

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

January 19, 2021

Shawn Biazar  
SBS Construction and Engineering, LLC  
10209 Snowflake Ct. NW  
Albuquerque, NM 87114

**RE: Gomez Efficiency Apartments  
1320 Edith Blvd. NE  
Grading & Drainage Plan  
Engineer's Stamp Date: 12/17/20  
Hydrology File: J15D1000**

Dear Mr. Biazar:

PO Box 1293  
Based upon the information provided in your resubmittal received 12/18/2020, the Grading & Drainage Plan is approved for Building Permit, Grading Permit, and SO-19 Permit.

Albuquerque  
Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter. Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

NM 87103  
www.cabq.gov  
As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

Also, as a reminder, please provide Drainage Covenant for the stormwater quality ponds per Article 6-15(C) of the DPM prior to Permanent Release of Occupancy. There is a recording fee (\$25, payable to Bernalillo County). Please contact Charlotte LaBadie ([clabadie@cabq.gov](mailto:clabadie@cabq.gov), 924-3996). Due to COVID-19, please follow the instructions:

Either email a pdf copy of the executed drainage covenant and the exhibit to [clabadie@cabq.gov](mailto:clabadie@cabq.gov) or either mail or drop off the originals. Please mail the \$25.00 recording fee check made payable to Bernalillo County to:

Planning Dept./DRC  
Attn: Charlotte LaBadie  
600 2nd St. NW, Ste. 400  
ABQ, NM, 87102

# CITY OF ALBUQUERQUE

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If you drop off the originals, there is a drop box outside the building labeled DRC. Once approved and recorded, Charlotte will email you a copy.

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

*Renée C. Brissette*

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** GOMEZ EFFIECENCY APARTS. Building Permit #: \_\_\_\_\_ Hydrology File #: \_\_\_\_\_

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: TRACT A, LANDS OF TAHI AND MARYANN JONES

City Address: 1320 EDITH BLVD., NE

**Applicant:** SBS CONSTRUCTION AND ENGINEEING, LLC Contact: SHAWN BIAZAR

Address: 10209 SNOWFLAKE CT., NW, ALBUQUERQUE, NM 87114

Phone#: (505) 804-5013 Fax#: (505) 897-4996 E-mail: AECLLC@AOL.COM

**Other Contact:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE  ADMIN SITE

IS THIS A RESUBMITTAL? \_\_\_\_\_ Yes  No

**DEPARTMENT** \_\_\_\_\_ TRANSPORTATION  HYDROLOGY/DRAINAGE

Check all that Apply:

**TYPE OF SUBMITTAL:**

- ENGINEER/ARCHITECT CERTIFICATION
- PAD CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE REPORT
- DRAINAGE MASTER PLAN
- FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ELEVATION CERTIFICATE
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- STREET LIGHT LAYOUT
- OTHER (SPECIFY) \_\_\_\_\_
- PRE-DESIGN MEETING?

**TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- FLOODPLAIN DEVELOPMENT PERMIT
- OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: 12-17-2020 By: SHAWN BIAZAR

COA STAFF: \_\_\_\_\_

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

**Location**

Tract A, Lands of Tah and Maryann Jones, is located at 1320 Edith Blvd., NW containing 0.32 acre. See attached portion of Vicinity Map J-15-Z for exact location.

**Purpose**

The purpose of this drainage report is to present a grading and drainage solution for new buildings and improvement for Tract A, Lands of Tah and Maryann Jones.

**Existing Drainage Conditions**

This lot abuts two streets on the west (Edith Blvd., NE) and east (Walter Ave., NE) side. The east side has a somewhat steep slope to the west and all the water drains into the west and finally into Edith Blvd., NE. There are no other flows entering this site.

**Proposed Conditions and On-Site Drainage Management Plan**

There are existing block walls to the north and east. A new block wall is proposed for west property line. We are proposing to retain all the developed flow minus the historical flow. The total volume requirement under this condition is 1,324.55 CF. We are proposing four ponds with total volume provided of 1,556.67 CF which includes the first flush volume requirement of 384.96 CF.

**VOLUME CALCULATIONS FOR 10 DAY STORM**  
(UNDER EXISTING CONDITIONS)

BASIN	AREA (SF)	AREA (AC)	AREA (MI <sup>2</sup> )
ON-SITE	13,979.95	0.3209	0.007375

$E = EA(AA) + EB(AB) + EC(AC) + ED(AD)$   
 $AA + AB + AC + AD$

$V-360 = E(AA + AB + AC + AD)$

EA = 0.62  
EB = 0.80  
EC = 1.03  
ED = 2.33

AA = 58.00%  
AB = 0.00%  
AC = 0.00%  
AD = 42.00%

P-60 = 1.78  
P-360 = 2.29  
P-1440 = 2.59  
P-10 Day = 3.62

E = 1.3388 IN  
V-360 = 0.0358 AC-FT  
AD = 0.1348 AC  
V-10 DAY = 0.0507 AC-FT  
V-10 DAY = 2,210.44 CF

**VOLUME CALCULATIONS FOR 10 DAY STORM**  
(UNDER PROPOSED CONDITIONS)

BASIN	AREA (SF)	AREA (AC)	AREA (MI <sup>2</sup> )
ON-SITE	13,979.95	0.3209	0.007375

$E = EA(AA) + EB(AB) + EC(AC) + ED(AD)$   
 $AA + AB + AC + AD$

$V-360 = E(AA + AB + AC + AD)$

EA = 0.62  
EB = 0.80  
EC = 1.03  
ED = 2.33

AA = 14.00%  
AB = 7.00%  
AC = 0.00%  
AD = 79.00%

P-60 = 1.78  
P-360 = 2.29  
P-1440 = 2.59  
P-10 Day = 3.62

E = 1.9836 IN  
V-360 = 0.531 AC-FT  
AD = 0.2535 AC  
V-10 DAY = 0.0812 AC-FT  
V-10 DAY = 3,534.99 CF

**V (REQUIRED) = 3,534.99 - 2,210.44 = 1,324.55 CF**

**PONDING VOLUME REQUIREMENTS (90TH PERCENTILE/FIRST FLUSH)**

VOLUME REQUIRED = 0.42 INCHES x IMPERVIOUS AREA =  
(0.42/12 x 10,999.00) = 384.96 CF

**PONDING VOLUME CALCULATION**

TOTAL POND AREA PROVIDED =  
PONDING CALCULATIONS:

POND A:  
AREA @ ELEV. 69.00 = 144.80 SF  
DEPTH = 2.40'  
POND VOLUME = (144.80 x 2.40) = 347.52 CF

POND B:  
AREA @ ELEV. 69.00 = 144.80 SF  
AREA @ ELEV. 68.25 = 28.19 SF  
POND VOLUME = ((144.80 + 28.19) / 2) x 0.75 = 64.87 CF

TOTAL PONDING VOLUME PROVIDED =  
1,488.20 + 64.87 = 1,556.67 CF

**GENERAL NOTES:**

- CONTOUR INTERVAL IS HALF (1.00) FOOT.
- ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION 22-J14, HAVING AN ELEVATION OF 4973.647 FEET ABOVE SEA LEVEL.
- UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/ OR DEPTH PRIOR TO EXCAVATION OR DESIGN CON-SIDERATIONS.
- THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
- SLOPES ARE AT 3:1 MAXIMUM.
- ADD 4900 TO ALL PROPOSED SPOT ELEVATIONS.

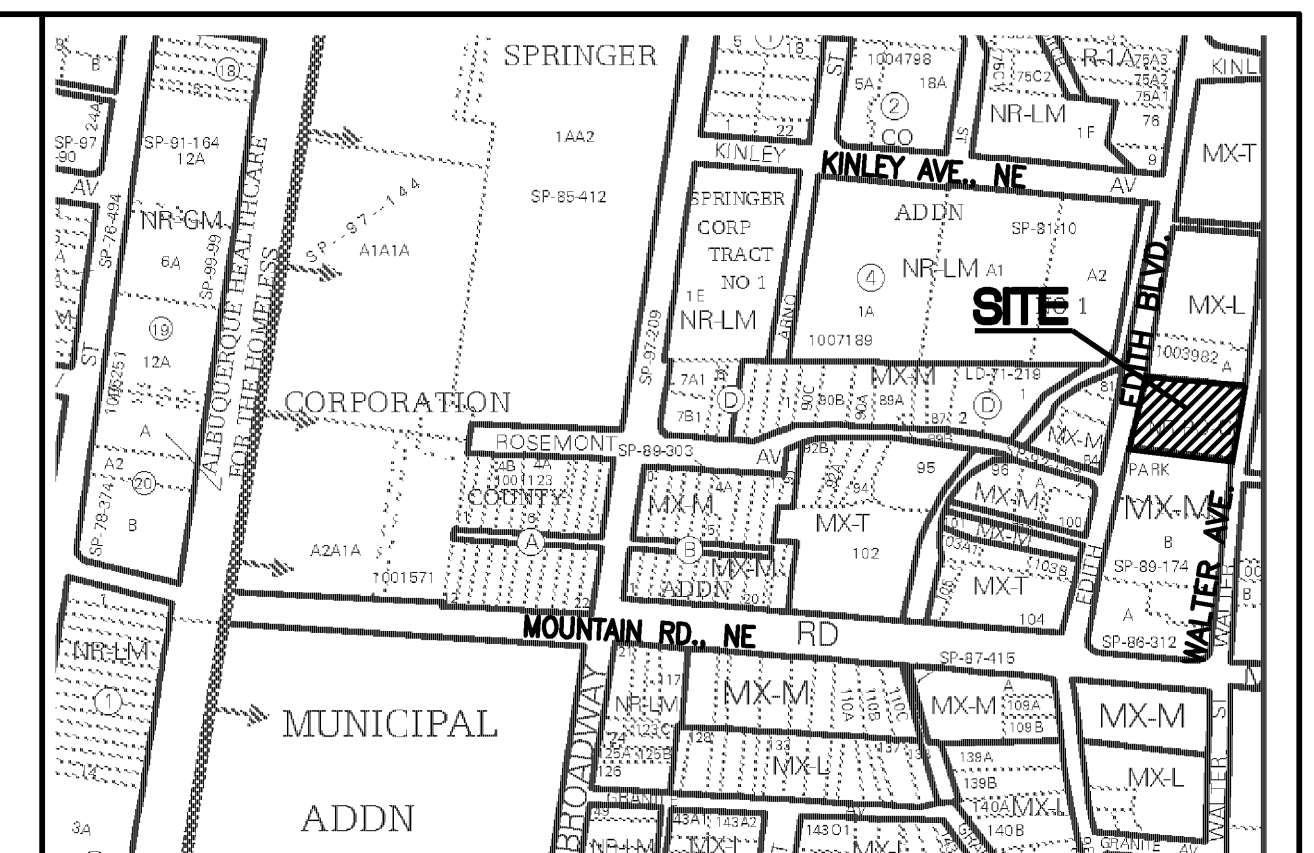
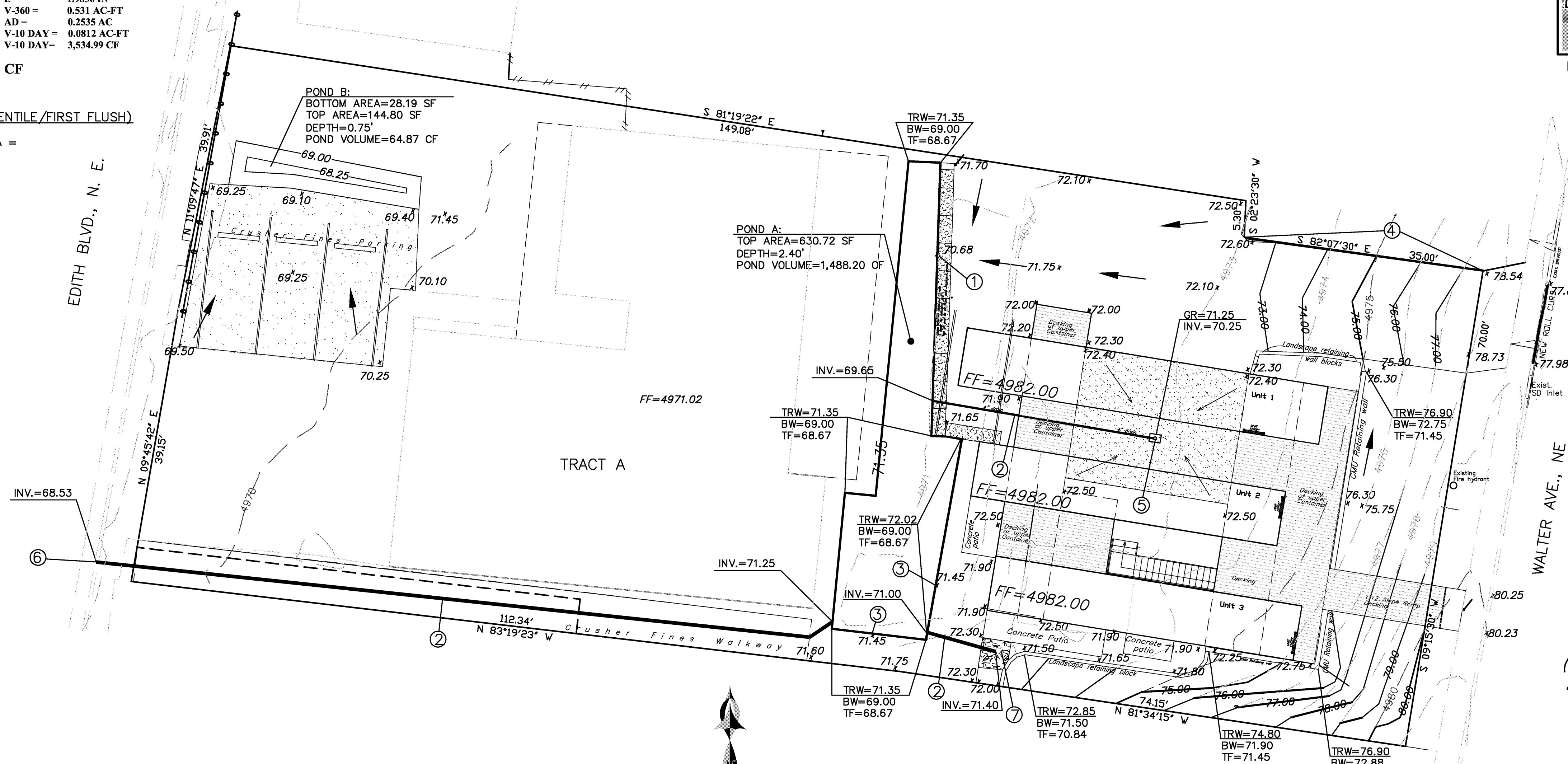
**NOTICE TO CONTRACTOR**  
**PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY (SO-19')**

- (Special Order 19 - "SO 19")
- Build sidewalk culvert per COA STD DWG 2236.
  - Contact Storm Drain Maintenance at (505) 235-8106 to schedule a meeting prior to forming.
  - An excavation permit will be required before beginning any work within City Right Of Way.
  - All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
  - Two working days prior to any excavation, the contractor must contact "New Mexico One Call, dial "811" (or (505) 260 1990 for the location of existing utilities.
  - Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
  - Backfill compaction shall be according to traffic/street use.
  - Maintenance of the facility shall be the responsibility of the owner of the property being served.
  - Work on arterial streets may be required on a 24 hour basis.
  - Contractor must contact Storm Drain Maintenance at (505) 235 8016 and Construction Coordination at 924 3416 to schedule an inspection.

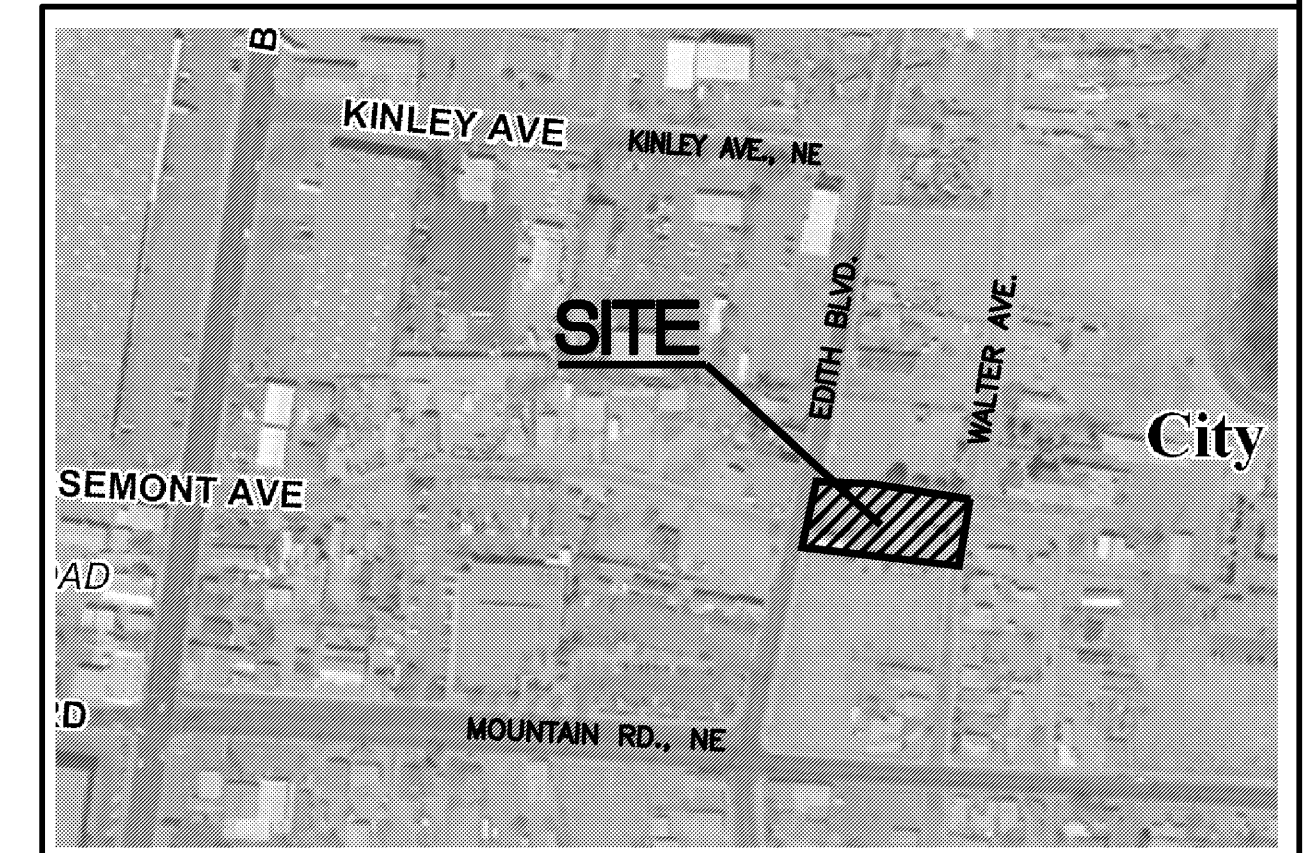
APPROVALS	NAME	DATE
INSPECTOR		

**OKEYED NOTES:**

- PROVIDE 24" OPENNING.
- PROPOSED 4" STORM DRAIN PIPE, SDR 35 OR SCHEDULE 40.
- PROPOSED 16".
- INSTALL HEADER WALL 6" TALL MIN.
- INSTALL 10" NYLOPLAS AREA DRAIN.
- INSTALL CURB DRAIN PER C.O.A. STD DWG 2235.
- PROVIDE RIPRAP.



VICINITY MAP: J-15-Z



FIRM MAP: FM35001C0332G

**LEGAL DESCRIPTION:**

Tract A, Lands of Tah and Maryann Jones  
ADDRESS: 1320 EDITH BLVD., NE

**LEGEND**

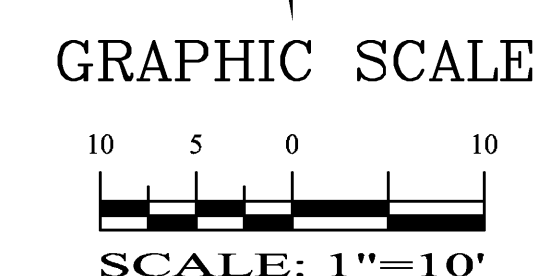
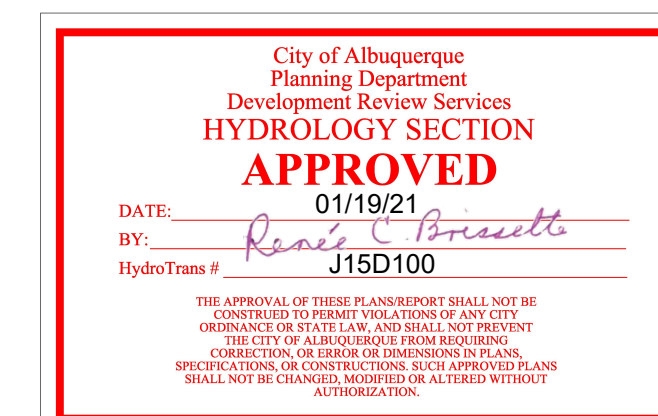
- 5030--- EXISTING CONTOUR (MAJOR)
- 5029--- EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- X 42.70 PROPOSED SPOT ELEVATION
- X 5029.16 EXISTING GRADE
- X 5075.65 EXISTING FLOWLINE ELEVATION
- FL
- █ PROPOSED RETAINING WALL
- BC=41.30 BOTTOM OF CHANEL
- TF=42.00 TOP OF FOOTING
- TRW=45.12 TOP OF RETAINING WALL
- HP HIGH POINT
- 42.40 AS-BUILT GRADES
- 69.77 AS-BUILT SPOT ELEVATIONS
- FF=5142.30
- FP=5142.25



**SBS CONSTRUCTION AND ENGINEERING, LLC**

REZA AFAGHPOUR  
P.E. #11814

10209 SNOWFLAKE CT., NW  
ALBUQUERQUE, NEW MEXICO 87114  
(505)804-5013



GOMEZ EFFICIENCY APARTMENTS GRADING PLAN			
DRAWING:	DRAWN BY:	DATE:	SHEET #
202025-GD.DWG	SH-B	12-17-20	C-1