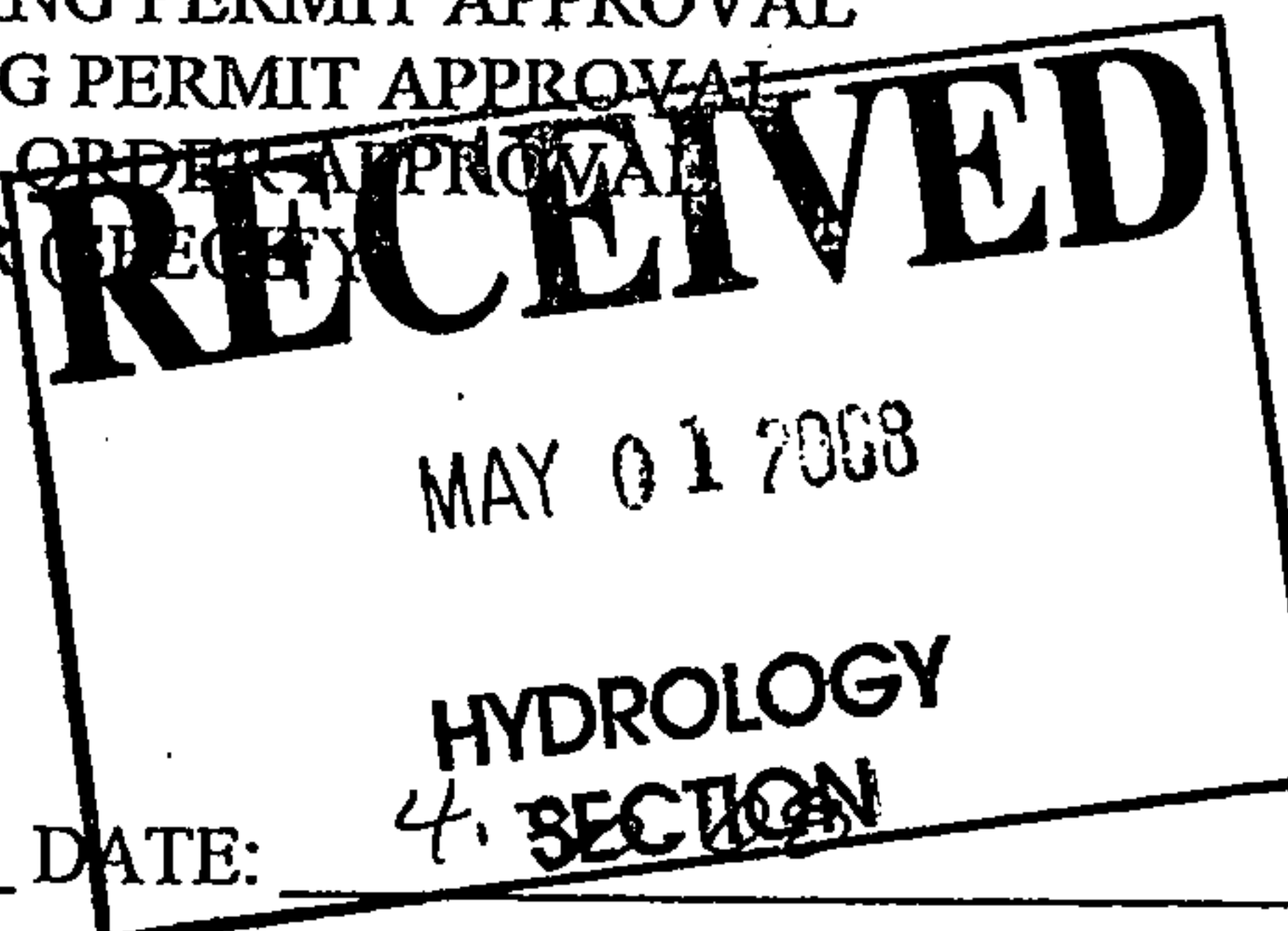
- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (CHECK TYPE)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

SUBMITTED BY: 

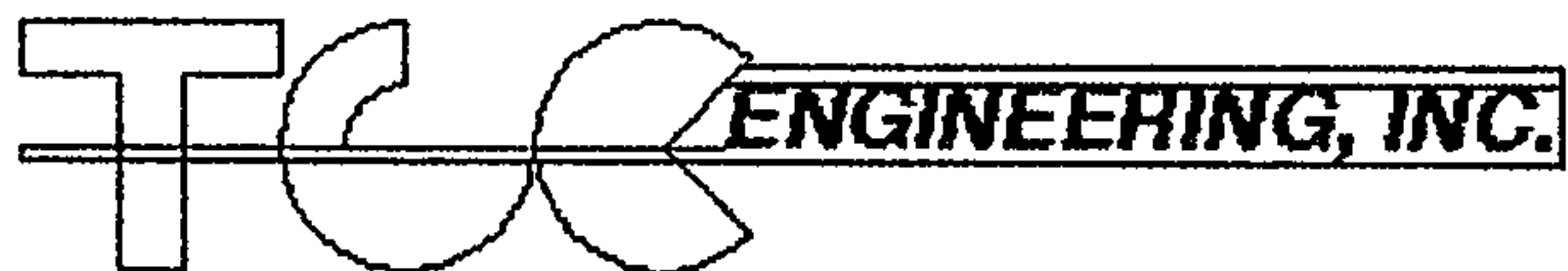
DATE: 4-30-08



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.





**330 LOUISIANA BLVD. NE - ALBUQUERQUE, NM 87108-2062**  
**(505) 266-7256 Fax: (505) 255-2887 - email: TGCENGINEERING.@aol.com**

---

April 30, 2008

Scott Keinzle Law Office, J15/D092

Curtis Cherne, PE  
City of Albuquerque Hydrology  
600 2<sup>nd</sup> Street NW  
Plaza Del Sol Building  
Albuquerque, NM 87102

Dear Curtis:

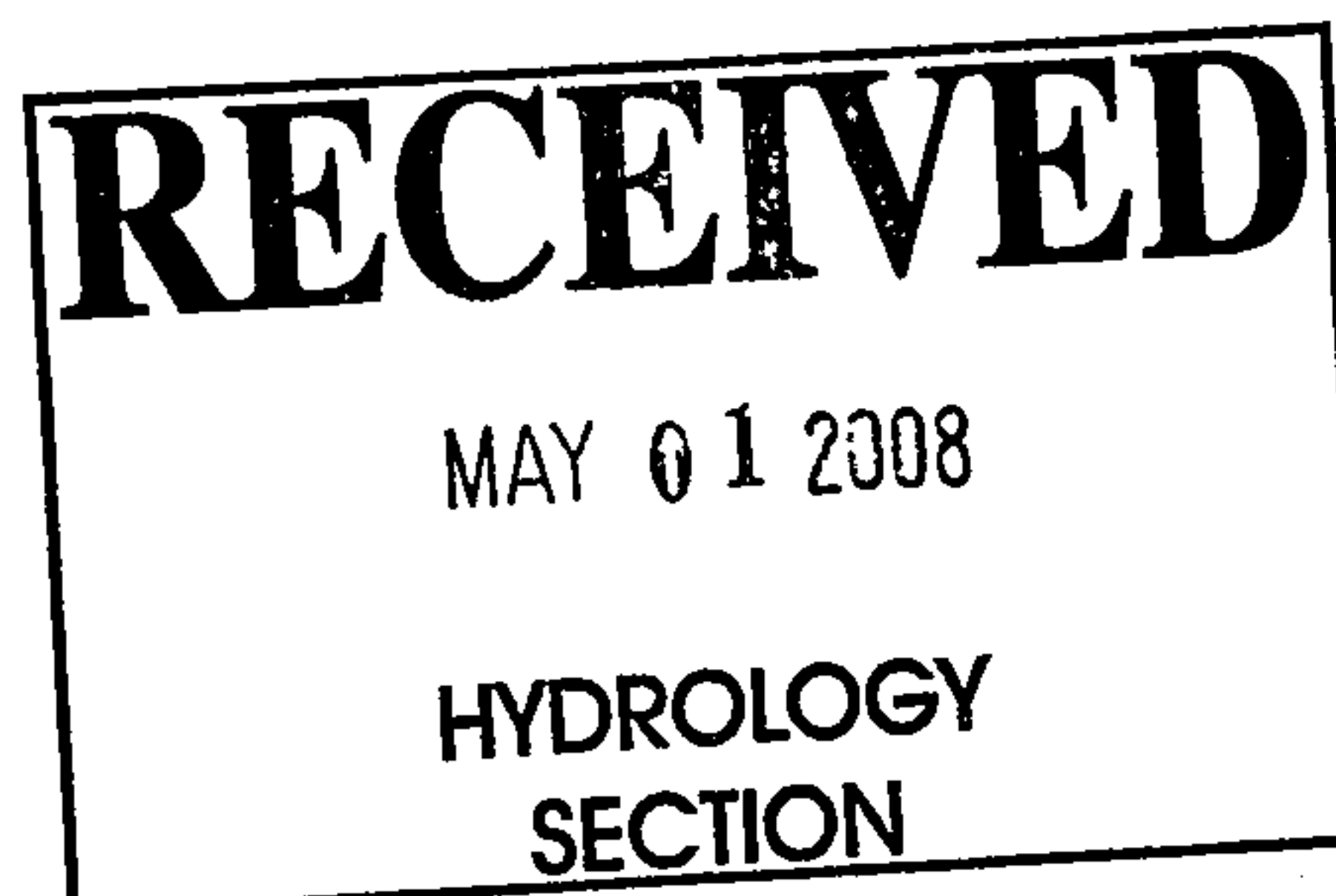
We had received approval on the grading and drainage plan referenced above submitted February 14, 2008. I have enclosed a copy of the approval letter. Since that time, there have been changes to the driveway entrance to the site. We have modified the grading and drainage plan accordingly. Please review and comment.

If you have any questions, please feel free to contact me at 505-266-7256.

Regards,

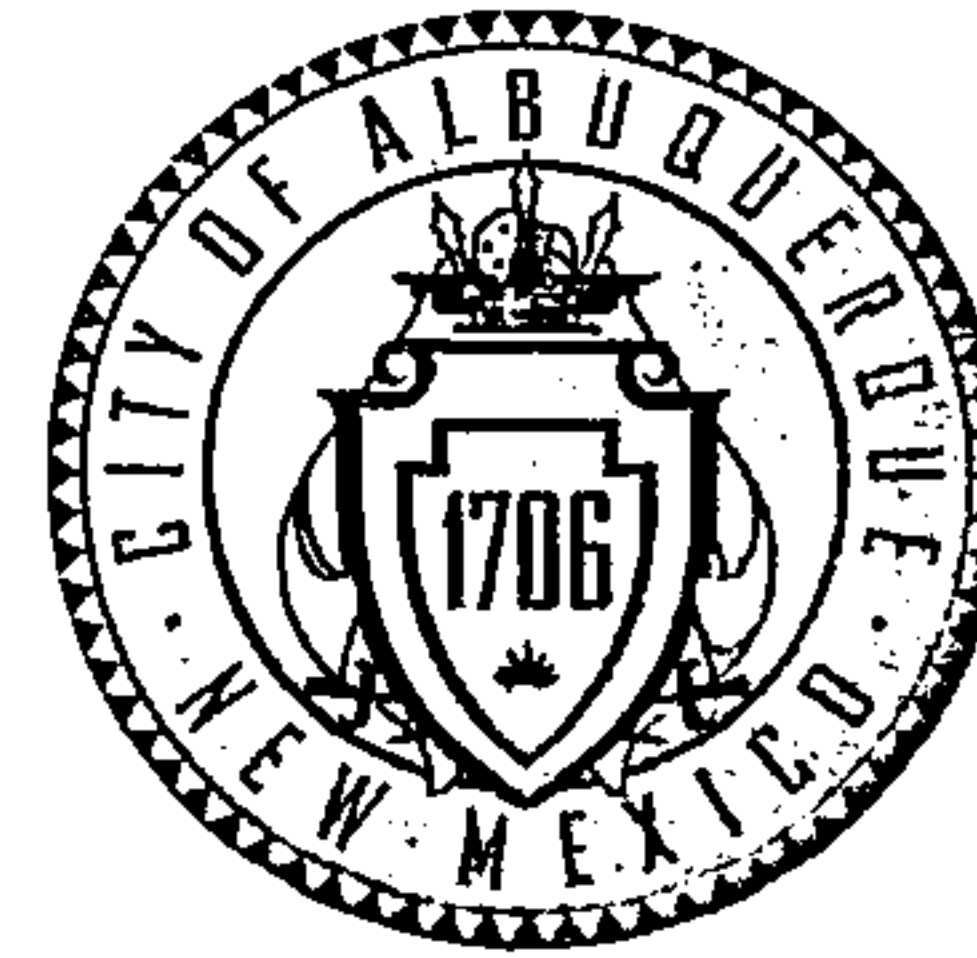
A handwritten signature in black ink, appearing to read 'Thomas Johnston', is written over a horizontal line.

Thomas Johnston, PE  
Project Coordinator  
TGC Engineering, Inc.  
Attachments





# CITY OF ALBUQUERQUE



March 19, 2008

Thomas D. Johnston, P.E.  
TGC Engineering Inc.  
330 Louisiana Blvd NE  
Albuquerque, NM 87108

**Re: Scott & Kienzle Law Office Grading and Drainage Plan**  
**Engineer's Stamp dated 2-14-08 (J15/D092)**

Dear Mr. Johnston,

Based upon the information provided in your submittal received 2-19-08, the above referenced plan is approved for Building Permit and SO 19 Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

A separate permit is required for construction within City ROW. A copy of this approval letter must be on hand when applying for the excavation permit.

Prior to Certificate of Occupancy release:

- Engineer Certification per the DPM checklist will be required.
- A landscape fabric is required on the uphill side of the timber retaining wall to prevent erosion between the timbers. The landscape fabric should extend down to below the bottom of wall on the downhill side.
- The velocity of water leaving the 8" PVC drain is approx. 4.5 ft/sec. Install a rip-rap blanket (~6') at the exit of this drain.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.

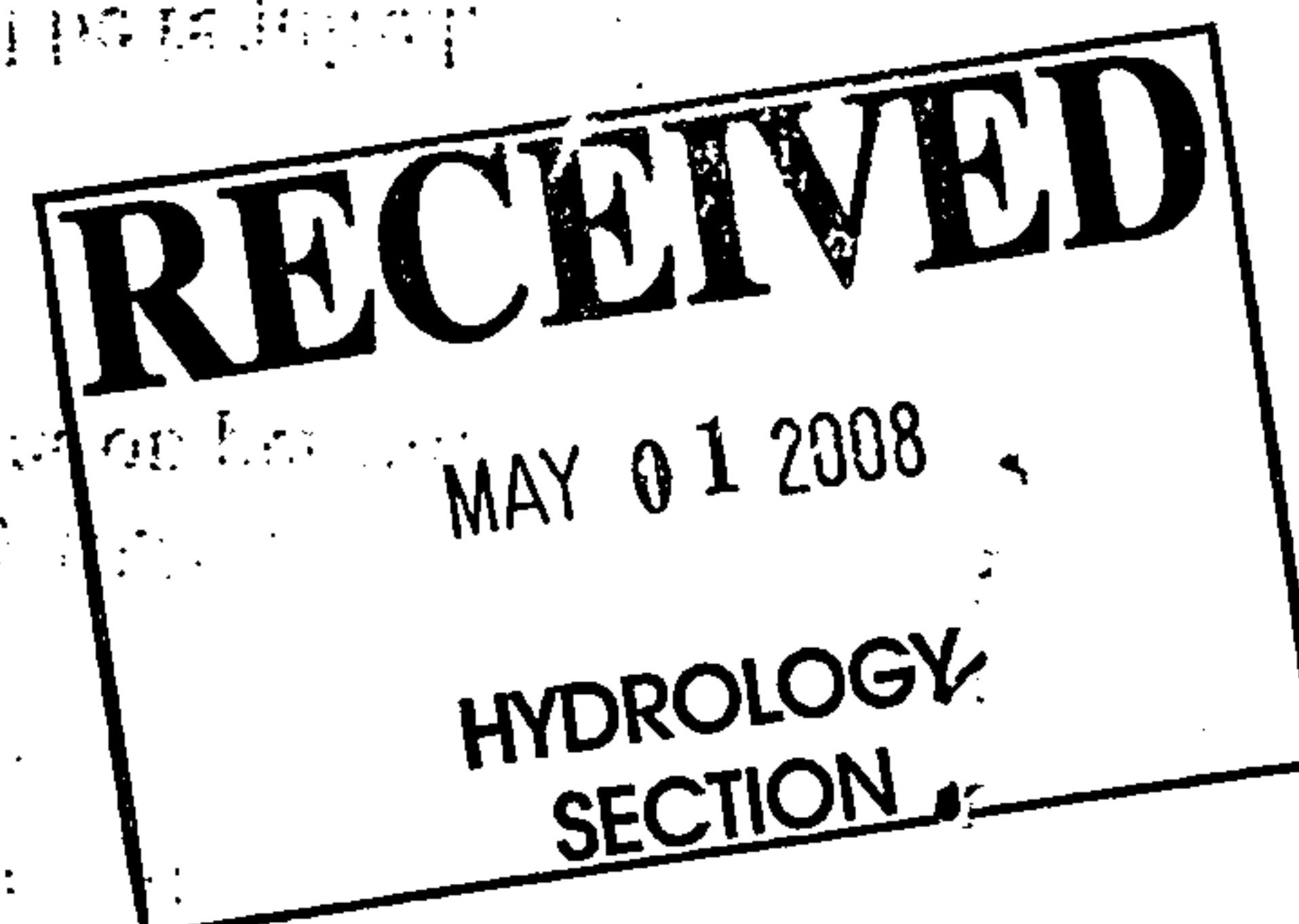
Senior Engineer, Planning Dept.

Development and Building Services

C: file

Antoinette Baldonado, Excavation and Barricading

Duane Schmitz, Street/Storm Drain Maintenance





# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 01/06)

PROJECT TITLE: SCOTT & KIENZLE LAW OFFICE ZONE MAP/DRG. FILE # J-15/D092  
 DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: TRACT A-2, MED-ARTS SQUARE  
 CITY ADDRESS: LAS LOMAS ROAD, NE

ENGINEERING FIRM: TGC ENGINEERING INC.  
 ADDRESS: 330 LOUISIANA BLVD NE  
 CITY, STATE: ALBUQUERQUE NM

CONTACT: THOMAS JOHNSTON  
 PHONE: 266-7256  
 ZIP CODE: 87108

OWNER: TEMPLE HILL LLC  
 ADDRESS: PO BOX 587  
 CITY, STATE: ALBUQUERQUE NM

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: 87103

ARCHITECT: JON ANDERSON ARCHITECT  
 ADDRESS: 912 ROMA AVE NW  
 CITY, STATE: ALBUQUERQUE NM

CONTACT: MARK HARVOLD  
 PHONE: 764-8306  
 ZIP CODE: 264-8879 87102

SURVEYOR: WAY JOHN SURVEYING INC.  
 ADDRESS: 330 LOUISIANA BLVD NE  
 CITY, STATE: ALBUQUERQUE NM

CONTACT: THOMAS JOHNSTON  
 PHONE: 255-2052  
 ZIP CODE: 87108

PROFESSIONAL LICENSED SURVEYOR SIGNATURE

NMPS 14269

LICENSE NO.

DATE

CONTRACTOR: TBD.  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

## TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL
- ☒ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER/ARCHITECT CERT (TCL)
- ☐ ENGINEER/ARCHITECT (DRB SITE PLAN)
- ☐ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

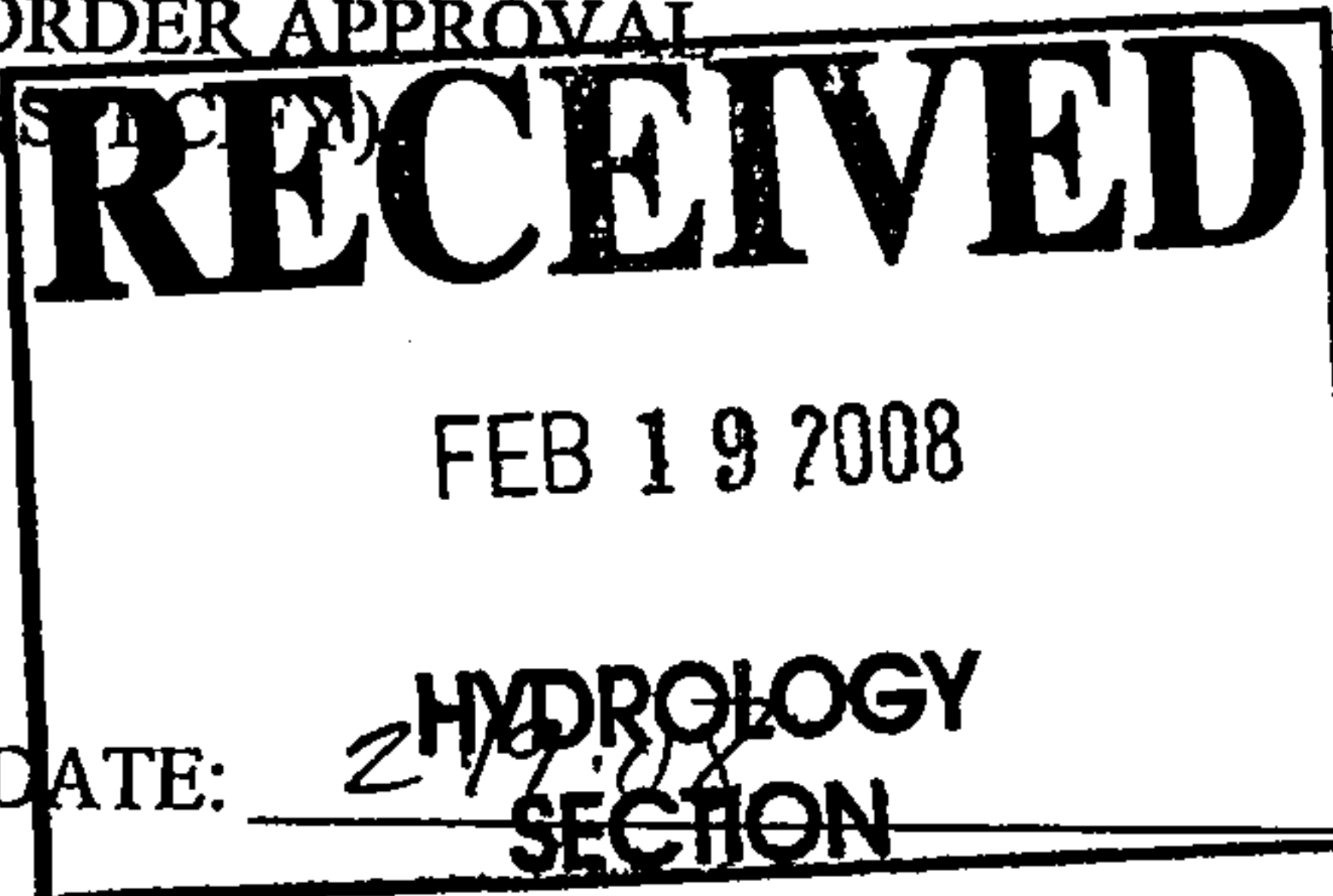
- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- 3019 OTHER (SPECIFY) \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

SUBMITTED BY: \_\_\_\_\_

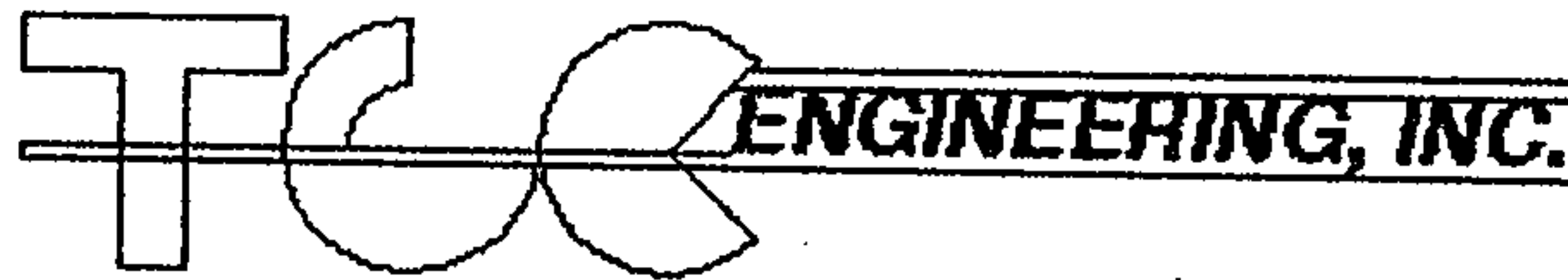
DATE: 2/19/08



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.





**330 LOUISIANA BLVD. NE - ALBUQUERQUE, NM 87108-2062**  
**(505) 266-7256 Fax: (505) 255-2887 - email: TGCENGINEERING@aol.com**

---

February 14, 2008

RE: Scott & Kienzle Law Office, Tract A-2 Med-Arts Square (J15/D092)

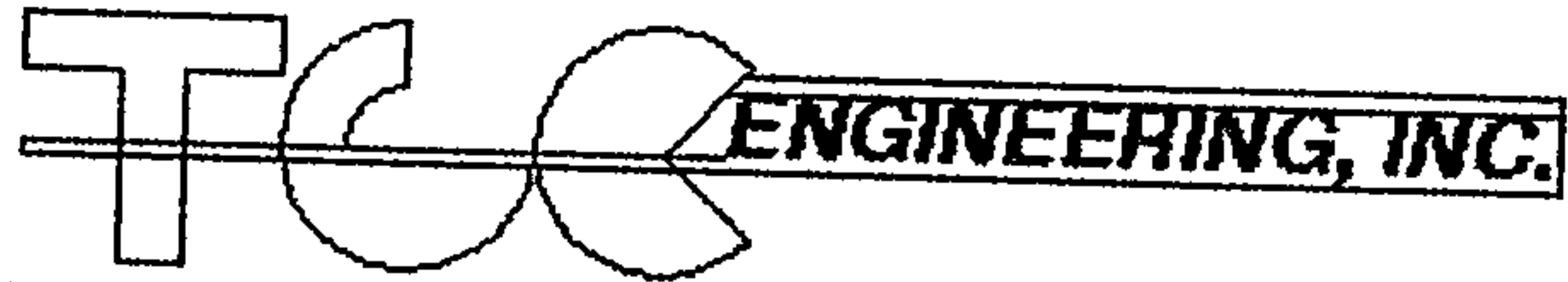
Timothy Sims, Planning Department  
City of Albuquerque Development and Building Services  
P.O. Box 1293  
Albuquerque, NM 887103

Dear Mr. Sims;

In response to you comments in a letter dated November 20, 2007, we have made the following amendments to the above-referenced project with explanations:

1. The roof, as designed by the architect is a straight shed roof draining to the West with no downspouts.
2. The note concerning the concrete flatwork in Las Lomas Road has been changed from "Separate Contract" to "*Separate Work Order*."
3. Slope values of swales within parking areas, drainpipes, lined swales and graded areas have been indicated on plan.
4. The 90 degree turn of the swale at the NW corner of site has been removed.
5. The rear (West) swale needs to remain. This site has washed and deposited a lot of silt and trash onto the Plaza Inn property over the years. On one of our site visits, we met a paving contractor working for the Plaza whose crews had just removed a truckload of sediment and debris prior to resealing that lot. There is no easement or other agreement covering cross-lot drain between our site and the Plaza property. The eastern sidewalk culvert will be used to handle the runoff from the parking lot. Grades within the parking lot have been amended and two drop inlet boxes have been added to feed an 8-inch drainline.
6. Section detail cut has been shown.
7. The source of an existing 6-inch drain through the West CMU retaining wall is not known. There are also 2 other such drain outlets located to the North of our site through the wall. None of them appear to have any current function. But, because we do not know the source(s) of the pipe, we agree that no alteration should be made to its outlet.
8. The old structures lying to the West of the entrance off Las Lomas Road are all remnants of an old filling station. They consist of a concrete foundation pad, header curbing and deteriorated asphalt pavement. All are to be demolished and removed.
9. The cross-slope in the entrance area off Las Lomas is indeed 10 per cent or more.





**330 LOUISIANA BLVD. NE - ALBUQUERQUE, NM 87108-2062**  
**(505) 266-7256 Fax: (505) 255-2887 - email: TGCENGINEERING.@aol.com**

---

It is an existing paved entryway and we are delimited by the existing curb on the East side and lying outside the property line and by the slope in Las Lomas Road itself. Grades appearing on the concrete work in Las Lomas correspond to the existing street slope. We did manage to flatten the West leg of ADA access ramp at the entry, though.

10. Spot grades for the ADA ramp on site have been further articulated for clarity. It is our design intention to split the swale lines in the parking area to drain away From it on both sides to the drop inlets.

If you have any questions, please feel free to contact me at 505-266-7256.  
Regards,

A handwritten signature in black ink, appearing to read 'Thomas Johnston', with a long horizontal line extending to the left.

Thomas Johnston, PE, PS  
TGC Engineering, Inc.



# CITY OF ALBUQUERQUE



May 27, 2008

Jon Anderson, RA  
Jon Anderson Architect, A.I.A.  
912 Roma Avenue NW  
Albuquerque, NM 87102

Re: Scott & Kienzle P.A. Law Office, 1011 Las Lomas Road NE, Traffic Circulation Layout  
Architect's Stamp dated 4-17-08 (J-15-D092)

Dear Mr. Anderson,

The TCL submittal received 5-13-08 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.  
Senior Engineer, Planning Dept.  
Development and Building Services

C: File



**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(REV 12/2005)

J-15/DO92

PROJECT TITLE: SCOTT & KIENZLE P.A. LAW OFFICE ZONE MAP: J-15-2  
DRB#: 1501026 EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: TRACT LETTERED A-2 OF THE PLAT 4-1 AND 4-2  
MED-ART SQUARE, VALMONTE ADDITION  
CITY ADDRESS: 1011 LAS LOMAS ROAD NE ABQ. NM 87102

ENGINEERING FIRM: TGC ENGINEERING INC. CONTACT: THOMAS JOHNSTON  
ADDRESS: 3301 LOUISIANA BLVD NE PHONE: 255 2052  
CITY, STATE: ABQ. NM ZIP CODE: 87108

OWNER: TEMPLE HILL, LLC CONTACT: PAUL KIENZLE  
ADDRESS: 201 THIRD ST NW PHONE: 246-8600  
CITY, STATE: ABQ. NM ZIP CODE: 87103

ARCHITECT: JON ANDERSON ARCHITECT CONTACT: MARK HARVOLD  
ADDRESS: 912 ROMA AVE NW PHONE: 764 8306 EXT 206  
CITY, STATE: ABQ. NM ZIP CODE: 87102

SURVEYOR: WAY JOHN SURVEYING INC CONTACT: TIM JOHNSTON  
ADDRESS: 330 LOUISIANA BLVD NE PHONE: 255 2887  
CITY, STATE: ABQ. NM ZIP CODE: 87108

CONTRACTOR: PAUL W. KENDERDINE INC. CONTACT: PAUL KENDERDINE  
ADDRESS: NO. 7 BOSQUE ROAD PHONE: 249 2495  
CITY, STATE: ALGADONES, NM ZIP CODE: 87001

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY) \_\_\_\_\_

CHECK TYPE OF APPROVAL SOUGHT:

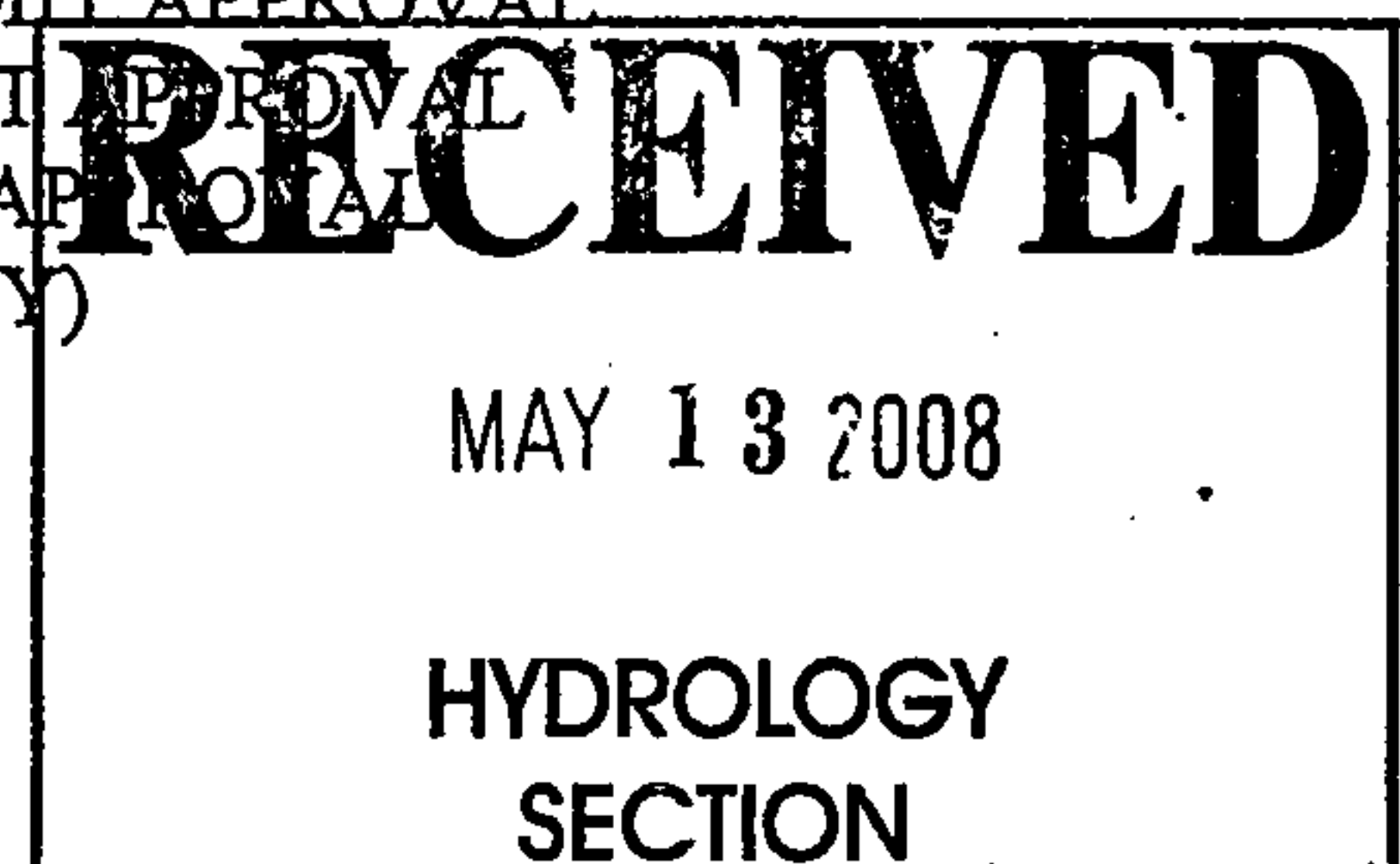
- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
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- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES  
☒ NO  
☐ COPY PROVIDED

DATE SUBMITTED: 05.13.08

BY: [Signature]



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



JON ANDERSON  
ARCHITECT  
912 ROMA AVE NW  
ALBUQUERQUE  
NEW MEXICO  
8 7 1 0 2  
505 764 8306  
FAX 764 2879  
JONANDERSON  
ARCHITECT.COM

May 13, 2008

**EXECUTIVE SUMMARY**

**Subject Development:**

**Scott & Kienzle P.A. Law Office**

**Subject Location:**

**1011 Las Lomas Road N.E.**

**Albuquerque, NM 87102**

**Type of Development:**

**Professional Office (O-1)**

**Traffic Circulation Concept:**

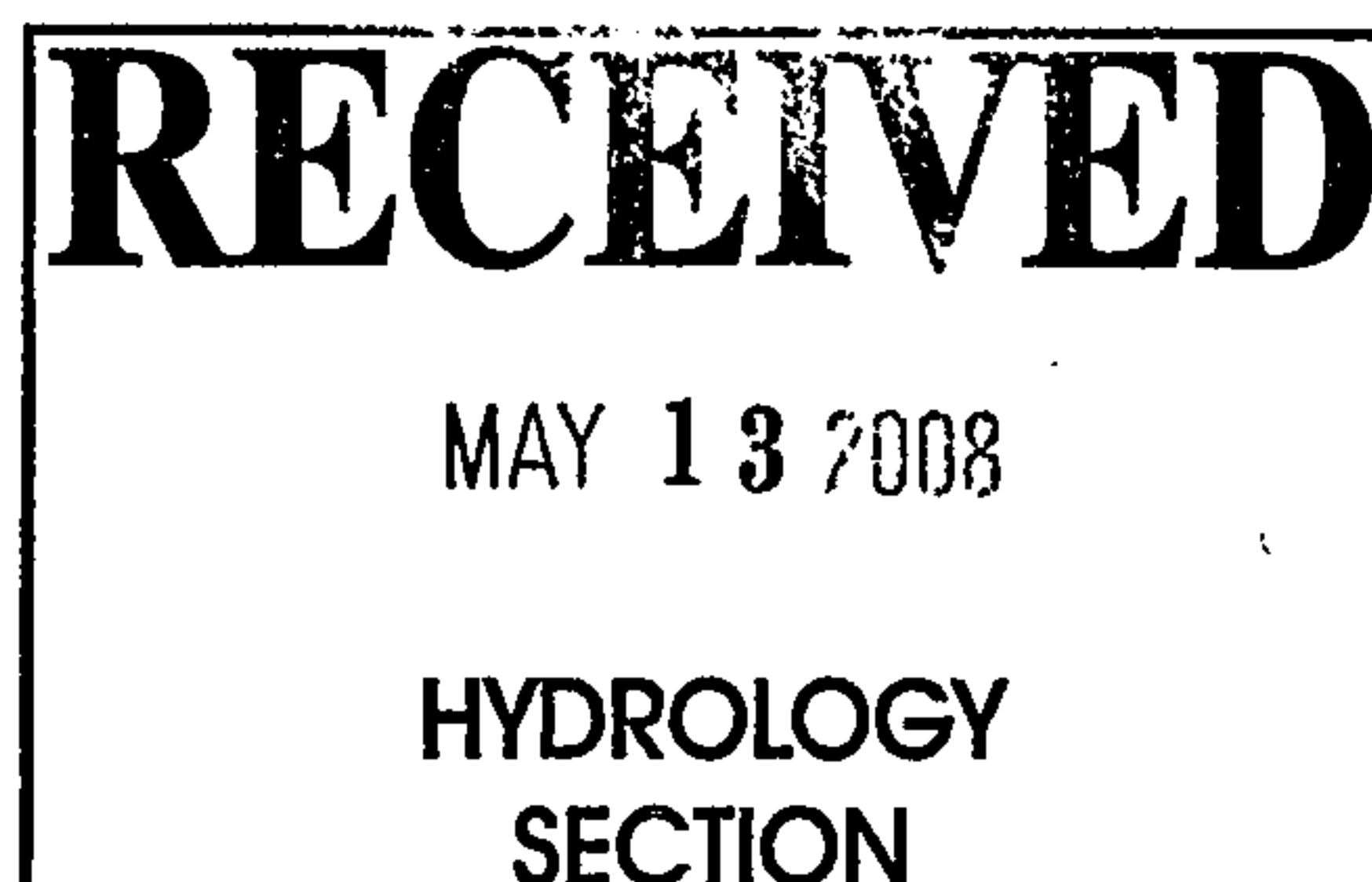
The intent of the traffic circulation layout proposed is to create a new access point for the subject development approximately 24' west of the south east corner of the property along Las Lomas Road N.E. leading to and making use of an existing asphalt parking lot on the site. Currently, there is an existing mountable roll type curb along the south boundary of the property serving Las Lomas Road N.E. The roll type curb in the right-of-way of Las Lomas Road N.E. will be removed and replaced with new curb and gutter, and side walk with curb access ramps, all per City of Albuquerque Standards. The solid waste container enclosure is located adjacent to the alley on the South West corner of the property. The location proposed will avoid solid waste vehicular access in and out of the proposed parking lot. The subject development neighbors are the Plaza Inn and the Med-Arts Square. There is no adverse impact on the adjacent sites. No Traffic Impact Studies has been conducted and there has been no Variance requested to accommodate unusual site circumstances.

A twenty foot (20'-0") wide private access easement and cross access easement for pedestrian connections, that served between the subject development (Tract A-2) and Tracts A-1 in the past, has now been vacated. Attached is a copy of the Declaration of Termination of (20') Private Access Easement and Cross Access Easement. The proposed action to vacate these easements were heard by the Design Review Board (DRB) on Wednesday March 5, 2008. The following are the associated DRB Project and Application numbers:

**DRB Project No. 1001026**

**08DRB70098**

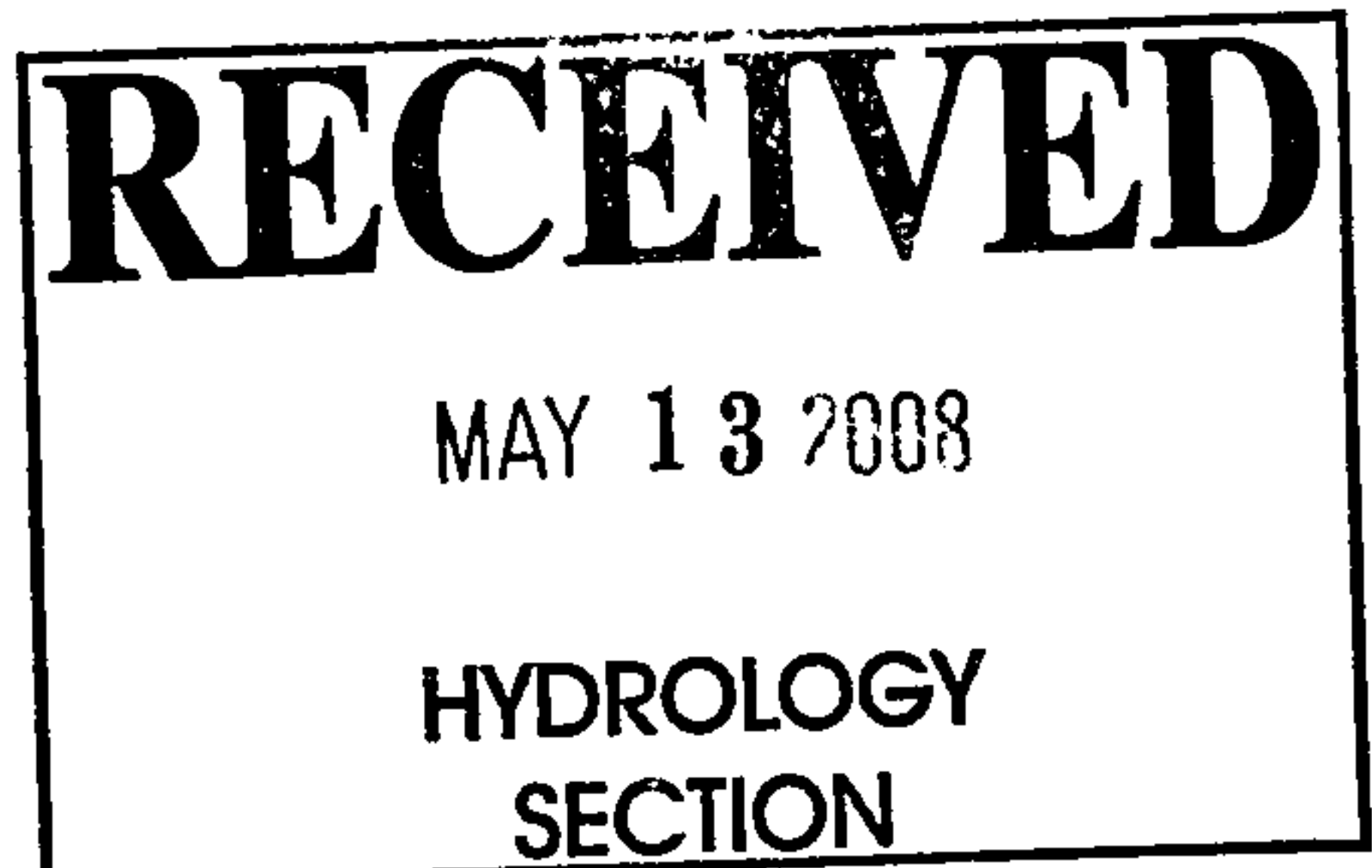
**08DRB70099**





JON ANDERSON  
ARCHITECT  
912 ROMA AVE NW  
ALBUQUERQUE  
NEW MEXICO  
8 7 1 0 2  
505 764 8306  
FAX 764 2879  
JONANDERSON  
ARCHITECT.COM

Terminating the access easements created an abandoned driveway. In the past the recently abandoned driveway served both Tract A-1 and A-2. The abandoned driveway straddles the entire length of the eastern boundary between Tract A-1 and A-2. The portion of driveway on Tract A-1 is a linear strip approximately 4' wide that includes an existing concrete curb and gutter and asphalt. Over half of the length of existing curb and gutter and asphalt has been removed by the owners of Tract A-1 prior to Traffic Circulation Layout Submittal. The property owner's of Tract A-1 and A-2 have signed the attached "Letter of Agreement" that grants access to the owner's of Tract A-2 to perform work necessary to remove the remaining portion of existing curb and gutter on Tract A-1. The new Traffic Circulation Layout submittal illustrates how the abandoned driveway will be replaced with sidewalk and curb and gutter.





LETTER OF AGREEMENT

THIS LETTER OF AGREEMENT, made this 9th day of May, 2008, by and between Coolidge Medical Arts, LLC ("Grantor"), whose address is 6001 Indian School Rd NE, Albuquerque, NM 87110, and Temple Hill, LLC whose address is 1101 Las Lomas Rd NE NW, Albuquerque, NM 87102.

Grantor grants Temple Hill, LLC exclusive use in, over, under and across the south west corner of Grantor's property for construction, installation, maintenance, repair, modification, replacement, and demise of existing curb and gutter as designated on Exhibit A. All work is to be completed in a professional workmanlike manner by licensed contractors.

This is a license specific to Temple Hill, LLC and can be revoked by Grantor at any time.

Temple Hill, LLC agrees to name Grantor as Additional Insured on its liability insurance policy.

Temple Hill, LLC

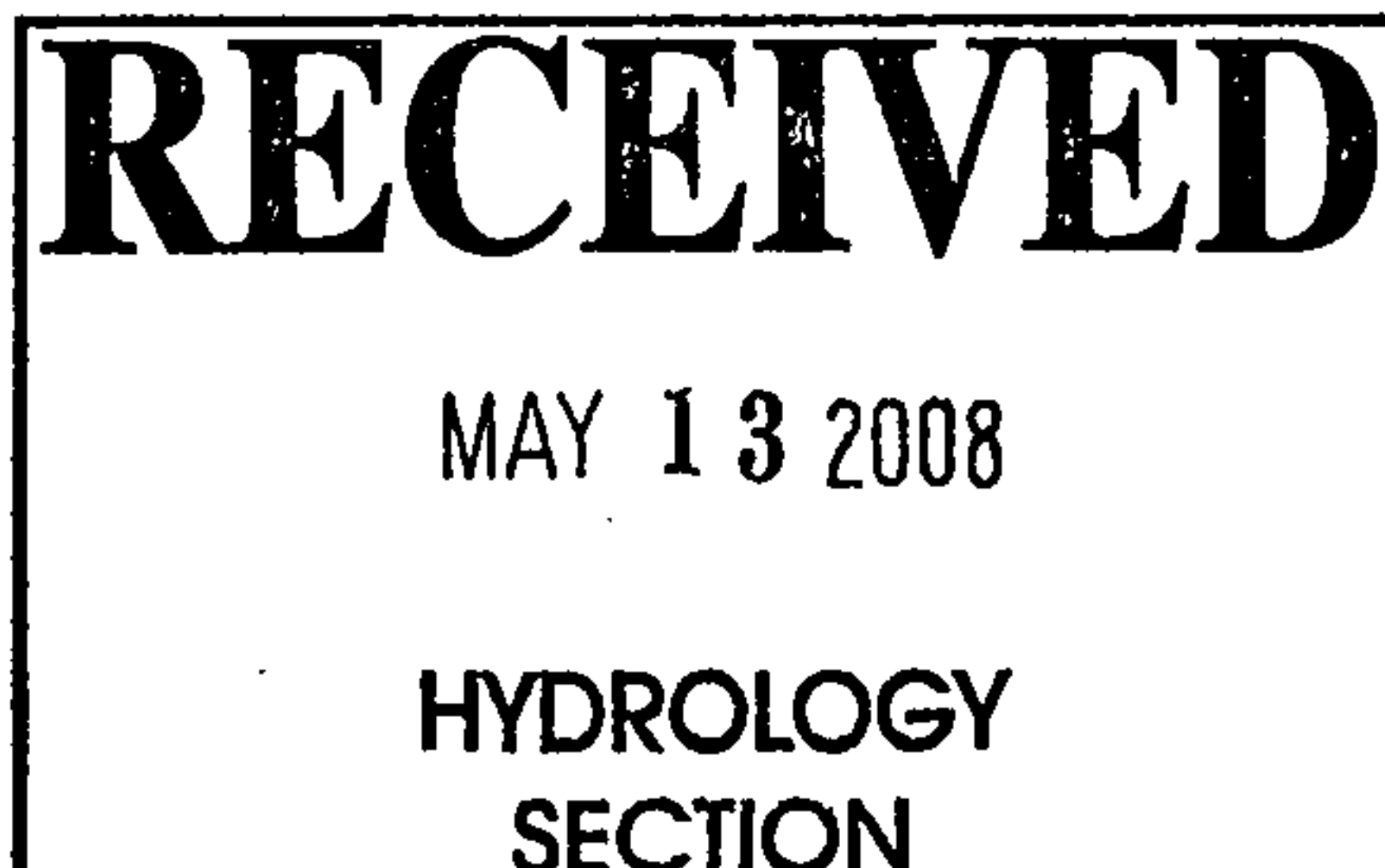
Paul M. Kienzlett

By: PAUL M. KIENZLETT

Coolidge Medical Arts, LLC

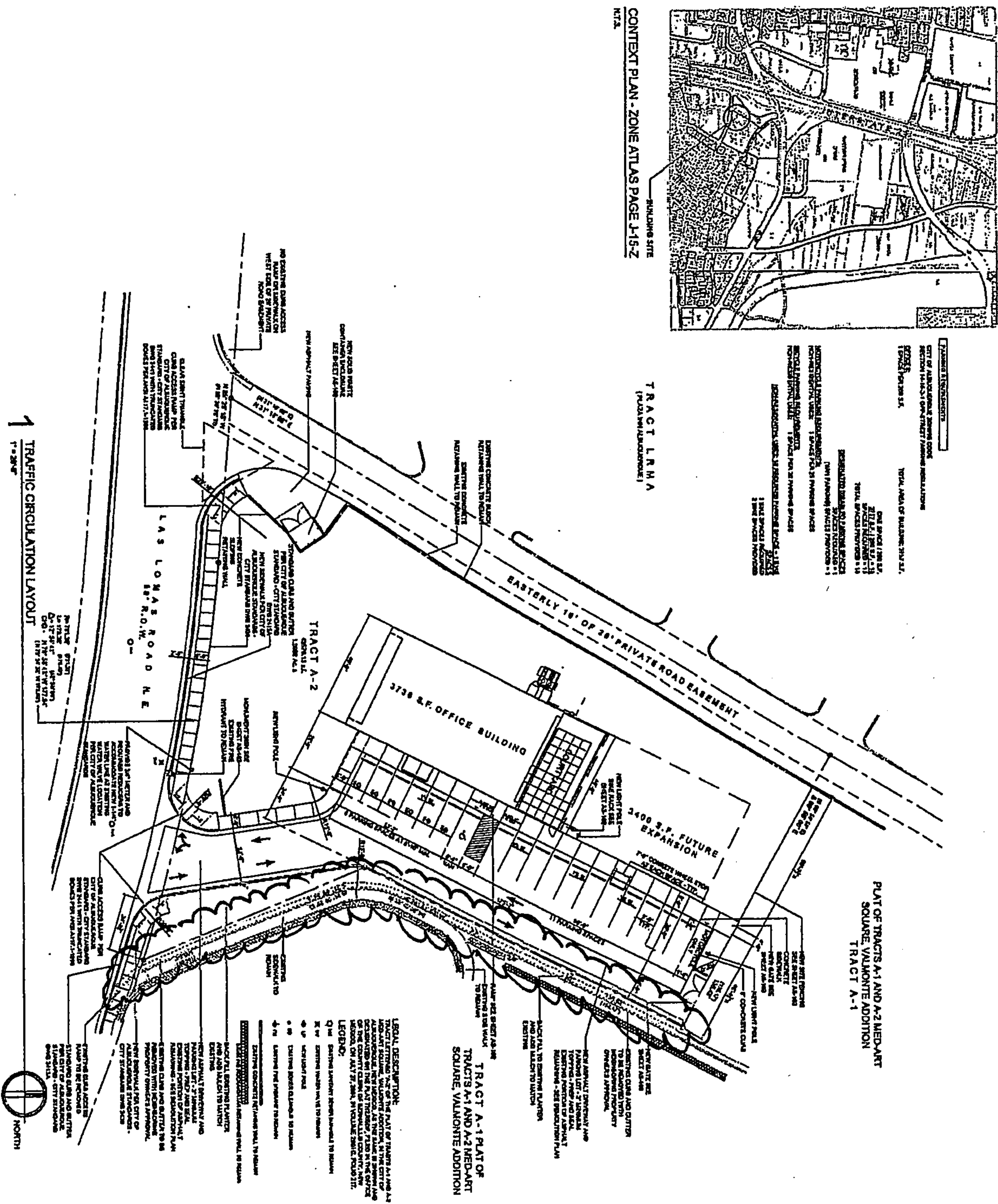
[Signature]

By: [Signature]





# Exhibit A



1011 LAS LOMAS ROAD N.E.  
JON ANDERSON ARCHITECT AIA  
812 ROMA AVENUE NW  
ALBUQUERQUE NEW MEXICO 87102  
505-764-8308 FAX-754-2879  
WWW.JONANDERSONARCHITECT.COM



**CONSTRUCTION  
DOCUMENTS**

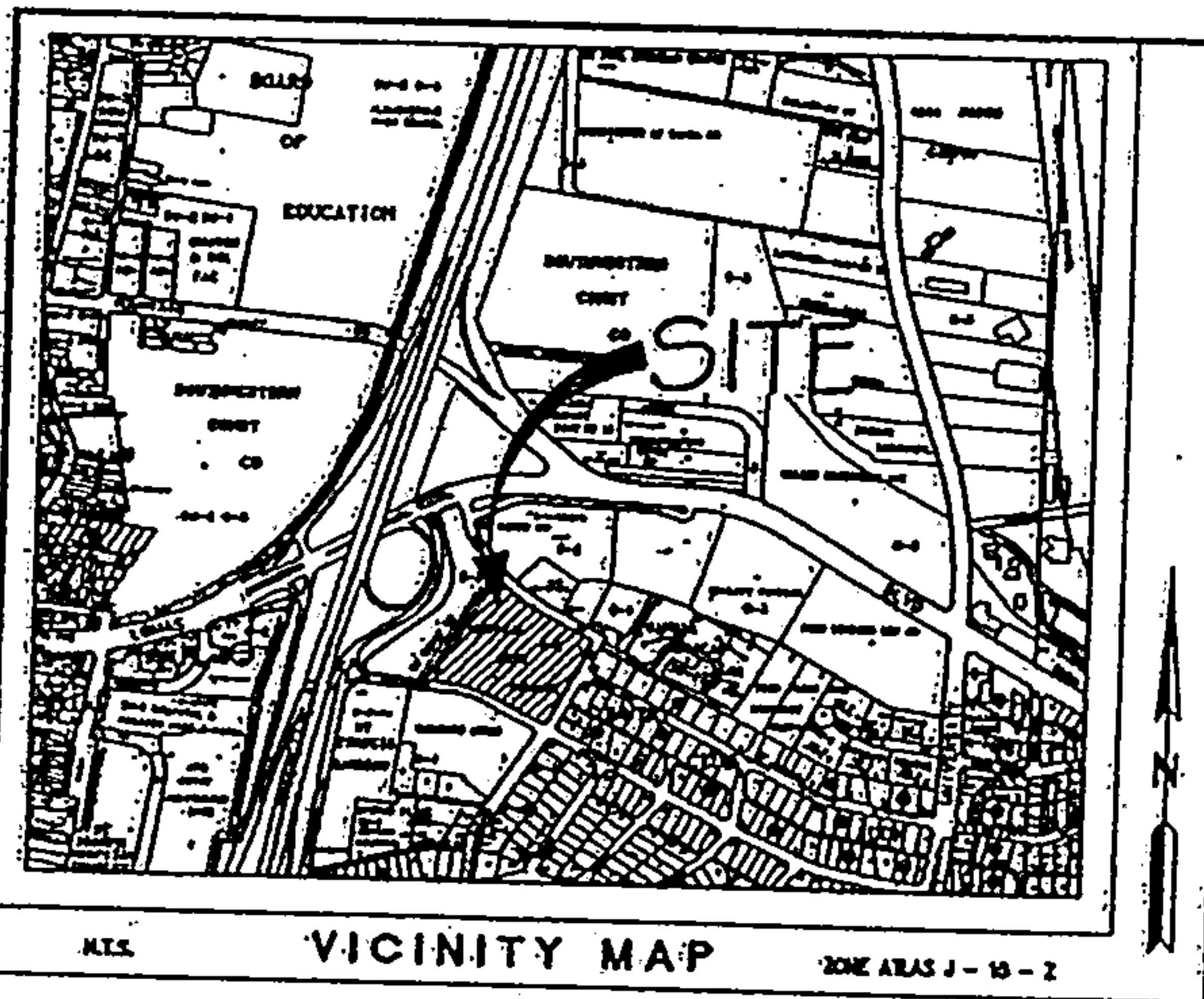
DATE: OCTOBER 17, 2007  
REVISED: MARCH 25, 2008  
SHEET TITLE:  
TRAFFIC CIRCULATION  
LAYOUT  
SHEET NUMBER:  
AS-110

**RECEIVED**

MAY 13 2008

HYDROLOGY  
SECTION





### LEGAL DESCRIPTION

A PARCEL OF LAND LOCATED IN THE CITY OF ALBUQUERQUE, NEW MEXICO BEING ALL OF TRACT LETTERED A OF THE VALMONTE ADDITION AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT TITLED "SECOND AMENDED PLAT OF MED-ART SQUARE, VALMONTE ADDITION" FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JULY 26, 1981, IN BOOK CS, FOLIO 78, AND BEING FURTHER DESCRIBED AS FOLLOWS:

COMMENCING AT THE CITY OF ALBUQUERQUE ACS MONUMENT 1-25-27 (HAVING NEW MEXICO STATE PLANE COORDINATES X = 384362.56 AND Y = 1484311.85) N18°05'07"E, 3818.08 FEET TO THE SOUTHWEST CORNER AND THE TRUE POINT OF BEGINNING OF THE PARCEL HEREIN DESCRIBED;

THENCE, N31°19'02"E, A DISTANCE OF 450.54 FEET TO A POINT OF CURVATURE; THENCE,

ALONG THE ARC OF A CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 304.83 FEET, ARC LENGTH OF 118.16 FEET, CENTRAL ANGLE OF 22°13'26", A CHORD BEARING OF N42°25'12"E, AND A CHORD LENGTH OF 117.42 FEET TO A POINT; THENCE,

N53°34'14"E, A DISTANCE OF 25.80 FEET TO A ON THE SOUTHERLY RIGHT OF WAY LINE OF MED-ART AVENUE, I.E.; THENCE,

ALONG THE SOUTHERLY RIGHT OF WAY FOR MED-ART AVENUE I.E. ALONG THE ARC OF A CURVE TO THE LEFT, SAID CURVE HAVING A RADIUS OF 555.00 FEET, ARC LENGTH OF 232.85 FEET, CENTRAL ANGLE OF 24°02'20", A CHORD BEARING OF S51°02'02"E, AND A CHORD LENGTH OF 231.15 FEET TO A POINT; THENCE,

S83°02'11"E, A DISTANCE OF 285.06 FEET TO A POINT OF CURVATURE; THENCE,

ALONG THE ARC OF A CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 20.00 FEET, ARC LENGTH OF 31.42 FEET, CENTRAL ANGLE OF 90°00'00", A CHORD BEARING OF S18°02'11"E, AND A CHORD LENGTH OF 20.28 FEET; TO A POINT; THENCE ALONG THE WESTERLY RIGHT OF WAY FOR ENCHINO PLACE I.E.,

S28°37'58"W, A DISTANCE OF 410.00 FEET TO A POINT OF CURVATURE; THENCE,

ALONG THE ARC OF A CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 20.00 FEET, ARC LENGTH OF 31.42 FEET, CENTRAL ANGLE OF 90°00'00", A CHORD BEARING OF S71°54'37"W, AND A CHORD LENGTH OF 20.28 FEET TO A POINT; THENCE ALONG THE NORTHERLY RIGHT OF WAY FOR LAS LOHAS ROAD, I.E.,

N83°05'23"W, A DISTANCE OF 221.20 FEET TO A POINT OF CURVATURE; THENCE,

ALONG THE ARC OF A CURVE TO THE LEFT, SAID CURVE HAVING A RADIUS OF 791.32 FEET, ARC LENGTH OF 307. FEET, CENTRAL ANGLE OF 22°16'18", A CHORD BEARING OF N74°13'58"W, AND A CHORD LENGTH OF 305.66 FEET TO A POINT; THENCE,

N85°28'28"W, A DISTANCE OF 72.56 FEET TO THE TRUE POINT OF BEGINNING.

THE ABOVE DESCRIBED PARCEL CONTAINS 277,101 SQUARE FEET OR 8.3613 ACRES MORE OR LESS.

### NOTES

1. THE PURPOSE OF THIS PLAT IS TO CREATE TWO NEW TRACTS FROM ONE EXISTING TRACT AND TO GRANT A 20.00' PRIVATE ACCESS EASEMENT.
2. THE BEARING BASE FOR THIS SURVEY IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM REFERENCING ACS STATIONS 9-J15 & 1-25-27. (BEARINGS ARE GRID)
3. ALL ADJACENT STREET RIGHTS OF WAY ARE DEDICATED TO THE CITY OF ALBUQUERQUE, NEW MEXICO
4. BEARINGS AND DISTANCES IN PARENTHESES ARE PER THE PLAT FILED 7/26/81 IN BOOK CS, FOLIO 78. ALL DISTANCES PUBLISHED ARE GROUND DISTANCES UNLESS NOTED OTHERWISE.

## PLAT OF TRACTS A-1 AND A-2 MED-ART SQUARE VALMONTE ADDITION

CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
JANUARY, 2001

### APPROVALS

PROJECT - 1001026

SUBDIVISION CASE NUMBER: 0144D-00000-00101

*[Signature]* 7/27/01  
CITY PLANNER/ALBUQUERQUE, BERNALILLO COUNTY PLANNING DIVISION  
DATE

*[Signature]* 7-2-01  
PARKS DESIGN AND DEVELOPMENT  
DATE

*[Signature]* 7/18/01  
TRAFFIC ENGINEER, TRANSPORTATION DEPARTMENT  
DATE

*[Signature]* 7/18/01  
CITY ENGINEER, ENGINEERING DIVISION  
DATE

*[Signature]* 7-2-01  
UTILITY DEVELOPMENT  
DATE

*[Signature]* 1-16-2001  
CITY SURVEYOR, ENGINEERING DIVISION  
DATE

*[Signature]* 1-29-01  
PROPERTY MANAGEMENT  
DATE

*[Signature]* 2-18-01  
QUEST COMMUNICATIONS, INC.  
DATE

*[Signature]* 1-29-01  
PROL GAS & ELECTRIC SERVICES  
DATE

*[Signature]* 1-29-01  
COMCAST CABLE  
DATE

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easements rights to which it may be entitled.

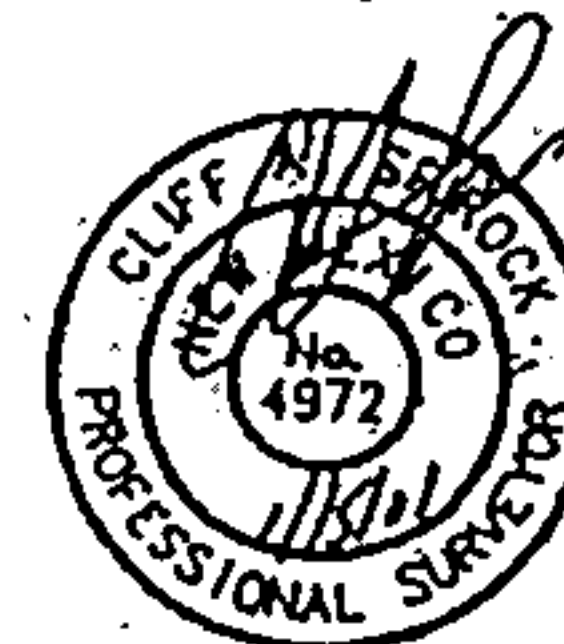
### CITY OF ALBUQUERQUE PLAT CERTIFICATION

#### SURVEYOR'S CERTIFICATION

I, CLIFF A. SPIROCK, HEREBY AFFIRM THAT I AM A DULY QUALIFIED REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO AND DO CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION; SHOWS ACCURATE DIMENSIONS, AND LAND AREAS; SHOWS ALL EASEMENTS AND RESTRICTIONS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON. TITLE COMPANIES, UTILITY COMPANIES OR OTHER PARTIES EXPRESSING AN INTEREST, I FURTHER CERTIFY THAT THIS PLAT MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, MEETS THE "MINIMUM STANDARDS FOR LAND SURVEYS" SET FORTH BY THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

CLIFF A. SPIROCK, N.M.P.S. #4972

DATE



SHEET 1 OF 2

DATE	JANUARY, 2001
SCALE	1" = 60'
PLANNED	CSC
STAMP	JCU
FILE NO.	H837-02-800
LAND PLANNING	P.O. Box 1308
COMMUNITY SCIENCES CORPORATION	Corona, N.M. 87404

### LOT DATA:

CASE NO. \_\_\_\_\_  
GROSS SUBDIVISION ACRES: 8.3613 AC  
NO. OF EXISTING TRACTS: 1  
NO. OF NEW TRACTS: 2  
DATE OF SURVEY: DECEMBER 18, 2000  
S.P. TALOS LOG: 2001141010

### TREASURER'S CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #  
1015-058221088 30906

PROPERTY OWNER OF RECORD: Medical Arts Building  
BERNALILLO COUNTY TREASURER'S OFFICE  
BY: *[Signature]* DATE: 7/27/2001

### FREE CONSENT AND DEDICATION

THE SUBDIVISION SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AND SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY DECLARE THAT NO STREETS OR PUBLIC RIGHTS-OF-WAY ARE CREATED HEREON NOR ARE ANY UTILITY OR DRAINAGE EASEMENTS CREATED HEREON, AND DO HEREBY GRANT A 20.00' PRIVATE ACCESS EASEMENT AS SHOWN HEREON, AND CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED.

MEDICAL ARTS SQUARE LLC

BY: *[Signature]*  
(MR. JOHN HOMOEN)

DATE: 7/26/01

STATE OF NEW MEXICO )

SS

COUNTY OF BERNALILLO )

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON 16 DAY OF January 2001

BY: \_\_\_\_\_

ATTEST: *[Signature]* NOTARY PUBLIC

MY COMMISSION EXPIRES: August 27, 2002





COMMUNITY SCIENCES CORPORATION - CORRALES, NEW MEXICO - (505) 897-0000

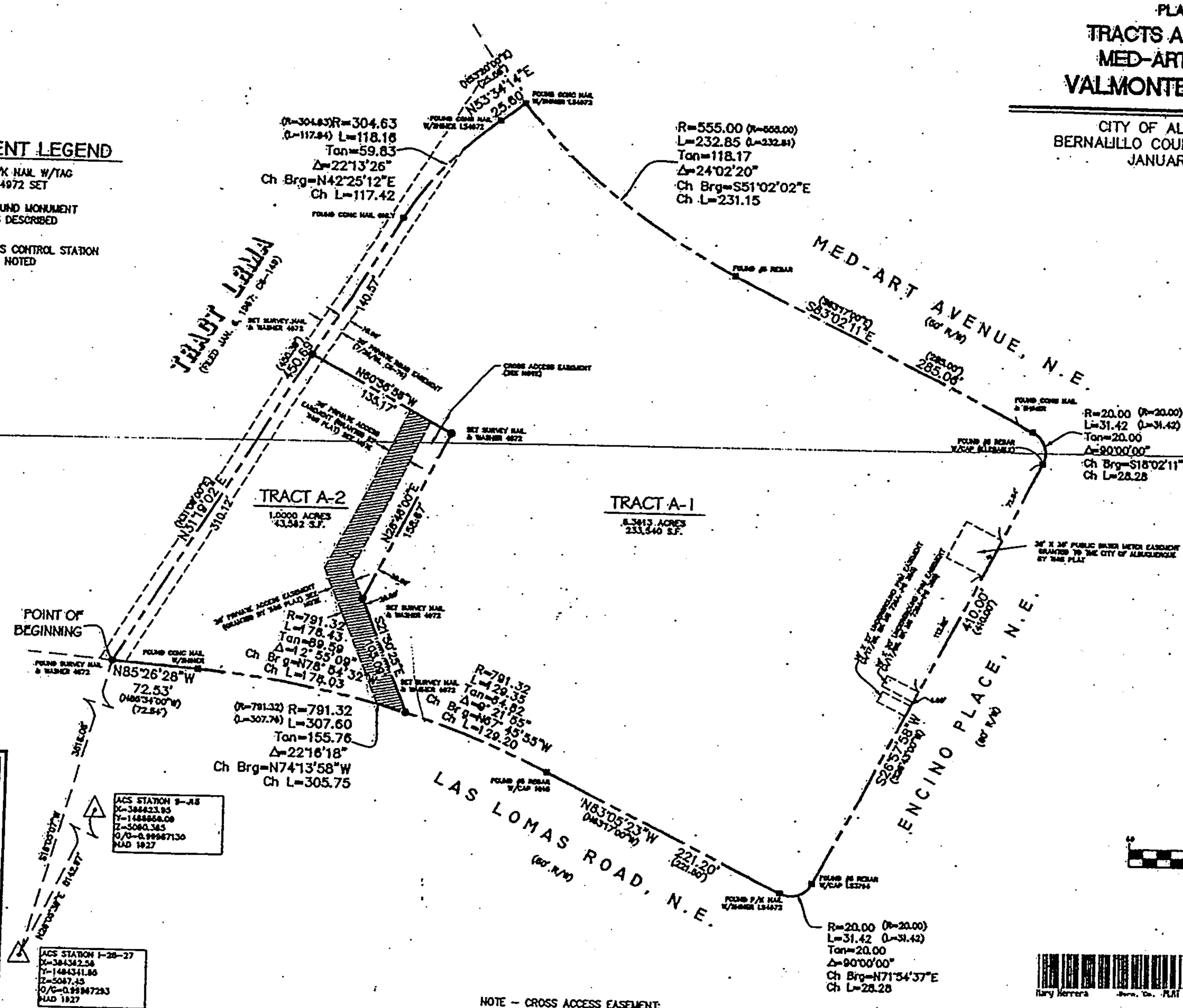
SECTION  
HYDROLOGY

MAY 13 2008

RECEIVED

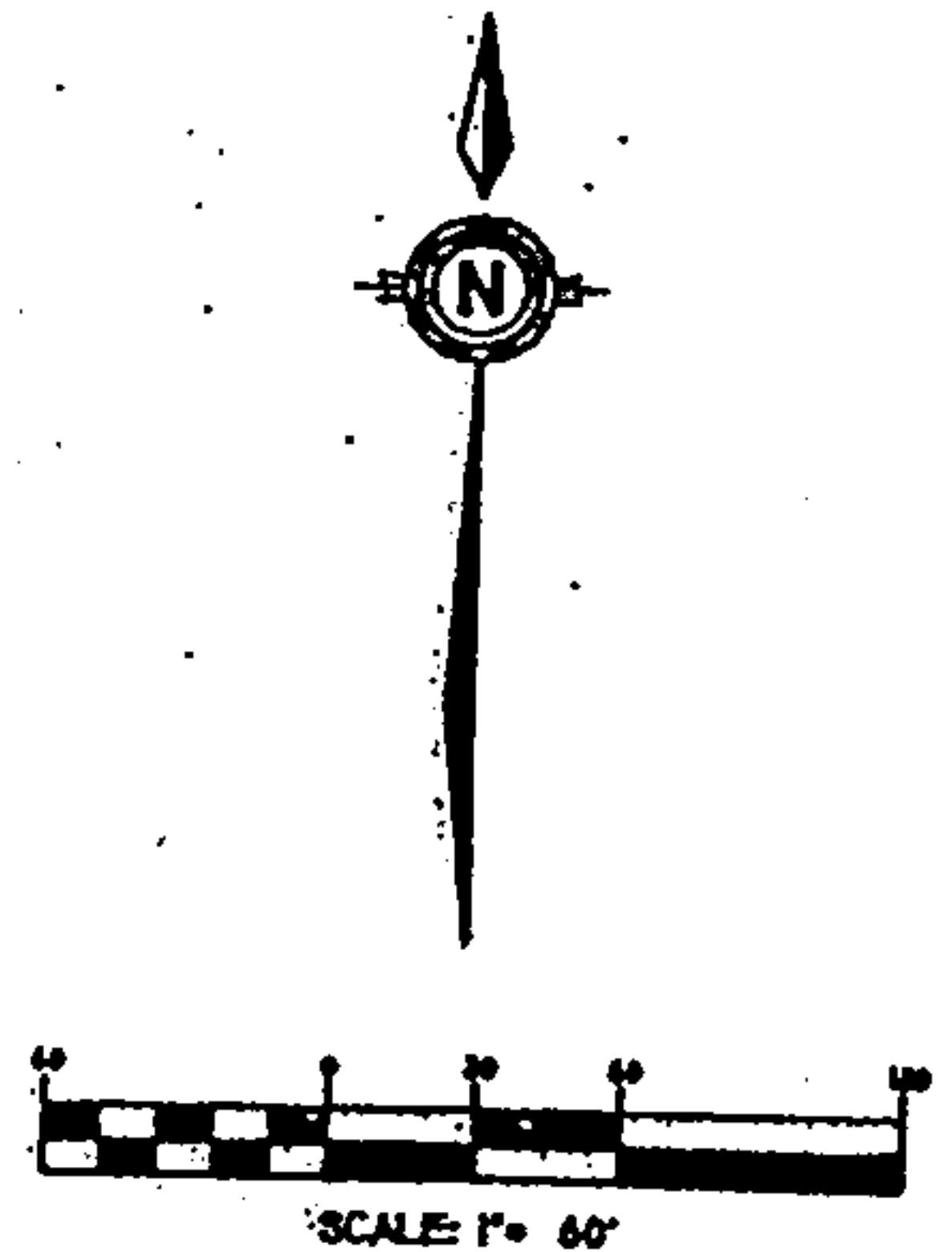
### MONUMENT LEGEND

- P/K NAIL W/TAG  
LS4972 SET
- FOUND MONUMENT  
AS DESCRIBED
- △ ACS CONTROL STATION  
AS NOTED



## PLAT OF TRACTS A-1 AND A-2 MED-ART SQUARE VALMONTE ADDITION

CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
JANUARY, 2001



2001060298  
Page 2 of 2  
01/27/2001 04:02  
R1-2001C Pg.217

SHEET 2 OF 2

community  
sciences  
corporation

DATE: JANUARY, 2001  
SCALE: 1" = 60'  
DESIGNER: CSO  
DRAWN: JCM  
CHECKED: JCM  
LAW FIRM: H&B-02-600  
ADDRESS: 10000  
CITY: ALBUQUERQUE, N.M. 87104