

CITY OF ALBUQUERQUE



October 7, 2008

Alexander Finale, R.A.
Ron Montoya Design Group
8724 Alameda Park Dr. NE Ste A
Albuquerque, NM 87113

Re: Amerstone Town Homes #1, 915 Edith Blvd. NE, Traffic Circulation Layout
Architect's Stamp dated 9-22-08 (J15-D093)

Dear Mr. Finale,

The TCL submittal received 9-23-08 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

PO Box 1293

Albuquerque

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

NM 87103

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

www.cabq.gov

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 12/2005)

315/0693

PROJECT TITLE: 915 Edith Amerstone Townhouse ZONE MAP: _____
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Lot A Chavez - Chris Subd
CITY ADDRESS: 915 Edith

ENGINEERING FIRM: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

OWNER: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: Ron Montoya Design / Alex Finale CONTACT: Yolanda
ADDRESS: 8724 Alameda Park Dr. NE PHONE: 823-6474
CITY, STATE: ABQ NM ZIP CODE: 87113

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:
____ DRAINAGE REPORT
____ DRAINAGE PLAN 1st SUBMITTAL
____ DRAINAGE PLAN RESUBMITTAL
____ CONCEPTUAL G & D PLAN
____ GRADING PLAN
____ EROSION CONTROL PLAN
____ ENGINEER'S CERT (HYDROLOGY)
____ CLOMR/LOMR
____ ☒ TRAFFIC CIRCULATION LAYOUT
____ ENGINEER'S CERT (TCL)
____ ENGINEER'S CERT (DRB SITE PLAN)
____ OTHER (SPECIFY) _____

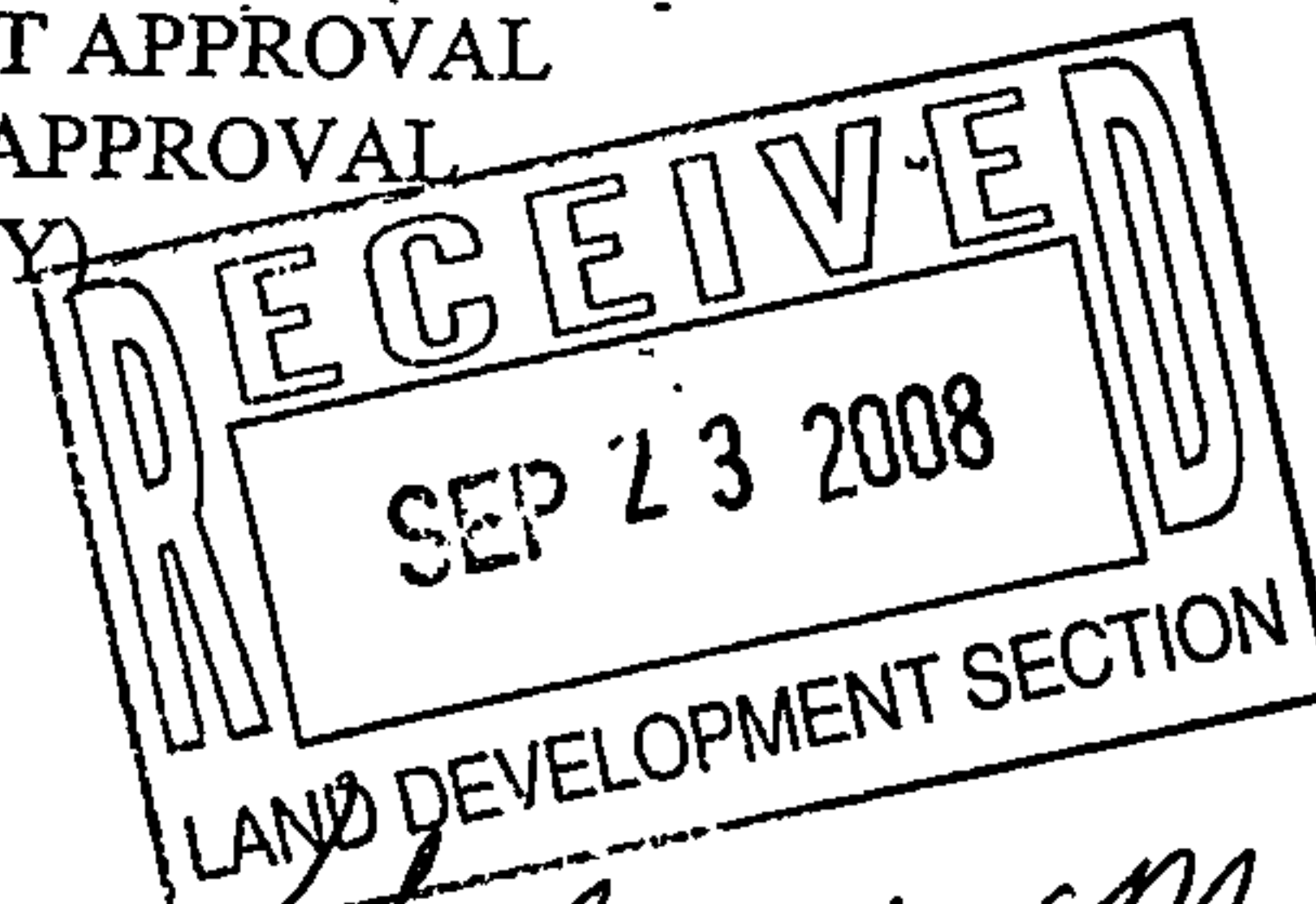
CHECK TYPE OF APPROVAL SOUGHT:
____ SIA/FINANCIAL GUARANTEE RELEASE
____ PRELIMINARY PLAT APPROVAL
____ S. DEV. PLAN FOR SUB'D APPROVAL
____ S. DEV. FOR BLDG. PERMIT APPROVAL
____ SECTOR PLAN APPROVAL
____ FINAL PLAT APPROVAL
____ FOUNDATION PERMIT APPROVAL
____ ☒ BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY (PERM)
____ CERTIFICATE OF OCCUPANCY (TEMP)
____ GRADING PERMIT APPROVAL
____ PAVING PERMIT APPROVAL
____ WORK ORDER APPROVAL
____ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:
____ YES
____ NO
____ COPY PROVIDED

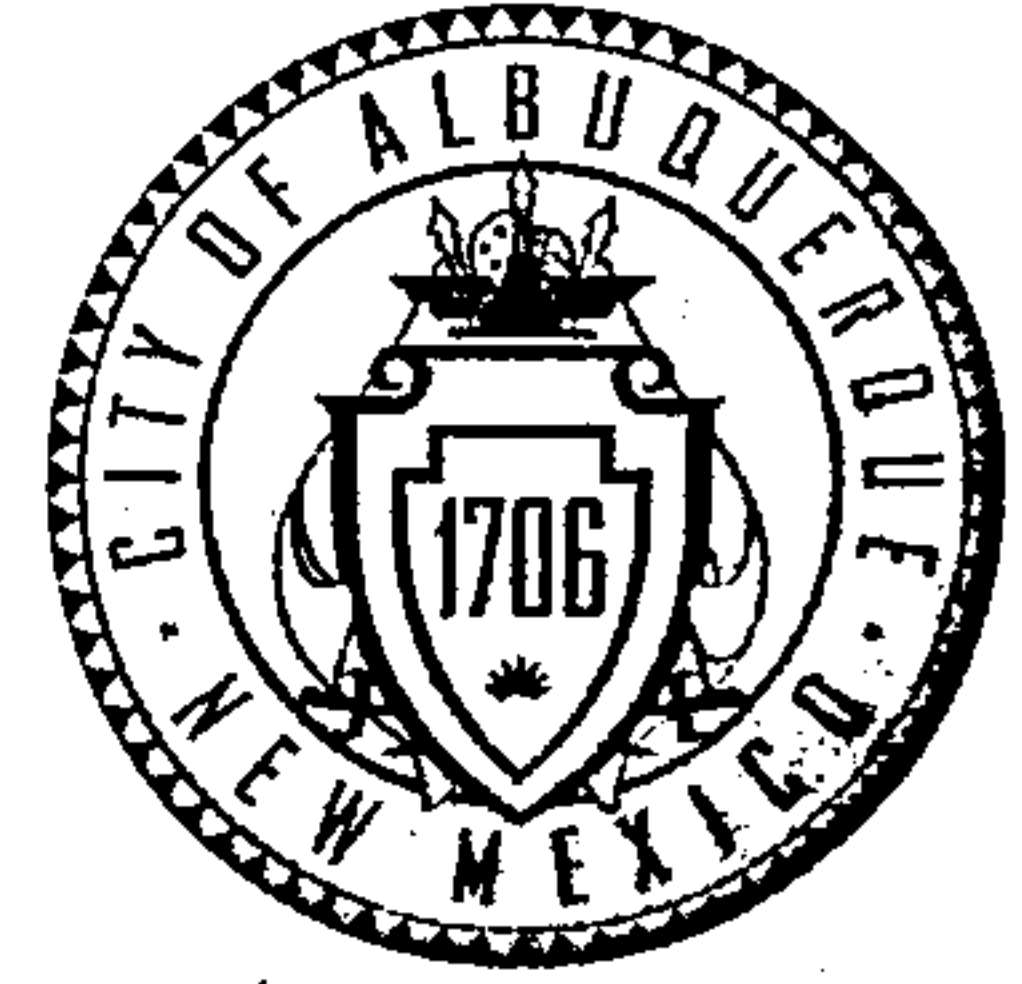
DATE SUBMITTED: 9/22/08 BY: Jolanda Montoya

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



CITY OF ALBUQUERQUE



August 29, 2008

Jackie McDowell, P.E.
McDowell Engineering, Inc.
7820 Bevely Hills Ave. NE
Albuquerque, NM 87122

Re: Amerstone Townhomes
915 Edith Blvd. NE, Grading and Drainage Plan
Engineer's Stamp dated 08-26-08 (J-15/D093)

Dear Ms. McDowell,

Based upon the information provided in your re-submittal received 08-27-08, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

PO Box 1293

Albuquerque

If you have any questions, you can contact me at 924-3630.

Sincerely,

NM 87103

Nilo E. Salgado-Fernandez, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

www.cabq.gov

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

PROJECT TITLE: AMERSTONE TOWNHOMES

DRB #: _____

EPC #: _____

ZONE MAP/DRG. FILE # ~~114~~ J-15/D093

WORK ORDER #: _____

LEGAL DESCRIPTION: TRACT A, LANDS OF CHRIS CHAVEZ

CITY ADDRESS: 915 EDITH BLVD. NE

ENGINEERING FIRM: MCDOWELL ENGINEERING, INC.

ADDRESS: 7820 BEVERLY HILLS AVE. NE

CITY, STATE: ALBUQUERQUE, NM

CONTACT: JACKIE S. MCDOWELL

PHONE: (505) 828-2430

ZIP CODE: 87122

OWNER:

ARIF AMERSHI

ADDRESS: 7503 CENTRAL AVE. NE

CITY, STATE: ALBUQUERQUE, NM

CONTACT: ARIF AMERSHI

PHONE: 379-3305

ZIP CODE: 87108

ARCHITECT:

RON MONTOYA DESIGNS

ADDRESS: 8724 Alameda Park Dr. NE

CITY, STATE: ALBUQUERQUE, NM

CONTACT: RON MONTOYA

PHONE: 823-6474

ZIP CODE: 87113

SURVEYOR:

A.M. SURVEYING

ADDRESS: 612 Cerro De Ortega Dr. SE

CITY, STATE: Rio Rancho, NM

CONTACT: MIKE SHOOK

PHONE: 896-1716

ZIP CODE: 87124

CONTRACTOR:

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR / LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERTIFICATION (TCL)
- ☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ DON'T REMEMBER

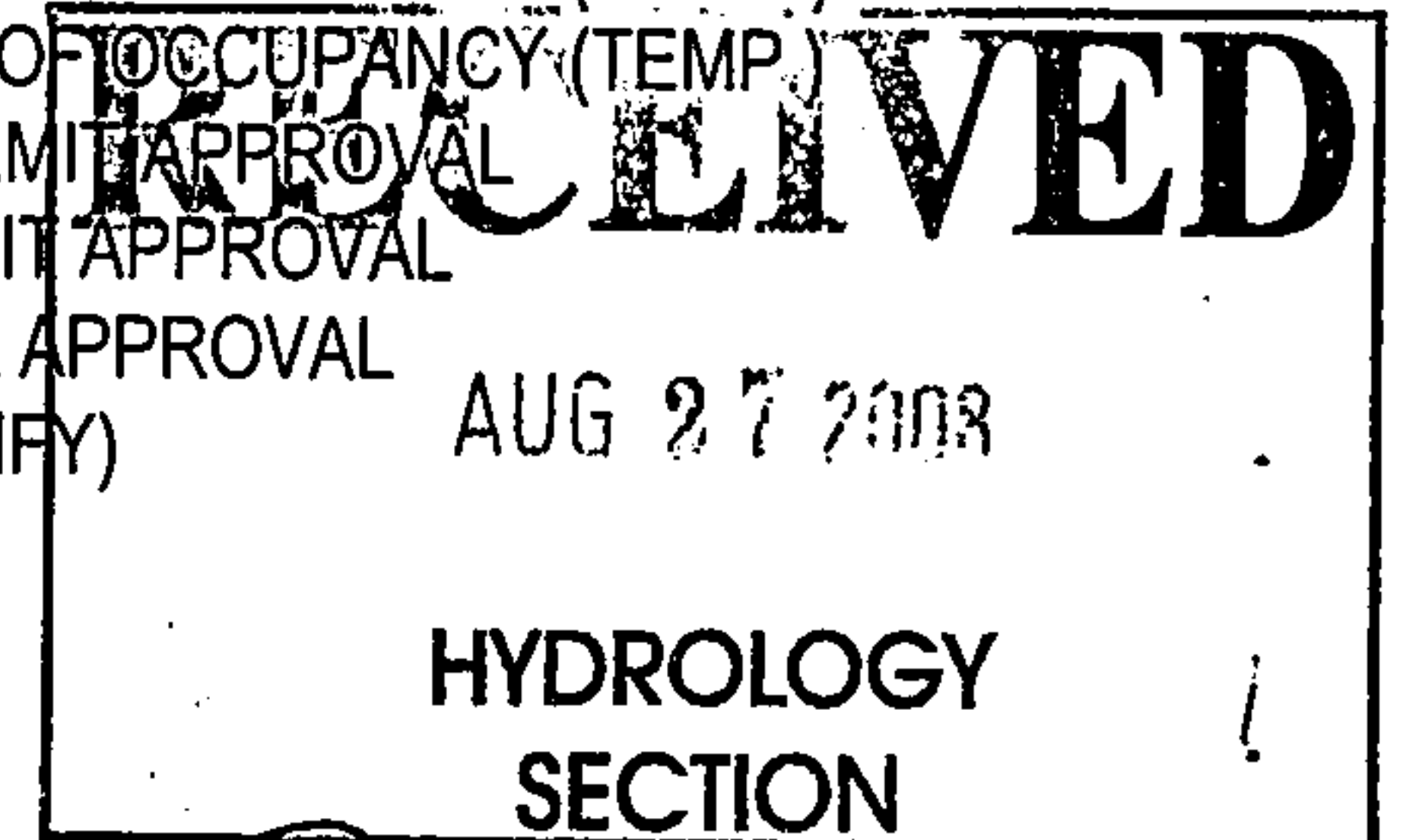
DATE SUBMITTED: 26-Aug-2008

BY: _____

Jackie S. McDowell

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope of the proposed development defines the degrees of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five acres.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits, and site plans less than five acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five acres or more.



McDowell Engineering, Inc.

Jackie Sedillo McDowell, P.E.
Civil Engineering Consultant

August 26, 2008

Mr. Nilo E. Salgado-Fernandez, PE
Senior Engineer, Planning Dept.
Development and Building Services
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: AMERSTONE TOWNHOMES
915 Edith Blvd. NE Grading & Drainage Plan (J-15/D093)**

Dear Mr. Salgado-Fernandez:

We received the comments from your letter dated August 21, 2008 and offer the following response:

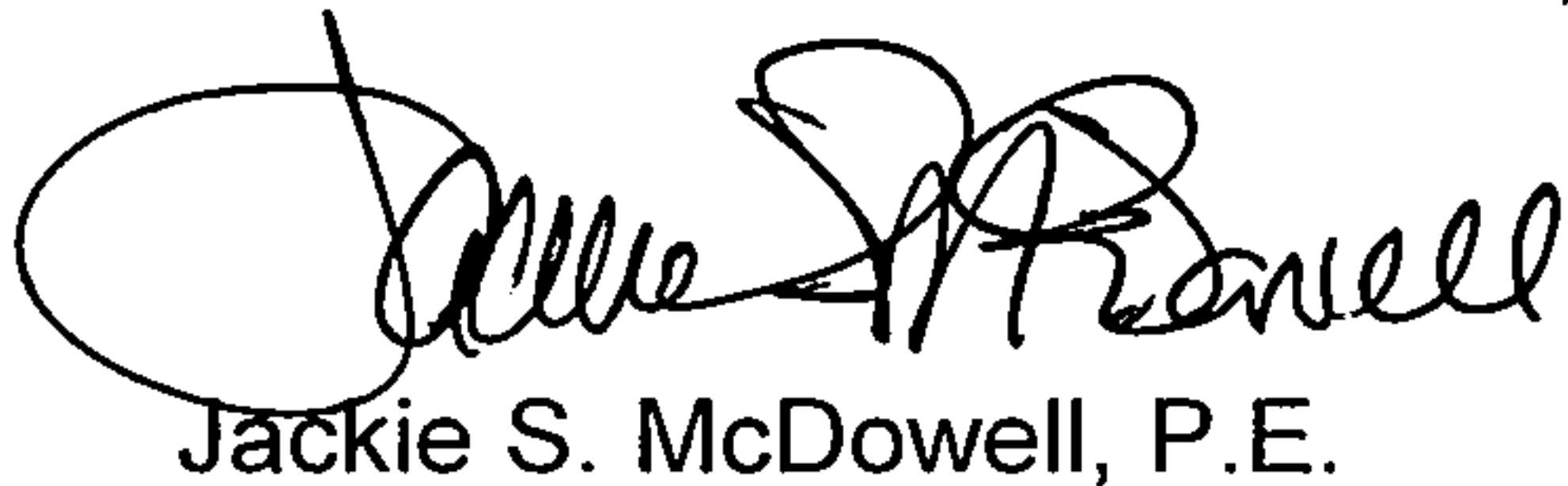
- The wall has been adjusted to provide a 6" freeboard from the water surface elevation and top of wall.
- It has been specified on the plan for water proofing treatment along the wall.

Your timely approval of the plan for building permit is appreciated.

If you have any questions, please do not hesitate to contact me.

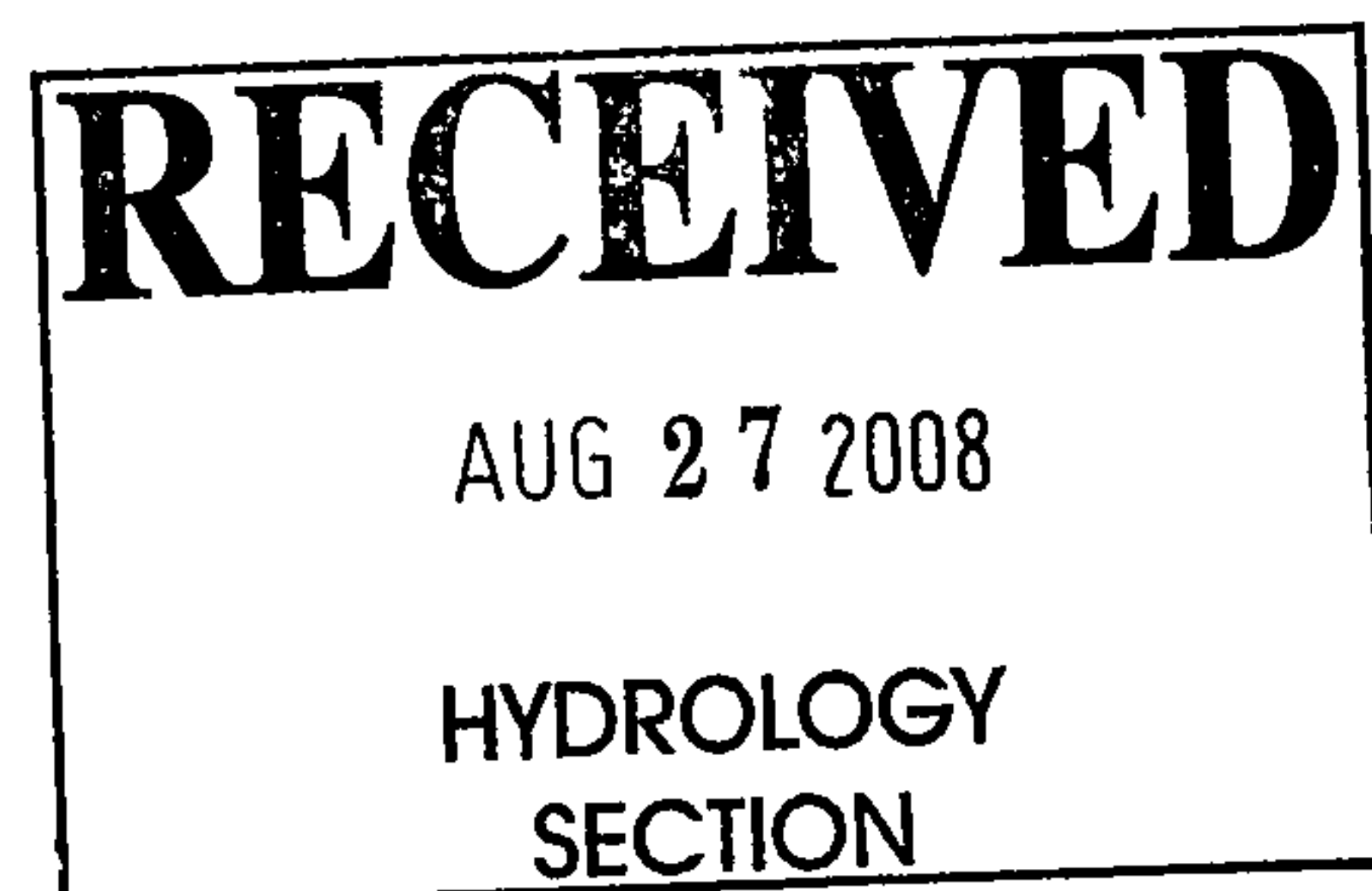
Sincerely,

MCDOWELL ENGINEERING, INC.



Jackie S. McDowell, P.E.

Copy: Owners



McDowell Engineering, Inc.

7820 Beverly Hills Ave. NE

Albuquerque, NM 87122

Tele: 505-828-2430

Fax: 505-821-4857

LETTER OF TRANSMITTAL

TO: Nito Salgado-Fernandez
COA
Hydrology

DATE: 8-26-08

PROJ. #: _____

RE: AMERSH TOWNHOMES (J-15/D93)

WE ARE SENDING YOU: ☐ Attached ☐ Under Separate Cover via _____ the following items:

COPIES	DATE	DESCRIPTION
1	8/26/08	Revised Grading & Drainage Plan
1		Response letter to comments
1		Drainage Info. Sheet

THESE ARE TRANSMITTED as check below:

☐ For Approval ☐ For Your Use ☐ As Requested ☐ For Review & Comment

☐ Other _____

REMARKS: _____

COPY TO: Julianner

SIGNED: Jackie

Jackie S. McDowell, P.E.

If enclosures are not as noted, kindly notify us at once.

CITY OF ALBUQUERQUE



August 21, 2008

Jackie S. McDowell, P.E.
McDowell Engineering, Inc.
7820 Beverly Hills Ave. NE
Albuquerque, NM 87122

Re: Amerstone Townhouses
915 Edith Blvd NE, Grading and Drainage Plan (Revised)
Engineer's Stamp dated 08-18-08 (J-15/D093)

Dear Ms. McDowell,

Based upon the information provided in your submittal received 08-20-08, the above referenced plan is not approved for Building Permit until the following comments are addressed.

- Hydrology needs a minimum 6"(inch) freeboard from water surface elevation and top of wall.
- You'll need to specify on plans a water proofing treatment for proposed retaining wall.

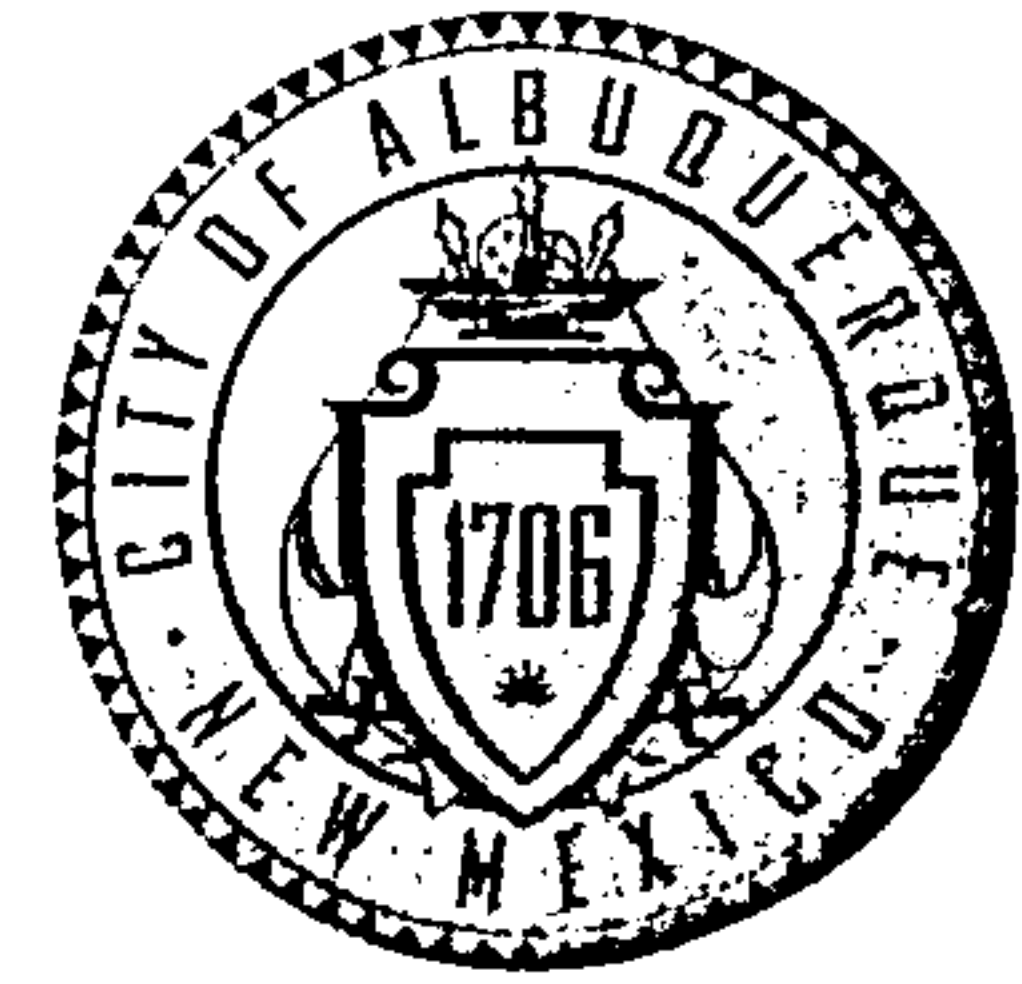
If you have any questions, you can contact me at 924-3630.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

CITY OF ALBUQUERQUE



September 12, 2008

Alexander Finale, R.A.
Ron Montoya Design Group
8724 Alameda Park Dr. NE Ste A
Albuquerque, NM 87113

**Re: Amerstone Town Homes- # 1, 915 Edith Blvd. NE,
Traffic Circulation Layout
Architect's Stamp dated 9-08-08 (J15-D093)**

Dear Mr. Finale,

Based upon the information provided in your submittal received 9-08-08, the
above referenced plan cannot be approved for Building Permit until the following
comment is addressed:

- The current scale does not appear to be accurate. Please provide the appropriate scale, preferably 1:10 or 1:20. Per the *Development Process Manual*, Chapter 27, Section 7, Part F.II, a scale of 1"=20' is recommended for sites of less than 5 acres.

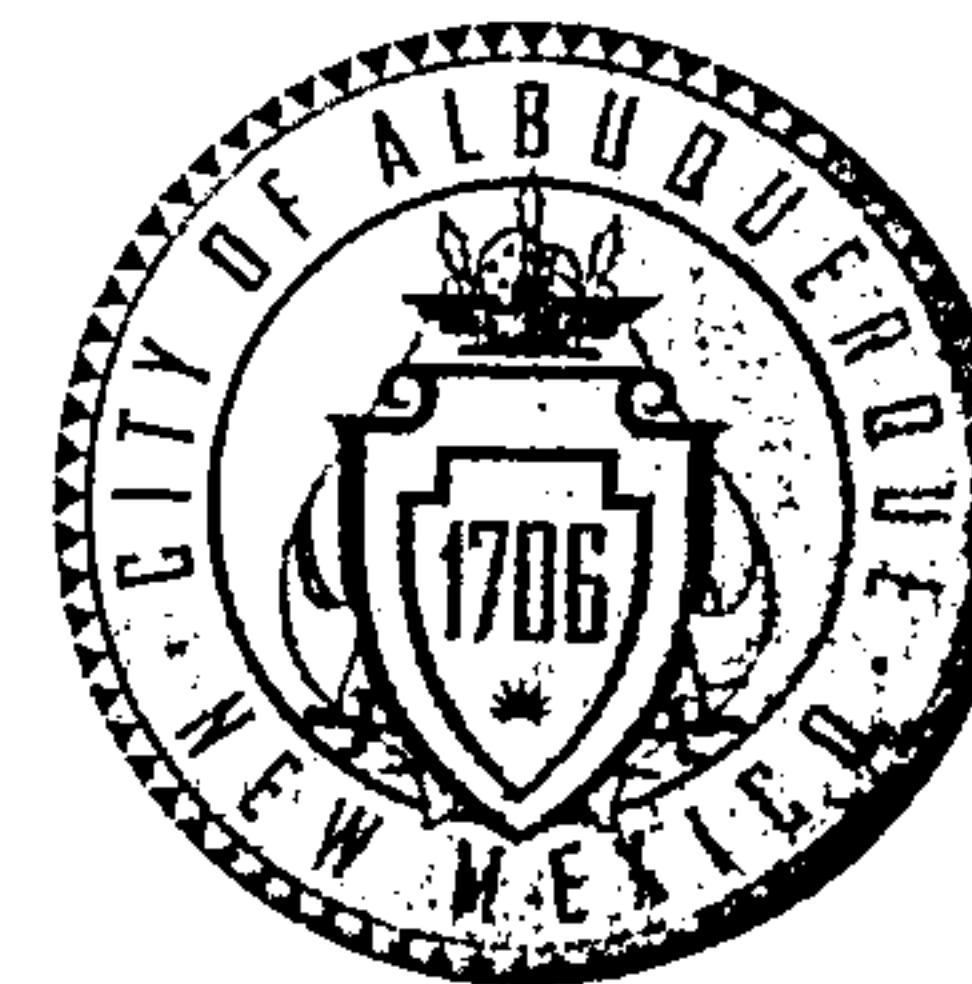
If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

CITY OF ALBUQUERQUE



August 21, 2008

Alexander Finale, R.A.
Ron Montoya Design Group
8724 Alameda Park Dr. NE Ste A
Albuquerque, NM 87113

**Re: Amerstone Town Homes- # 1, 915 Edith Blvd. NE,
Traffic Circulation Layout
Architect's Stamp dated 8-19-08 (J15-D093)**

Dear Mr. Finale,

Based upon the information provided in your submittal received 8-20-08, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. The current scale does not appear to be accurate. Please provide the appropriate scale, preferably 1:10 or 1:20. Per the *Development Process Manual*, Chapter 27, Section 7, Part F.II, a scale of 1"=20' is recommended for sites of less than 5 acres.
2. Include the site's legal description on the plans.
3. The shading shown on this plan does not allow for the necessary information to be provided. What is the purpose of this shading? Is this area a proposed garage? Driveway? Please clarify.

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

CITY OF ALBUQUERQUE



July 1, 2008

Alexander Finale, R.A.
Ron Montoya Design Group
8724 Alameda Park Dr. NE Ste A
Albuquerque, NM 87113

Re: Amerstone Town Homes- # 1, 915 Edith Blvd. NE, Traffic Circulation Layout
No Architect's Stamp (J-15/D093)

Dear Mr. Finale,

Based upon the information provided in your submittal received 6-11-08, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- ✓1. The traffic circulation layout (TCL) must be stamped, signed, and dated by an engineer or architect licensed in the state of New Mexico.
- ✓2. Provide parking calculations per the City of Albuquerque Zoning Code. Include the calculation worksheet on the TCL.
3. Dimension all parking areas and clarify their location.
- ④. Per the Development Process Manual, Chapter 27, Section 2, Part B.1, only the following scales may be used:
 - 1" = 50'
 - 1" = 40'
 - 1" = 20'
 - 1" = 10'
 - 1" = 100' (for overall layouts only)
- ✓5. Clarify all lot lines; the plan states "Zero Lot Lines," but at the top of the page there is a conflicting note stating "Minimum 10' between buildings." Which note applies; which note will be enforced?
- ✓6. What is the exact width of Edith Blvd? Will this site have median access, or will this site have right in and right out access only?
- ✓7. The vicinity map is unclear. Where is the exact location of the site? Provide a more legible vicinity map showing the exact location. Include the legal description of the site.
- ✓8. Where is north on the plan? Please include a north arrow.

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

CITY OF ALBUQUERQUE



August 21, 2008

Jackie S. McDowell, P.E.
McDowell Engineering, Inc.
7820 Beverly Hills Ave. NE
Albuquerque, NM 87122

Re: Amerstone Townhouses
915 Edith Blvd NE, Grading and Drainage Plan (Revised)
Engineer's Stamp dated 08-18-08 (J-15/D093)

Dear Ms. McDowell,

Based upon the information provided in your submittal received 08-20-08, the above referenced plan is not approved for Building Permit until the following comments are addressed.

- Hydrology needs a minimum 6"(inch) freeboard from water surface elevation and top of wall.
- You'll need to specify on plans a water proofing treatment for proposed retaining wall.

If you have any questions, you can contact me at 924-3630.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

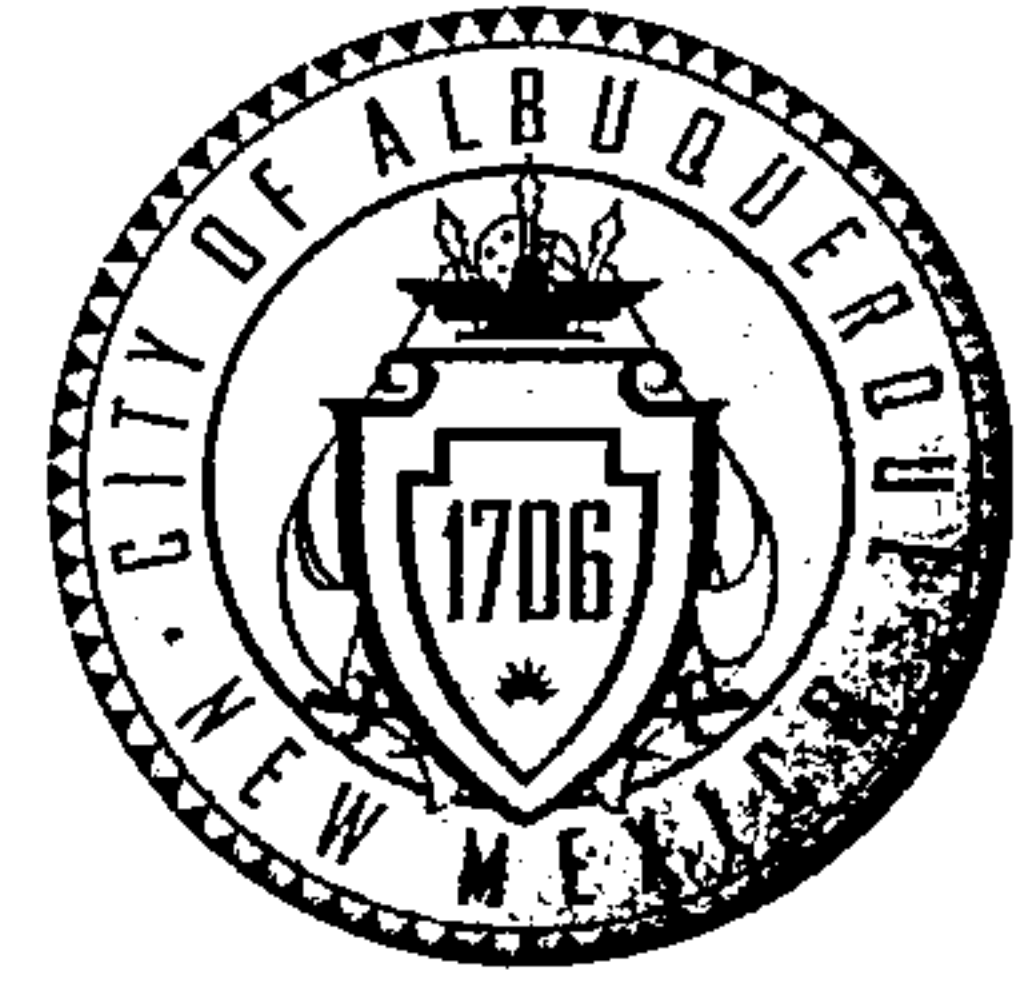
PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

CITY OF ALBUQUERQUE



August 14, 2008

Jackie S. McDowell, P.E.
McDowell Engineering, Inc.
7820 Beverly Hills Ave. NE
Albuquerque, NM 87122

Re: Amerstone Townhouses
915 Edith Blvd NE, Grading and Drainage Plan
Engineer's Stamp dated 07-21-08 (J-15/D093)

Dear Ms. McDowell,

Based upon the information provided in your submittal received 07-22-08, the above referenced plan is not approved for Building Permit until the following comments are addressed.

- Provide spot elevations around the perimeter of the building (front and back).
- Water surface elevation for proposed pond will need to be provided.

If you have any questions, you can contact me at 924-3630.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov