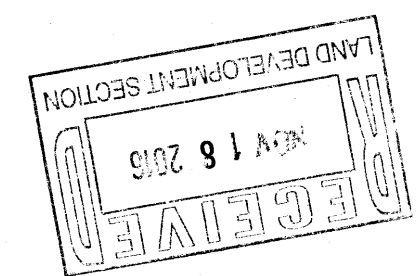
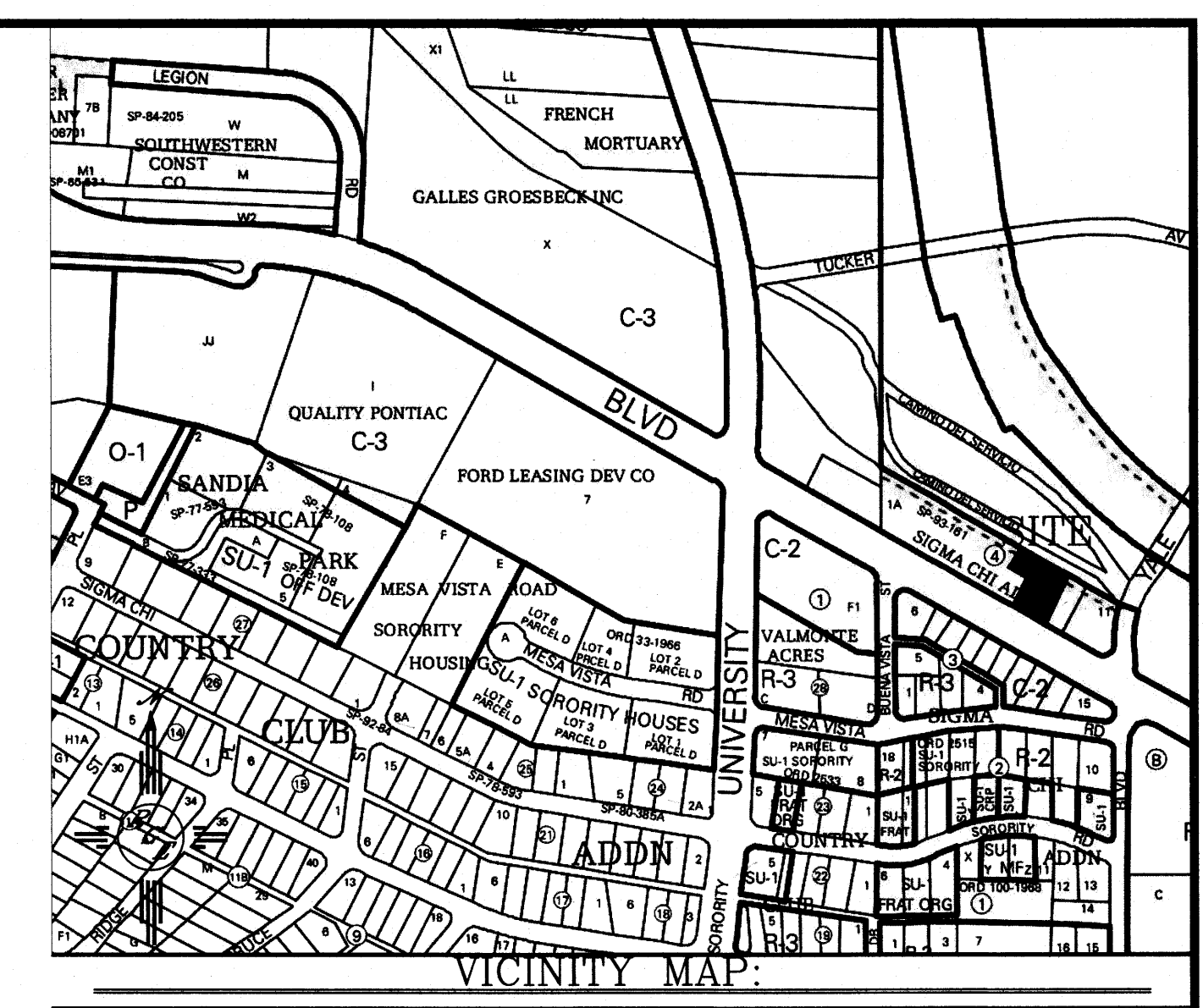
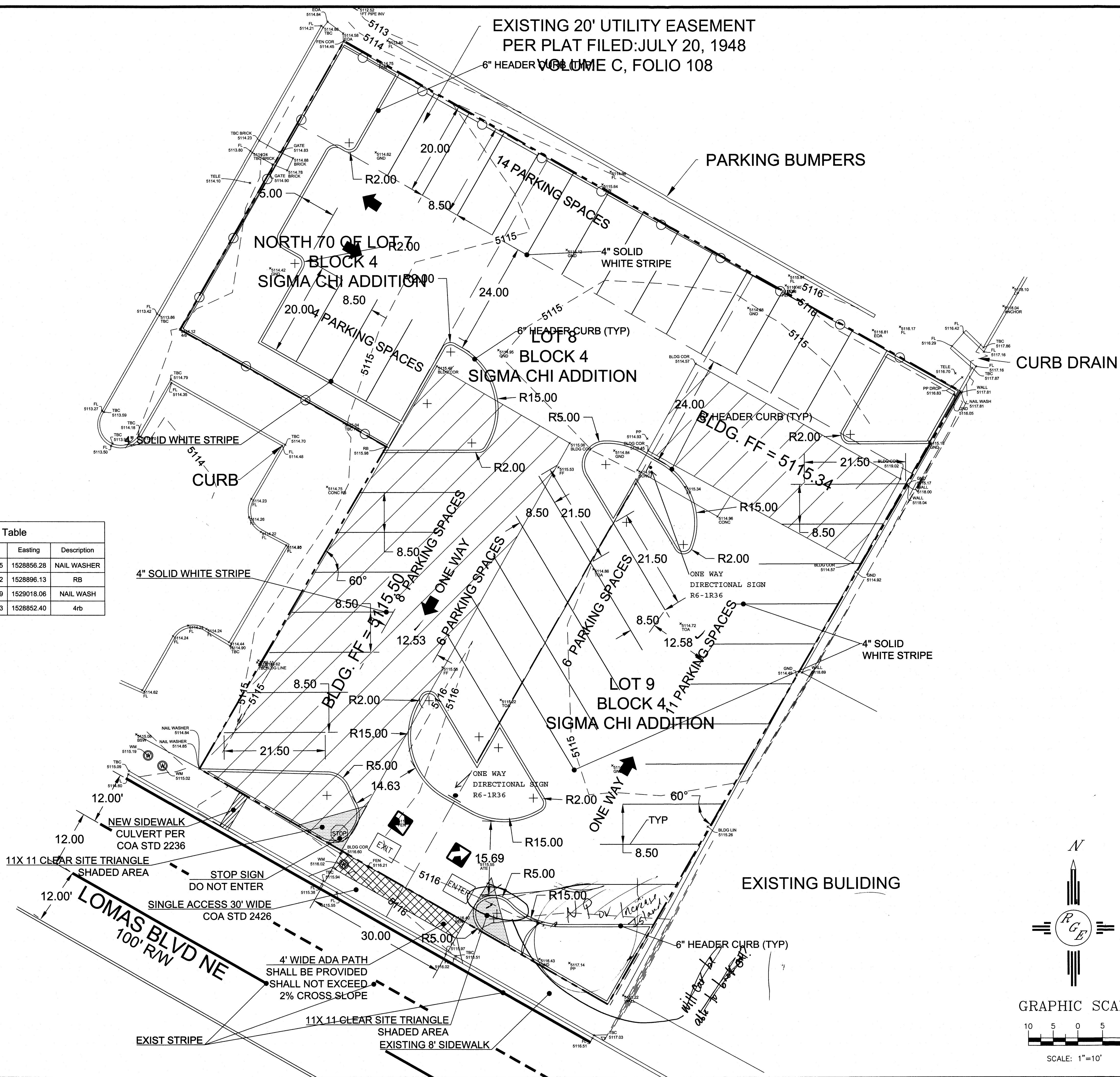
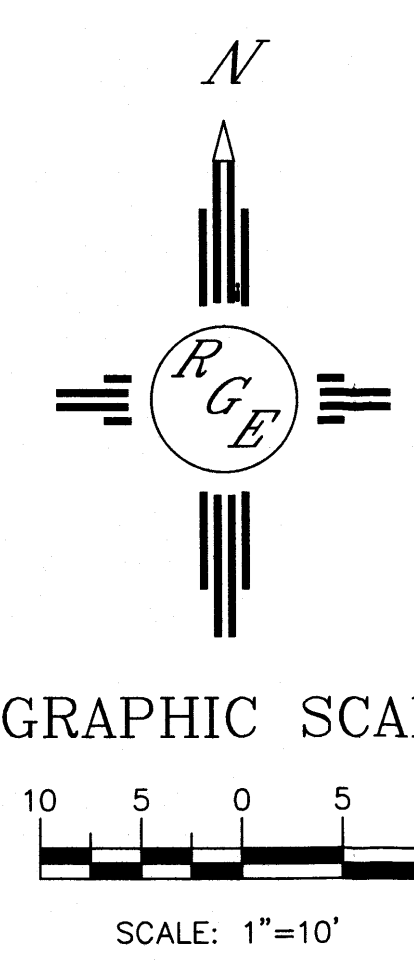


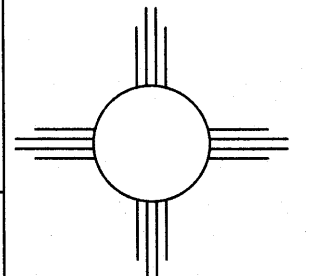
Point Table				
Point #	Elevation	Northing	Easting	Description
101	5114.85	1488026.65	1528856.28	NAIL WASHER
121	5115.98	1488095.12	1528896.13	RB
168	5117.81	1488106.79	1529018.06	NAIL WASH
507	5114.12	1488119.93	1528852.40	4rb

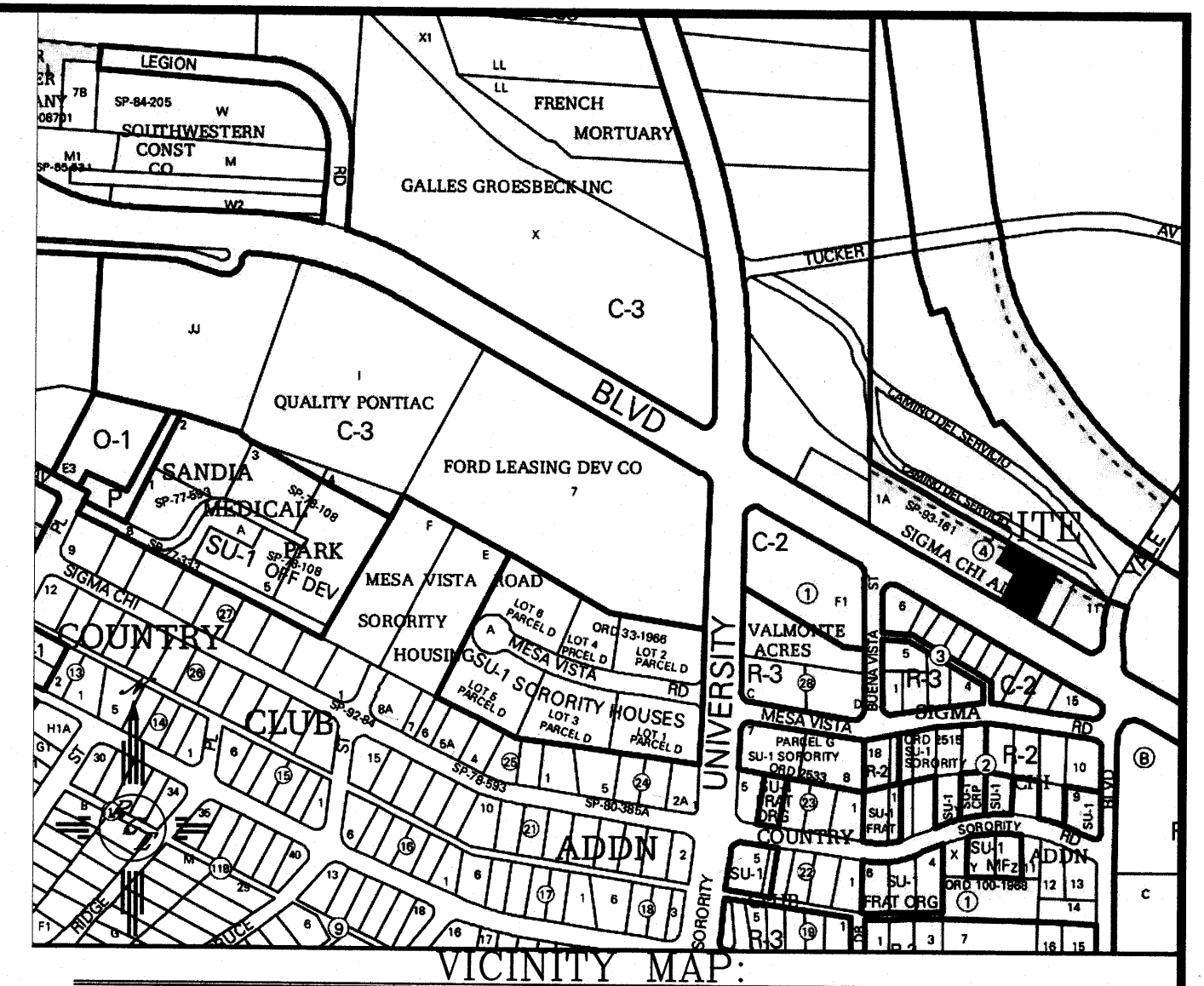


ZONING C-3
LOT AREA: 0.4229 ACRES
ADDRESS: 1835 LOMAS NE
NUMBER OF SPACES REQUIRED: 0
NUMBER OF SPACES PROVIDED: 49
ZONE GRID: J15

- NOTES:
1. ALL CURBS SHALL BE 6" HEADER CURBS UNLESS NOTED OTHERWISE
 2. ASPHALT SHALL BE MINIMUM 3" ASPHALT, REFER TO GEOTECHNICAL REPORT FOR PAVEMENT SECTION.
 3. ALL STRIPING SHALL BE PAINTED
 4. CLEAR SITE TRIANGLE- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS WITHIN THE IDENTIFIED CLEAR SITE TRIANGLE. THEREFORE, SINGES, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA
 5. ALL BROKEN OR CRACKED SIDEWALKS AND DRIVEWAYS MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER ALL DRIVEWAYS AND SIDEWALKS MUST MEET CURRENT ADA STANDARDS
 6. ALL EXISTING IMPROVEMENTS SHALL BE REMOVED
 7. ALL PAVEMENT MARKINGS SHOWN SHALL BE THERMOPLASTIC



ENGINEER'S SEAL  DAVID SOULE P.E. #14522	NORTH 70' OF LOT 7, 8, 9, BLOCK 4 SIGMA CHI ADDITION	DRAWN BY JDG
	TRAFFIC CONTROL LAYOUT	DATE 11-18-2016
 Rio Grande Engineering 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999		SHEET # 1 OF 1
		JOB #



ZONING C-3

LOT AREA: 0.4229 ACRES

ADDRESS: 1835 LOMAS NE

NUMBER OF SPACES REQUIRED: 0

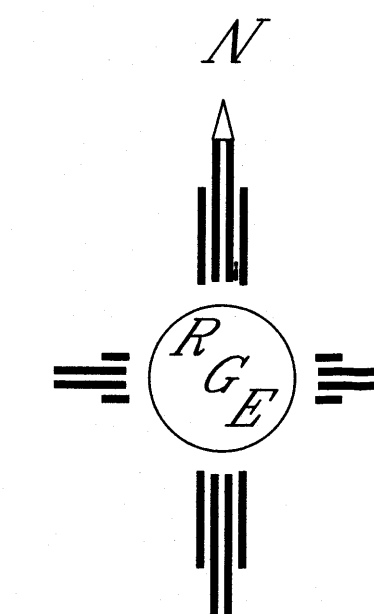
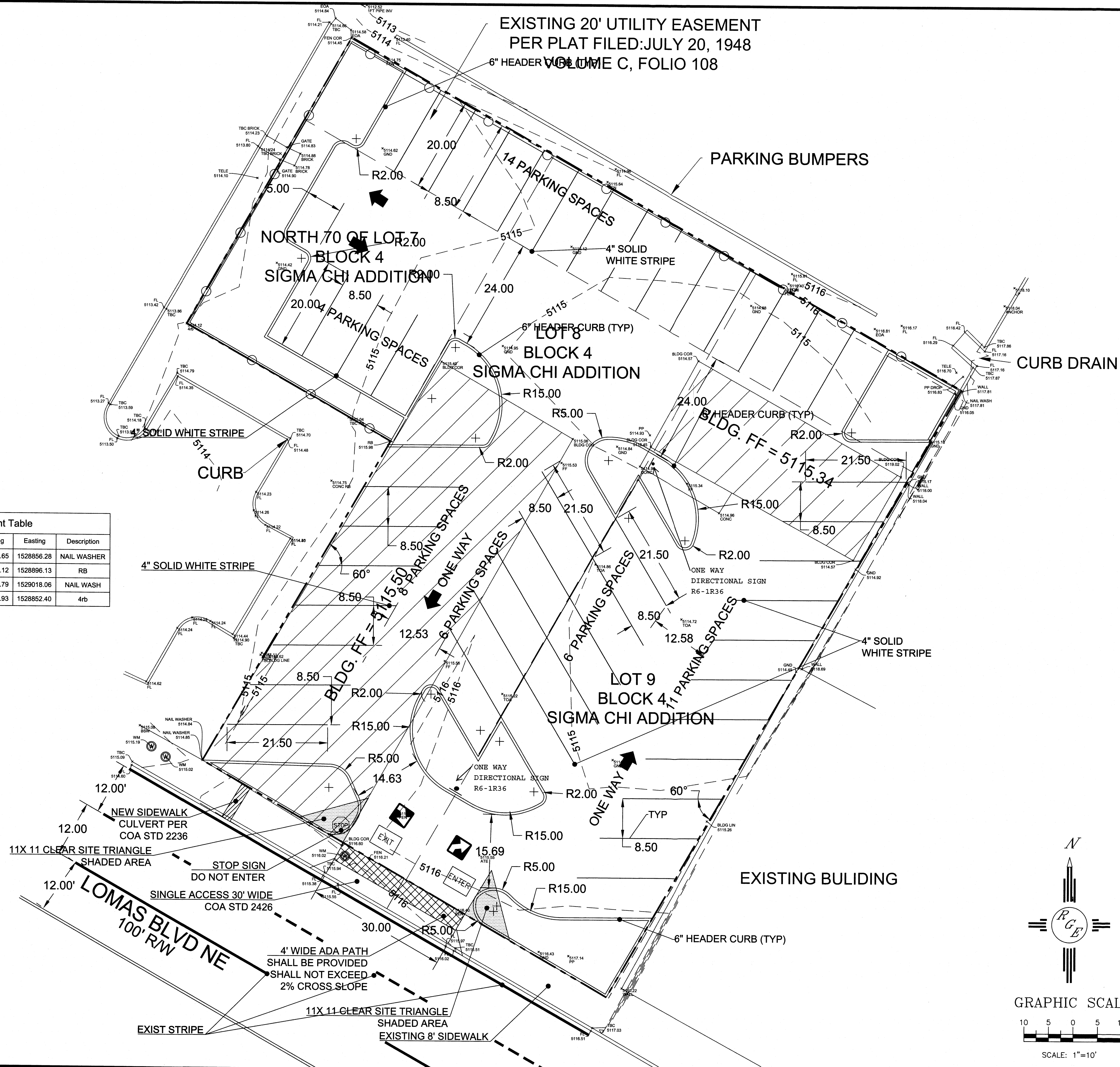
NUMBER OF SPACES PROVIDED: 49

ZONE GRID: J15

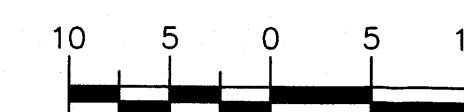
NOTES:

1. ALL CURBS SHALL BE 6" HEADER CURBS UNLESS NOTED OTHERWISE
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Point Table				
Point #	Elevation	Northing	Easting	Description
101	5114.85	1488026.85	1528856.28	NAIL WASHER
121	5115.98	1488095.12	1528896.13	RB
168	5117.81	1488106.79	1529018.06	NAIL WASH
507	5114.12	1488119.93	1528852.40	4rb



GRAPHIC SCALE



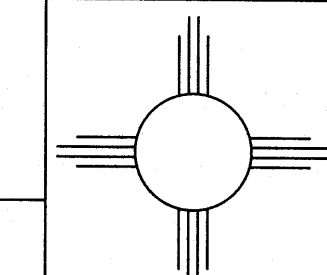
SCALE: 1"=10'

ENGINEER'S SEAL	NORTH 70' OF LOT 7, 8, 9, BLOCK 4 SIGMA CHI ADDITION	DRAWN BY JDG
	TRAFFIC CONTROL LAYOUT	DATE 11-18-2016
DAVID SOULE P.E. #14522	 <i>Rio Grande Engineering</i> 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	SHEET # 1 OF 1
		JOB #

NORTH 70' OF LOT 7, 8, 9, BLOCK 4 SIGMA CHI ADDITION

DRAWN

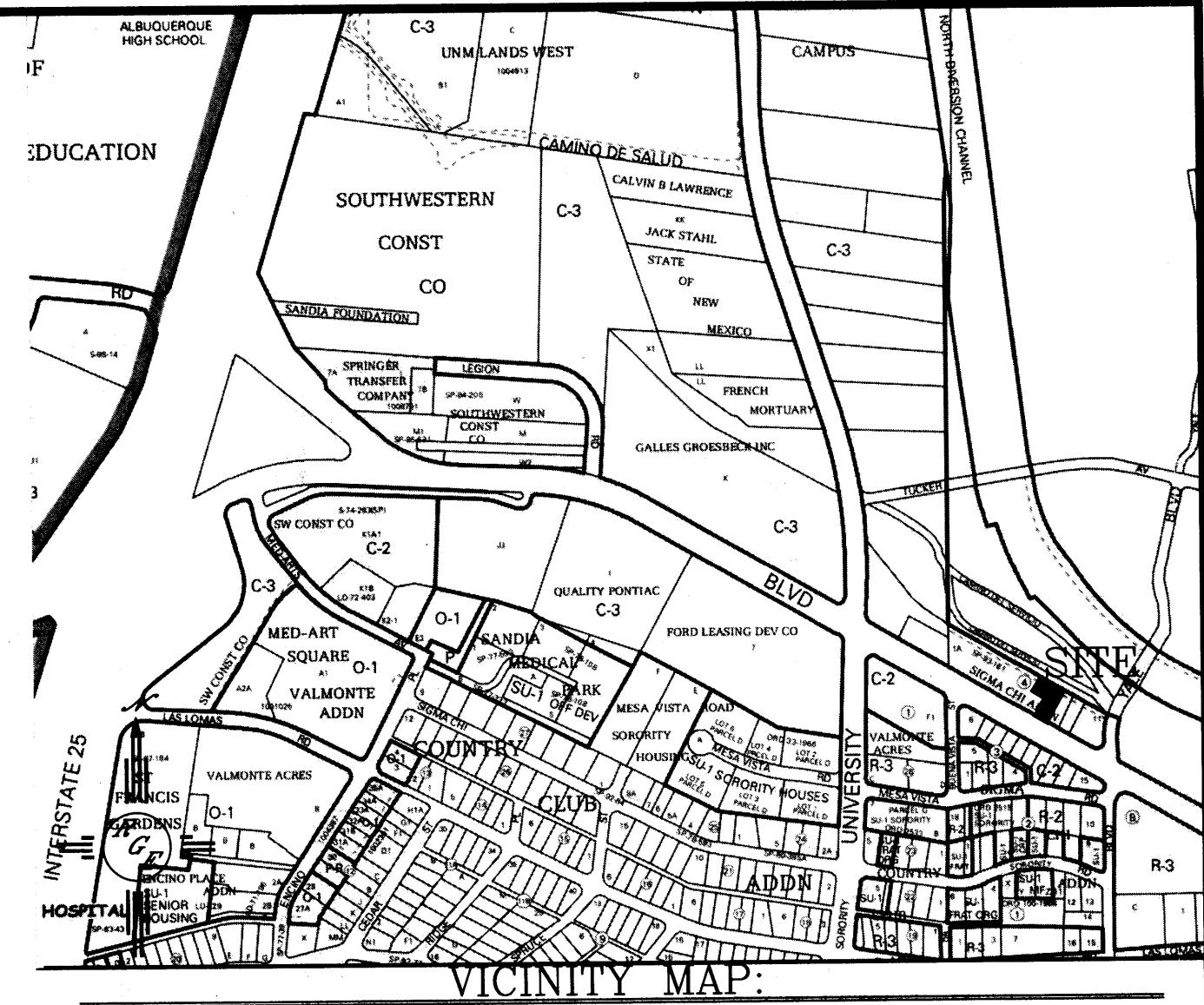
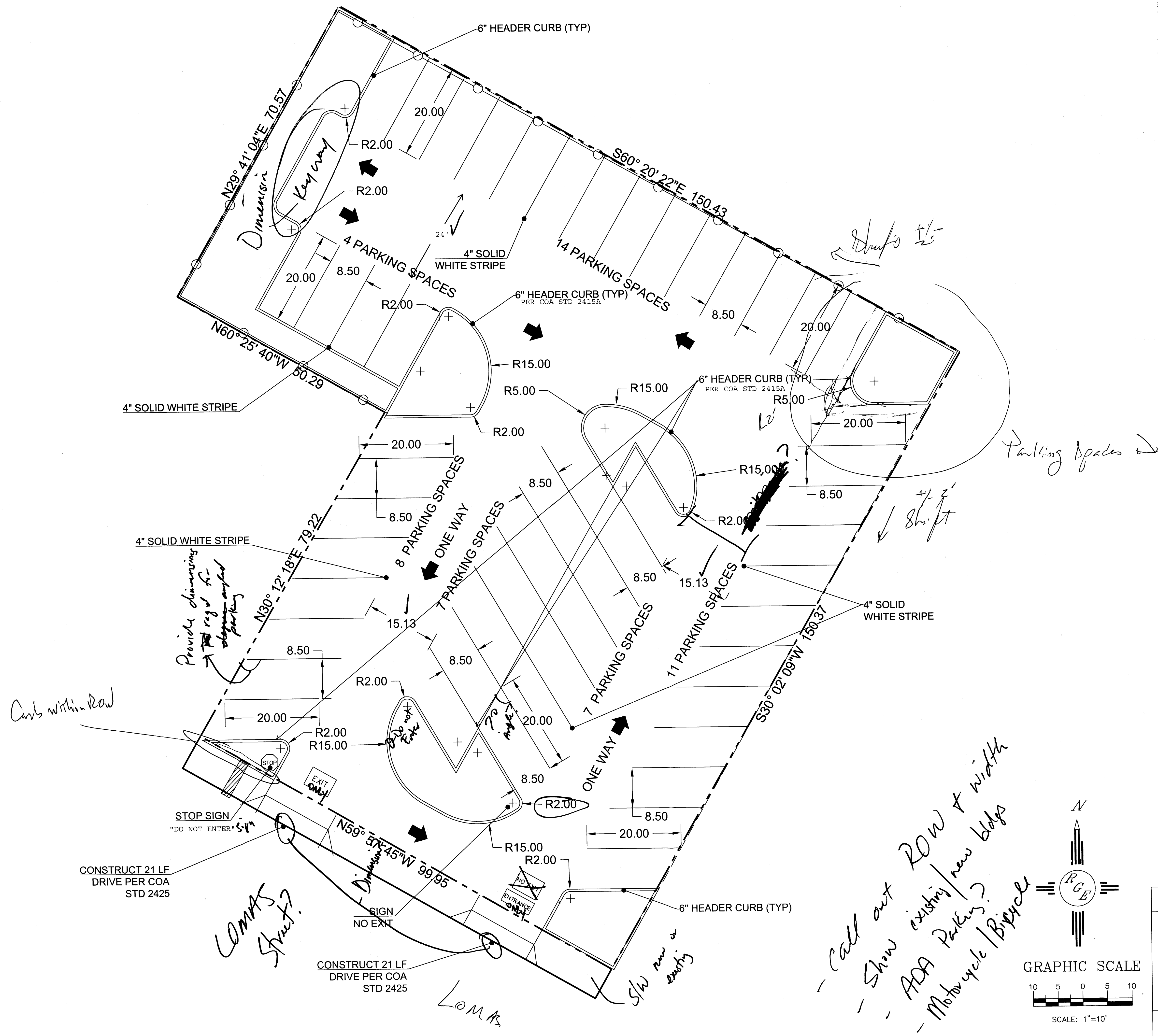
DATE
11-18-2016

TRAFFIC CONTROL
LAYOUT

*Rio Grande
Engineering*
1606 CENTRAL AVENUE SE
SUITE 201
ALBUQUERQUE, NM 87106
(505) 872-0999

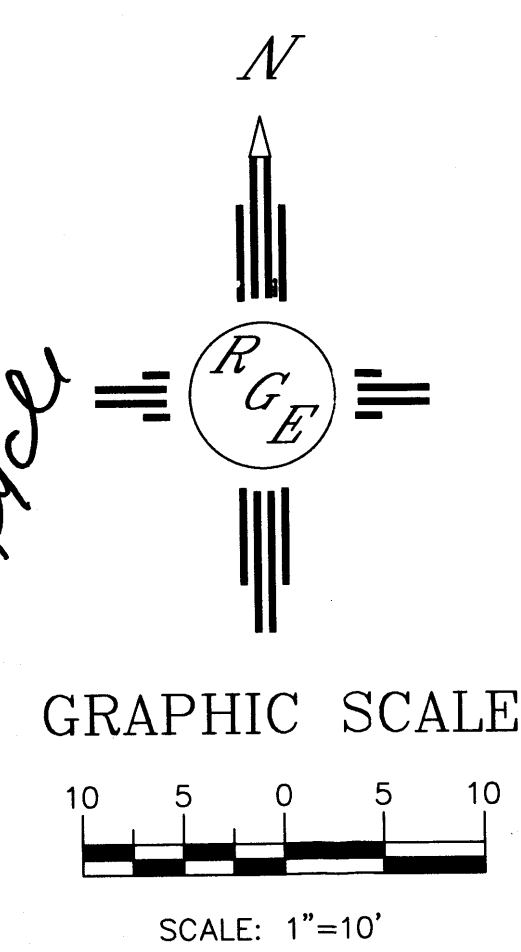
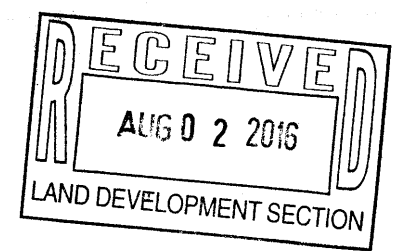
SHEET #
OF 1

JOB #



LOT 8, 9 AND NORTHERN PORTION LOT 7 BLOCK 4 SIGMA CHI ADDITION

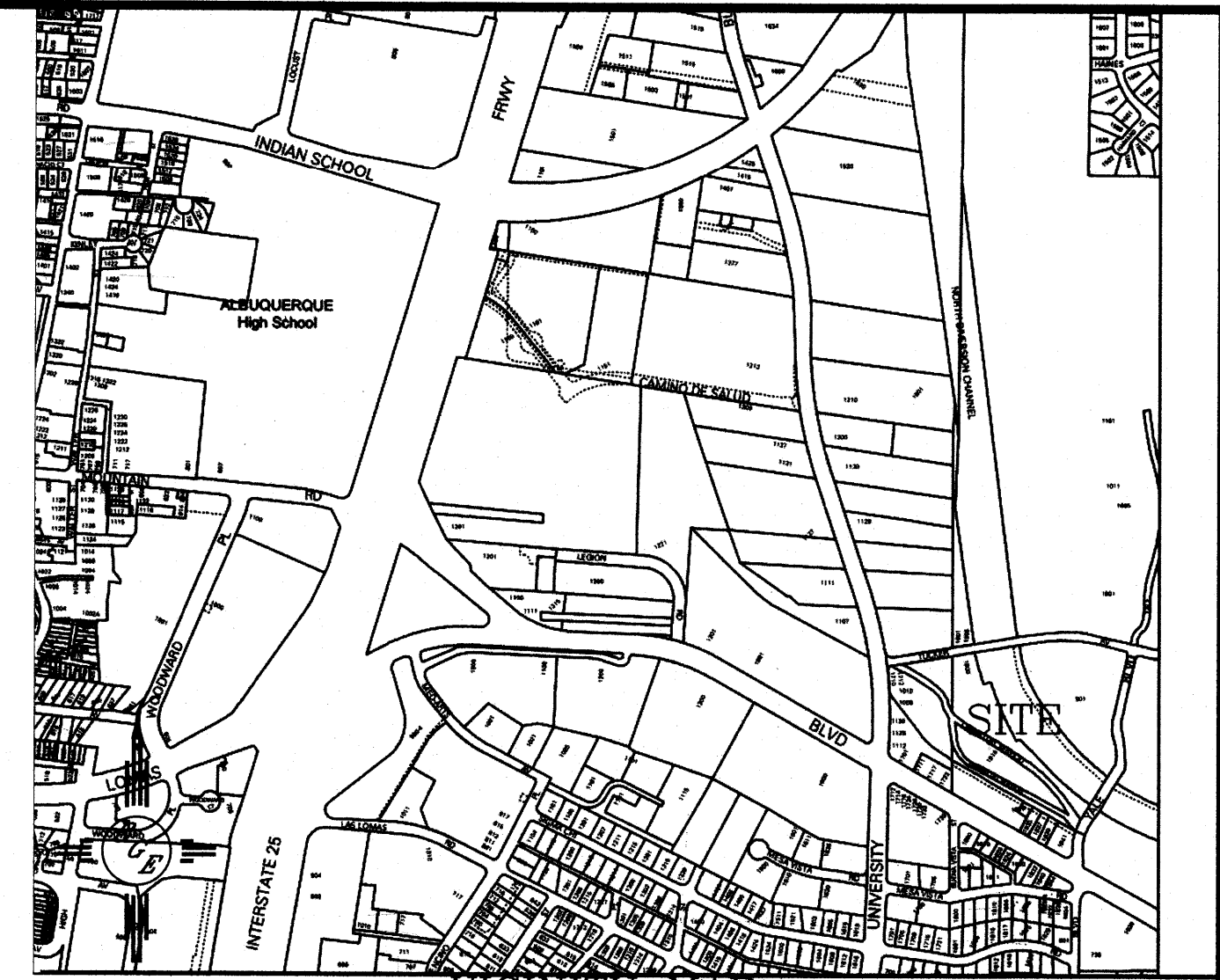
ZONING: LOT AREA: C-3
ADDRESS: 1835 LOMAS NE
NUMBER OF SPACES (REQUIRED): 0
NUMBER OF SPACES (PROVIDED): 51
AREA: 18532 SQ FT
ZONE GRID: J15



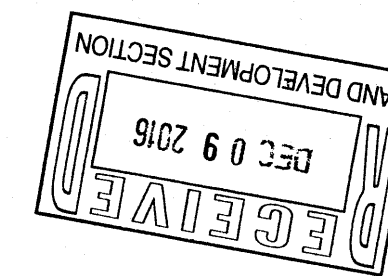
ENGINEER'S SEAL 8/2/16 DAVID SOULE P.E. #14522	NORTH 70' OF LOT 7, 8, 9, BLOCK 4 SIGMA CHI ADDITION	TRAFFIC CIRCULATION LAYOUT	DRAWN BY JDG
			DATE 08-01-2016
			SHEET # 1 OF 1 JOB #

Rio Grande Engineering
1606 CENTRAL AVENUE SE
SUITE 201
ALBUQUERQUE, NM 87106
(505) 872-0999

EXISTING 20' UTILITY EASEMENT
PER PLAT FILED: JULY 20, 1948
VOLUME C, FOLIO 108



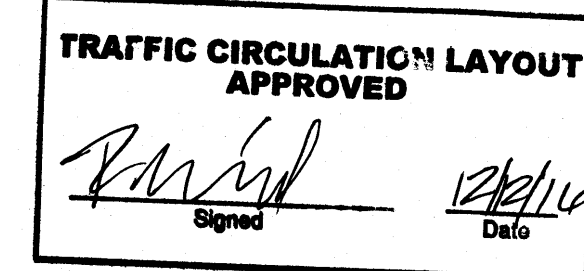
VICINITY MAP

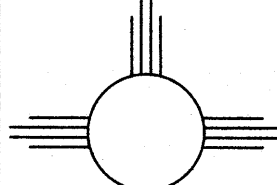


ZONING: C-3
LOT AREA: 0.4229 ACRES
ADDRESS: 1835 LOMAS NE
NUMBER OF SPACES REQUIRED: 0
NUMBER OF SPACES PROVIDED: 49
ZONE GRID: J15

- NOTES:
1. ALL CURBS SHALL BE 6" HEADER CURBS UNLESS NOTED OTHERWISE.
 2. ASPHALT SHALL BE MINIMUM 3" ASPHALT, REFER TO GEOTECHNICAL REPORT FOR PAVEMENT SECTION.
 3. ALL STRIPING SHALL BE PAINTED.
 4. CLEAR SITE TRIANGLE- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS WITHIN THE IDENTIFIED CLEAR SITE TRIANGLE. THEREFORE, SIGNES, WALLS, TREES, AND SHURUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
 5. ALL BROKEN OR CRACKED SIDEWALKS AND DRIVEWAYS MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER ALL DRIVEWAYS AND SIDEWALKS MUST MEET CURRENT ADA STANDARDS.

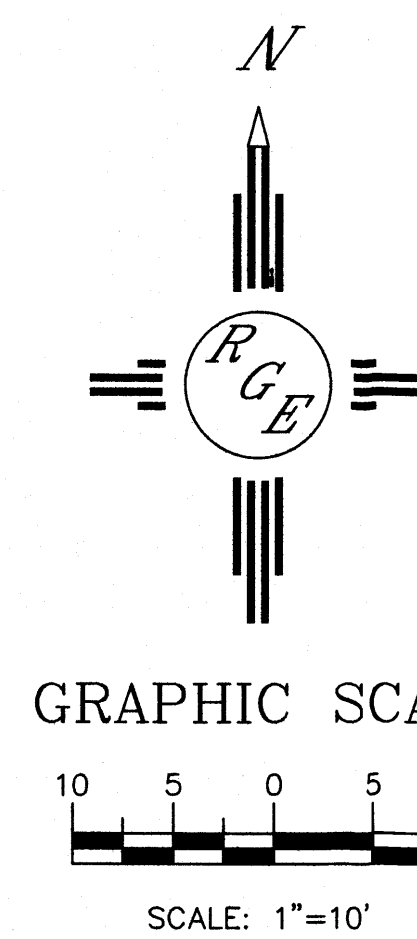
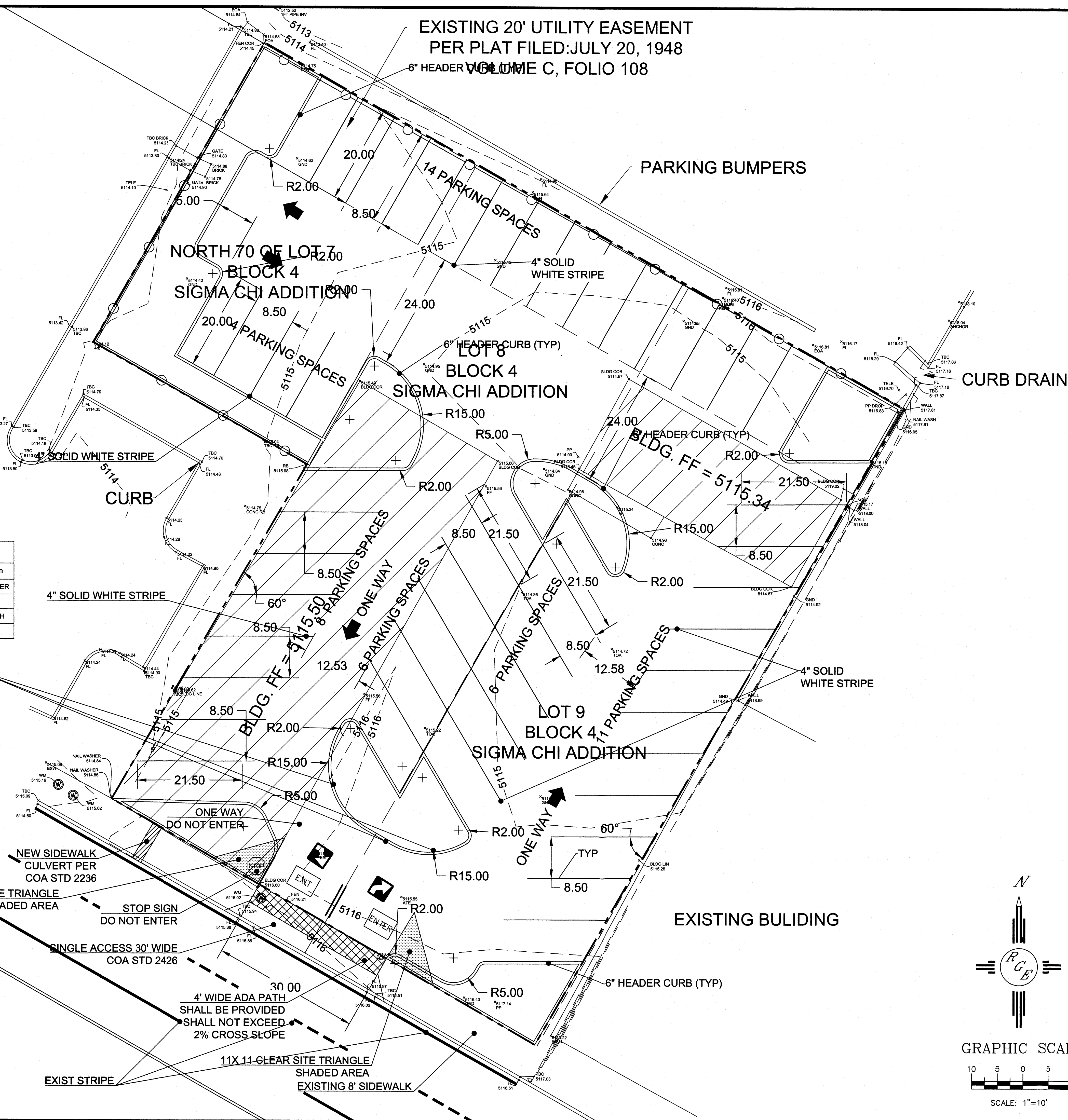
ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.



ENGINEER'S SEAL  DAVID SOULE P.E. #14522	NORTH 70' OF LOT 7, 8, 9, BLOCK 4 SIGMA CHI ADDITION PARKING LOT TRAFFIC CONTROL LAYOUT  <i>Pio Grande Engineering</i> 1806 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0889	DRAWN BY: JDG DATE: 12-08-2016 SHEET # 1 OF 1 JOB #
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Point Table				
Point #	Elevation	Northing	Easting	Description
101	5114.85	1488026.65	1528896.28	NAIL WASHER
121	5115.98	1488095.12	1528896.13	RB
168	5117.81	1488106.79	1529018.06	NAIL WASH
507	5114.12	1488119.93	1528852.40	4rb

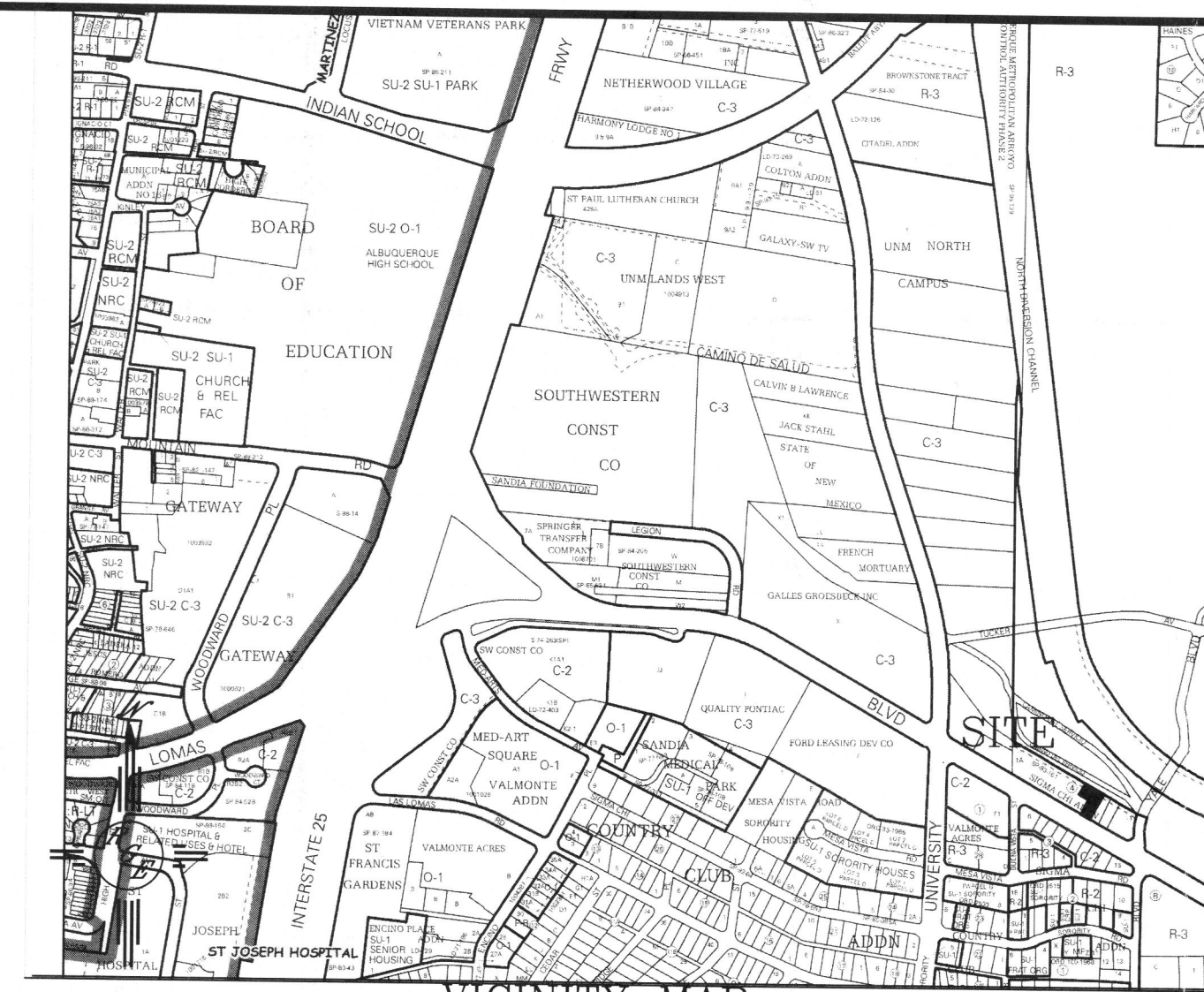
DIRECTIONAL SIGN
ONE WAY
R6-1R36



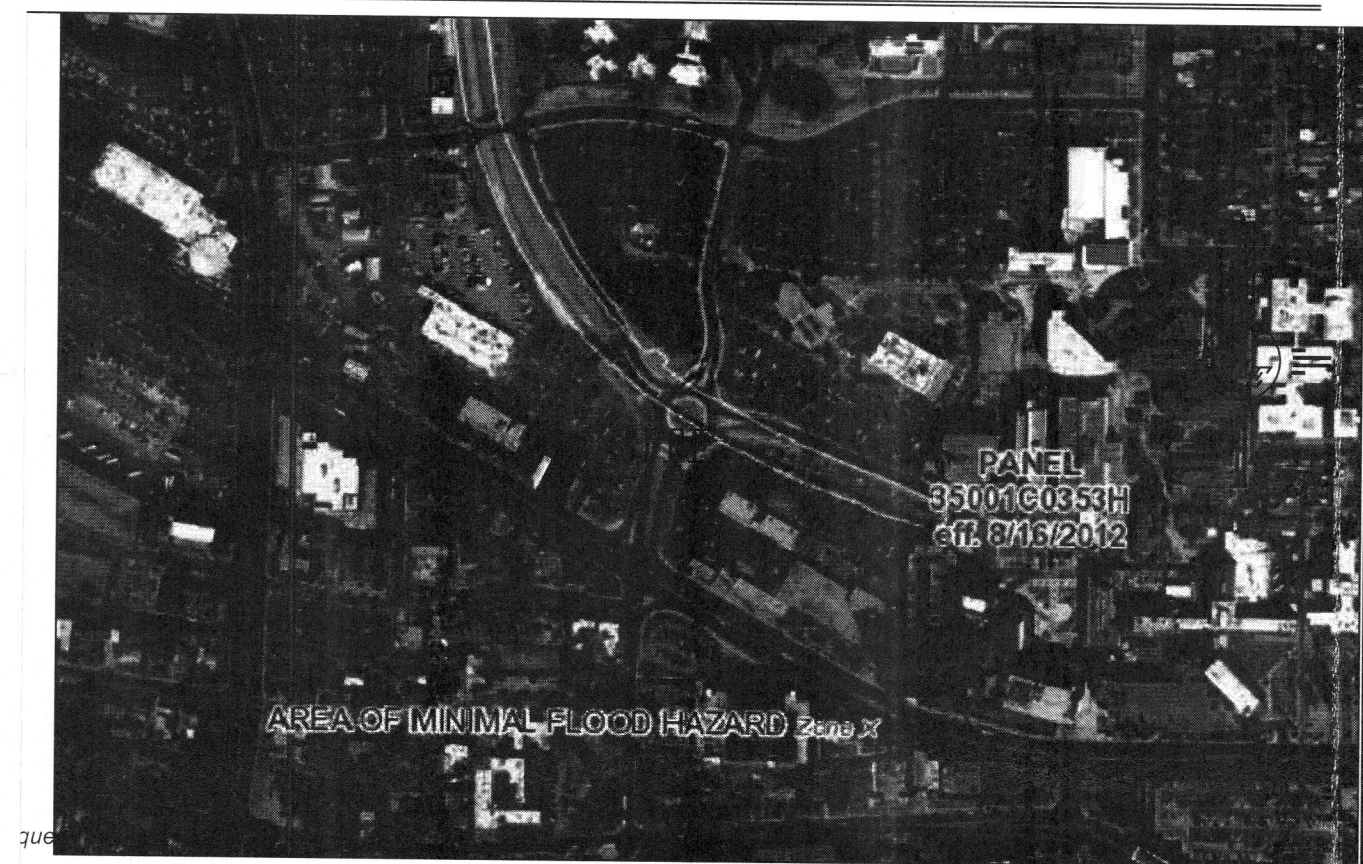
EXISTING 20' UTILITY EASEMENT
PER PLAT FILED: JULY 20, 1948
VOLUME C, FOLIO 108

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



VICINITY MAP:



FIRM MAP:

FM35043C2125D

LEGAL DESCRIPTION:

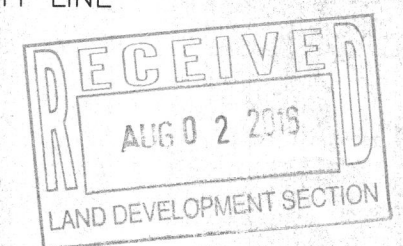
NORTH 70' OF LOT 7, LOT 8 AND 9, BLOCK 4 SIGMA CHI ADDITION

NOTES:

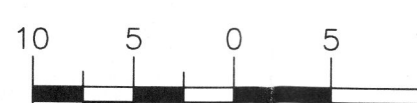
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. TOPOGRAPHIC SURVEY INFORMATION SHOWN ON THIS PLAN WAS OBTAINED BY CONSTRUCTION SURVEY TECHNOLOGIES, INC 07-15-2016

LEGEND

- 5411--- EXISTING CONTOUR
- 5410--- EXISTING INDEX CONTOUR
- 5411--- PROPOSED CONTOUR
- 5410--- PROPOSED INDEX CONTOUR
- PROPOSED WALL
- PROPOSED FLOWLINE ELEVATIONS
- PROPERTY LINE



GRAPHIC SCALE



SCALE: 1"=10'

ENGINEER'S SEAL	NORTH 70' OF LOT 7, 8, 9, BLOCK 4 SIGMA CHI ADDITION	DRAWN BY JDG
	GRADING AND DRAINAGE PLAN	DATE 07-19-2016
8/2/16	 Rio Grande Engineering 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	SHEET # 1 OF 1
DAVID SOULE P.E. #14522		JOB #

Point Table				
Point #	Elevation	Northing	Easting	Description
101	5114.85	1488026.65	1528866.28	NAIL WASHER
121	5115.98	1488095.12	1528896.13	RB
168	5117.81	1488106.79	1529018.06	NAIL WASH
507	5114.12	1488119.93	1528852.40	4rb

SITE TBM CP#507
EL=5114.12 NAVD 1988

RETENTION POND
TOP=13.90
BOTTOM=12.90
VOLUME= 844 CF

NORTH 70' OF LOT 7
BLOCK 4
SIGMA CHI ADDITION

LANDSCAPE POND
TOP=15.50
BOTTOM=14.50
VOLUME= 145 CF

LOT 8
BLOCK 4
SIGMA CHI ADDITION

PARKING BUMPERS

CURB DRAIN

LANDSCAPE POND
TOP=15.25
BOTTOM=14.25
VOLUME= 200 CF

LANDSCAPE POND
TOP=15.50
BOTTOM=14.50
VOLUME= 125 CF

LOT 9
BLOCK 4
SIGMA CHI ADDITION

EXISTING BUILDING

Approved w/condition
that curb cuts are
constructed into all the
islands.

4" PVC DRAIN
PER COA STD 2235
INV OUT=15.00
TO BE CONSTRUCTED
PER COA STD 2235

MATCH EX FL

CONSTRUCT 21 LF
DRIVE PER COA
STD 2425

TOP POND=15.00
BOTTOM POND=13.00
VOLUME=111.50 cf

CONSTRUCT 21 LF
DRIVE PER COA
STD 2425

TOP POND 17.00
BOTTOM POND=16.00