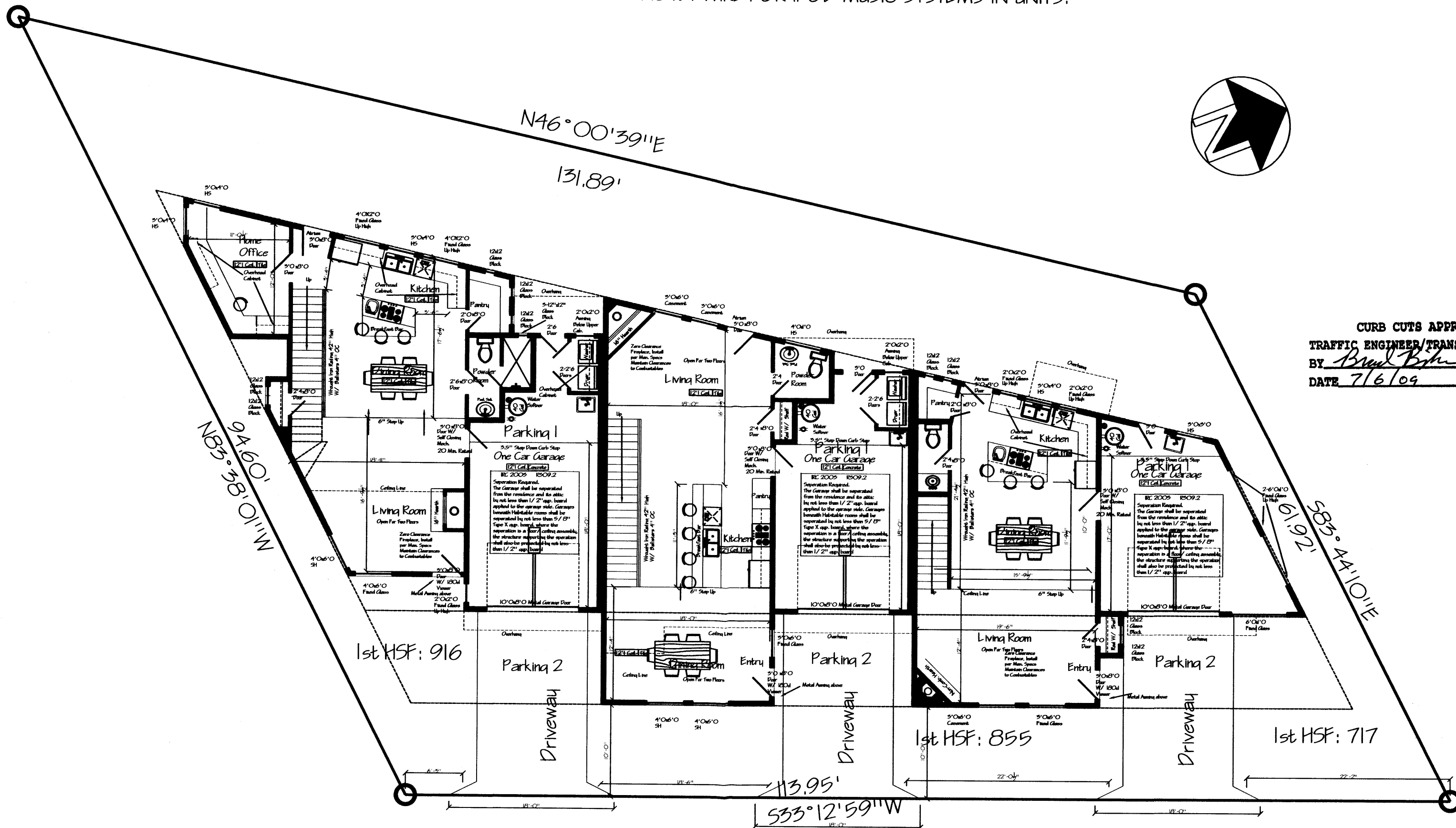
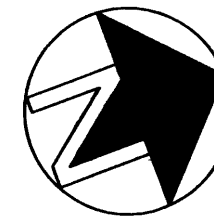


NOTE: WIRE FOR IPOD MUSIC SYSTEMS IN UNITS.



CURB CUTS APPROVED
TRAFFIC ENGINEER/TRANS. DEV. DIV.
BY Bruce B. B.
DATE 7/6/09

915 Edith Boulevard NE (54' in width Approx)

3-Curb Cuts of 18' in Width

TCL / Site Plan

Scale 1" = 10'

Ron Montoya Custom Designs
Residential Design and Drafting Services
4801 Alameda N.E. Suite G-1 New Mexico Design Center
(505) 825-6474 Cell (505) 307-1003

July 2, 2009
TCL / Site Plan

Amerstone Townhomes
Albuquerque New Mexico

Final Drawings
Checked By:
Vanessa

Sheet

Of 12 Sheets

Minimum 10' Between Buildings

Minimum 10' Between Buildings

PARKING CALCULATIONS

BASED ON THE CITY OF ALBUQUERQUE OFF-STREET

PARKING REGULATIONS SECTION 14-16-3-1

ONE SPACE PER BATH

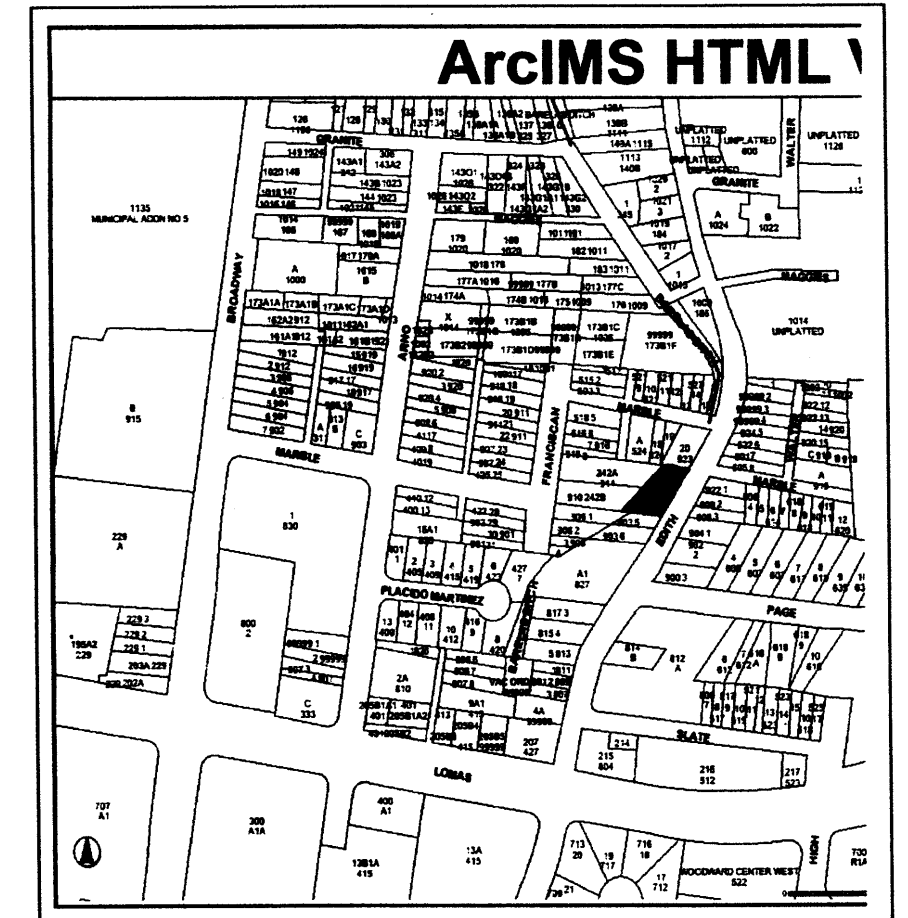
BUT NOT LESS THAN 2 PER DWELLING UNIT

3 TOWNHOME UNITS = 6 PARKING SPACES

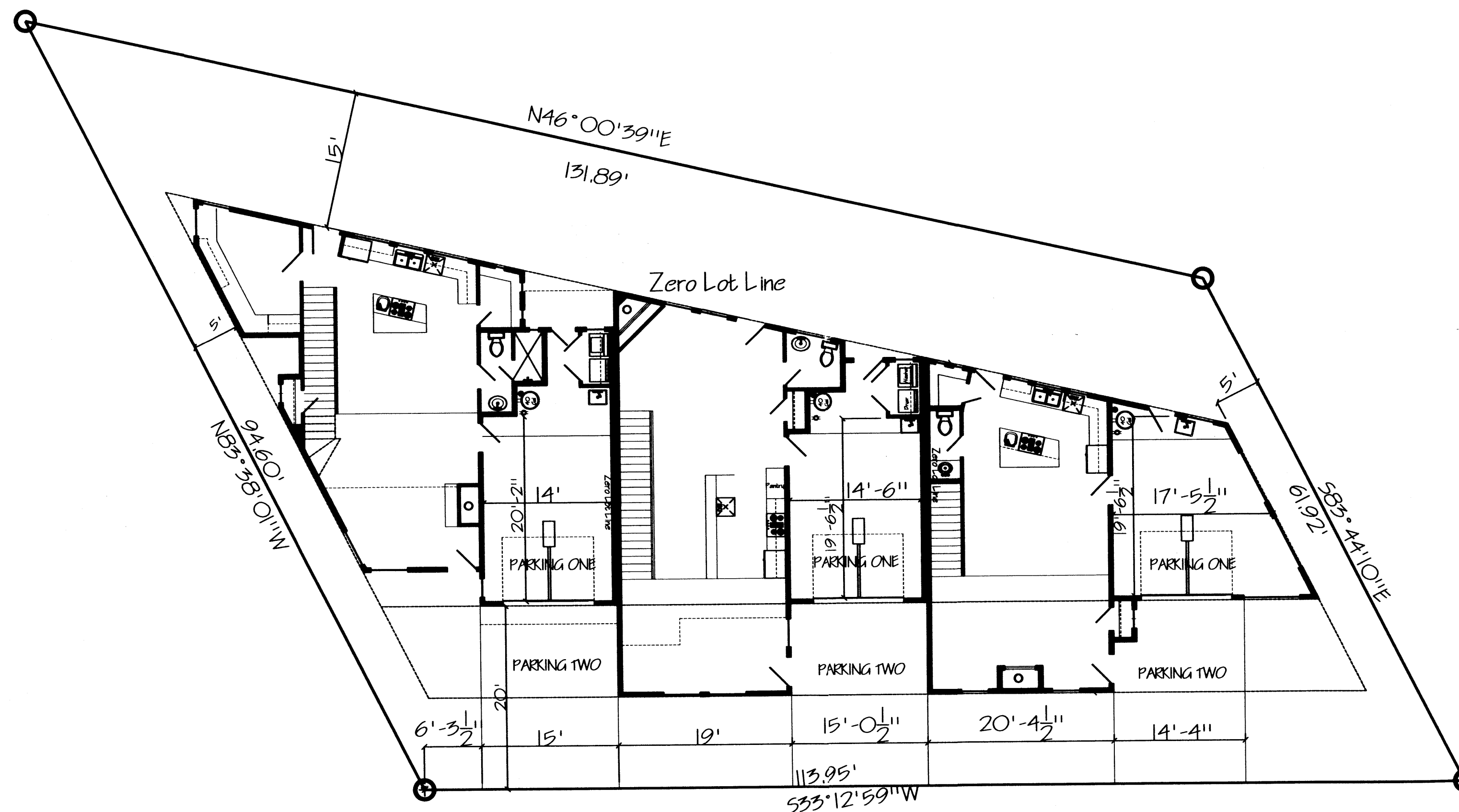
2 PARKING PER UNIT

6 TOTAL PARKING SPACES PROVIDED

915 Edith Blvd NE



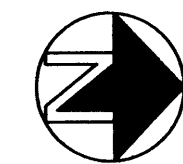
Ron Montoya Custom Designs
Residential Design and Drafting Services Fax 823-6487
8724 Alameda Park Drive N.E., Suite A Albuquerque
(505) 823-6474 Cell: (505) 823-6777



RIGHT IN AND RIGHT OUT ACCESS

STREET WIDTH IS 54' APPROX.

No Curb Cut Required Rolled Curb



Public Infrastructure shown
on these plans for information
only and not part of approval.
Separate DRC/Permit approval
and Work Order required.

Legal Description	
Lot	A
Block	O
Subdivision	CHAVEZ-CHRS
County	

ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.

**TRAFFIC CIRCULATION LAYOUT
APPROVED**
[Signature]
Signed _____ Date 10/7/08



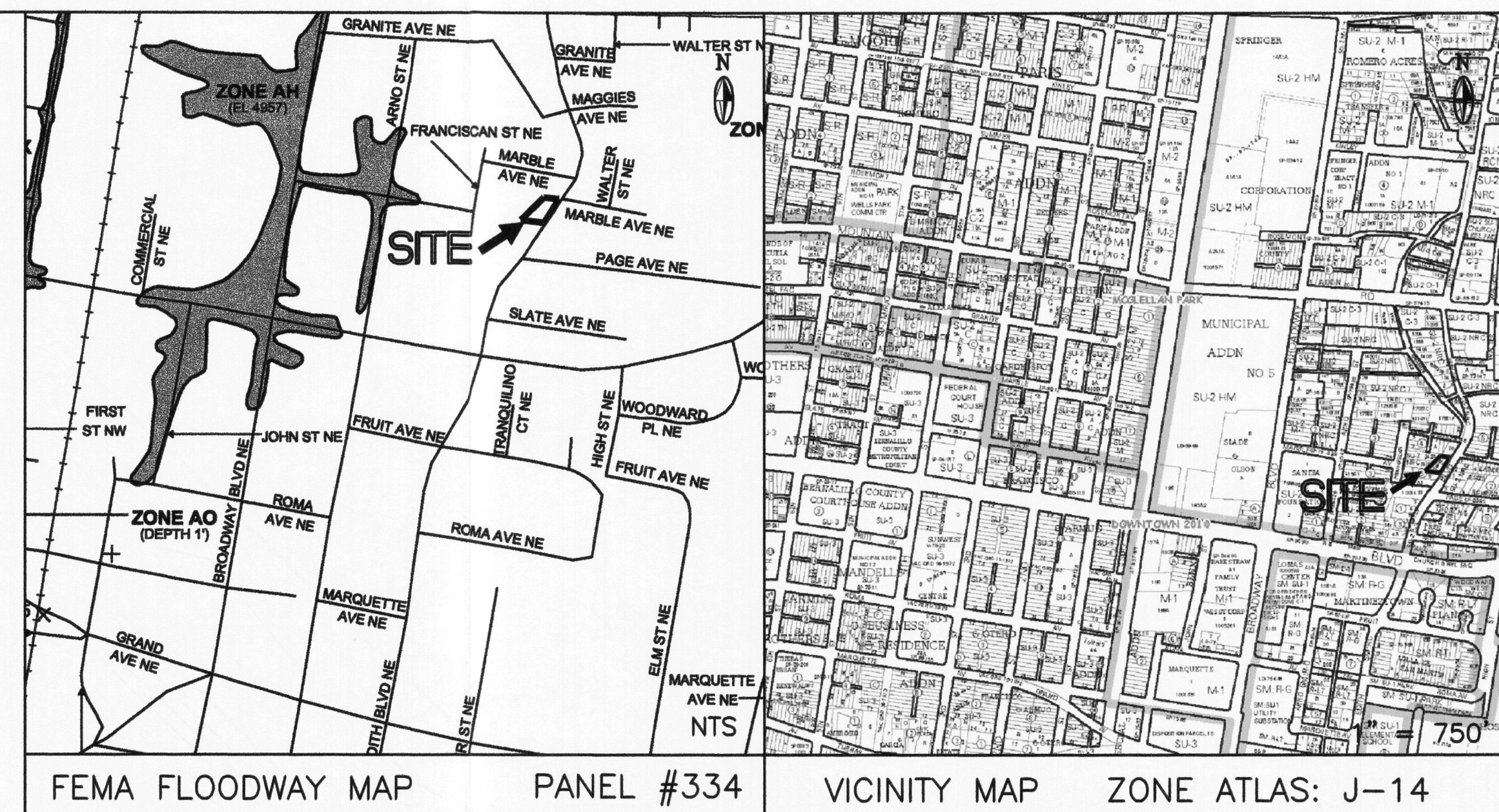
TCL / Site Plan

Scale 1" = 10'

Sept. 15, 2008
TCL / Site Plan

Amerstone Townhomes #1
Albuquerque New Mexico

Final Drawing Checked By:	Sheet
1. V. Garcia	1 Of 7 Sheets
2.	
3.	



LEGEND

	EXISTING	PROPOSED
CONTOUR	— 5820 —	— 5850 —
PROPERTY LINE	---	---
ROAD	— — — — —	— — — — —
SETBACK	---	---
RETAINING WALL	— — — — —	— — — — —
SPOT ELEVATION	68.94 68.52	68.0

SCOPE:

Pursuant to the latest City of Albuquerque Ordinance, the Drainage Plan shown hereon outlines the drainage management criteria for controlling developed runoff on and exiting the project site. Three Townhomes are proposed for the subject property, with associated parking and landscaping.

EXISTING CONDITIONS:

Presently the 0.18 acre site is undeveloped hard packed dirt. The site is bounded on the north, west and south by developed residential lots and on the east by Edith Blvd. NE. The site slopes from the east to the west. As shown by the FEMA Map Panel No. 334, the site is not located in a 100-year floodplain. No offsite runoff enters the property.

PROPOSED CONDITIONS:

As shown by the plan, the building is located within the center of the lot. On site flows will drain around the structure and flow to the west to a proposed drainage pipe. The pond area has been designed to hold the volume of water due to the development of the property in accordance with currently accepted methods. All roof drainage will discharge from the roofs to the lot and continue to flow to the west as shown on the plan.

Supplemental calculations (Attachment No. 1) have been provided to the City of Albuquerque Hydrology Department.

CALCULATIONS:

The calculations shown hereon define the 100 year/6 hour design storm falling within the project area under existing and developed conditions. The Hydrology is per "Section 22.2, Hydrology of the Development Process Manual, Volume 2, Design Criteria, for the City of Albuquerque, New Mexico in cooperation with Bernalillo County, New Mexico and the Albuquerque Metropolitan Arroyo Flood Control Authority, latest edition.

Existing Treatment Types:

Treatment A = 0.18 acres
Treatment B = 0.00 acres
Treatment C = 0.00 acres
Treatment D = 0.00 acres

Proposed Treatment Types:

Treatment A = 0.00 acres
Treatment B = 0.08 acres
Treatment C = 0.00 acres
Treatment D = 0.10 acres

Using the values above produces the following storm water flows and volumes:

Existing 100-year Flow = 0.28 cfs
Proposed 100-year Flow = 0.65 cfs

Existing 100-year Volume = 346 cu. ft.
Proposed 100-year Volume = 996 cu. ft.

The pond volume required is 1577 CF, which is the Volume of the 10 day storm.
The pond volume provided is 1697 CF.

PROPERTY ADDRESS:

915 Edith Blvd. NE

TOPOGRAPHY:

Topographic information provided by A.M. Surveying, dated June, 2008.

GENERAL GRADING NOTES:

1. THE CONTRACTOR SHALL OBTAIN A TOP SOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE, ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS, PERMITS AND APPROVALS.
3. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY CONDITIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
4. TWO WORKING DAYS PRIOR TO EXCAVATION THE CONTRACTOR SHALL CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
5. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AS SOON AS POSSIBLE TO RESOLVE THE CONFLICT WITH A MINIMUM AMOUNT OF DELAY.
6. ALL WORK ON THIS PLAN SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
7. IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE LOCATION ONLY, AND LINES MAY EXIST WHERE NONE ARE SHOWN. THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE UTILITY OWNER OR FROM EXISTING PLANS, AND THIS INFORMATION MAY BE INCOMPLETE, OR OBSOLETE, AT THE TIME OF CONSTRUCTION. THE ENGINEER HAS NOT UNDERTAKEN ANY FIELD VERIFICATION OF THESE LOCATIONS, LINE SIZES OR MATERIAL TYPE, MAKES NO REPRESENTATION THERE TO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINES, PIPELINE OR UNDERGROUND INSTALLATIONS IN OR NEAR THE AREA IN ADVANCE OF AND DURING ANY EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND UNDERGROUND FACILITIES. IN PLANNING AND CONDUCTING EXCAVATIONS, THE CONTRACTOR SHALL COMPLY WITH ALL STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
8. THE CONTRACTOR SHALL INSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY SILT FENCES OR BERMS AND BY WETTING THE SOIL TO KEEP IT FROM BLOWING.
9. THE CONTRACTOR SHALL OBTAIN ANY AND ALL PERMITS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE COMPLETION OF THE WORK PRIOR TO BEGINNING CONSTRUCTION.

GRADING
7-11-08
1=10
AME0108L

7-21-08
Rev. 8-18-08
Rev. 8-26-08

CITY OF ALBUQUERQUE, BERNALILLO COUNTY				NEW MEXICO	
TRACT A LANDS OF CHRIS CHAVEZ					
AMERSTONE TOWNHOMES GRADING & DRAINAGE PLAN					
					
TELE: (505) 828-2430				FAX: (505) 821-4857	
Designed	JSM	Drawn	STAFF	Checked	JSM
File	AMF010RI	Date	JULY 2008		
				Sheet	of
				1	1