

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

September 24, 2021

Alejandro Sazo  
RBA Architecture , PC  
1104 Park Ave SW  
Albuquerque, NM 87102

**Re: Sigma Chi Apartments**  
**1815 Sigma Chi Road NE**  
**Traffic Circulation Layout**  
Architect's Stamp 09-22-2021 (J15-D102)

Dear Mr. Sazo,

The TCL submittal received 09-22-2021 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

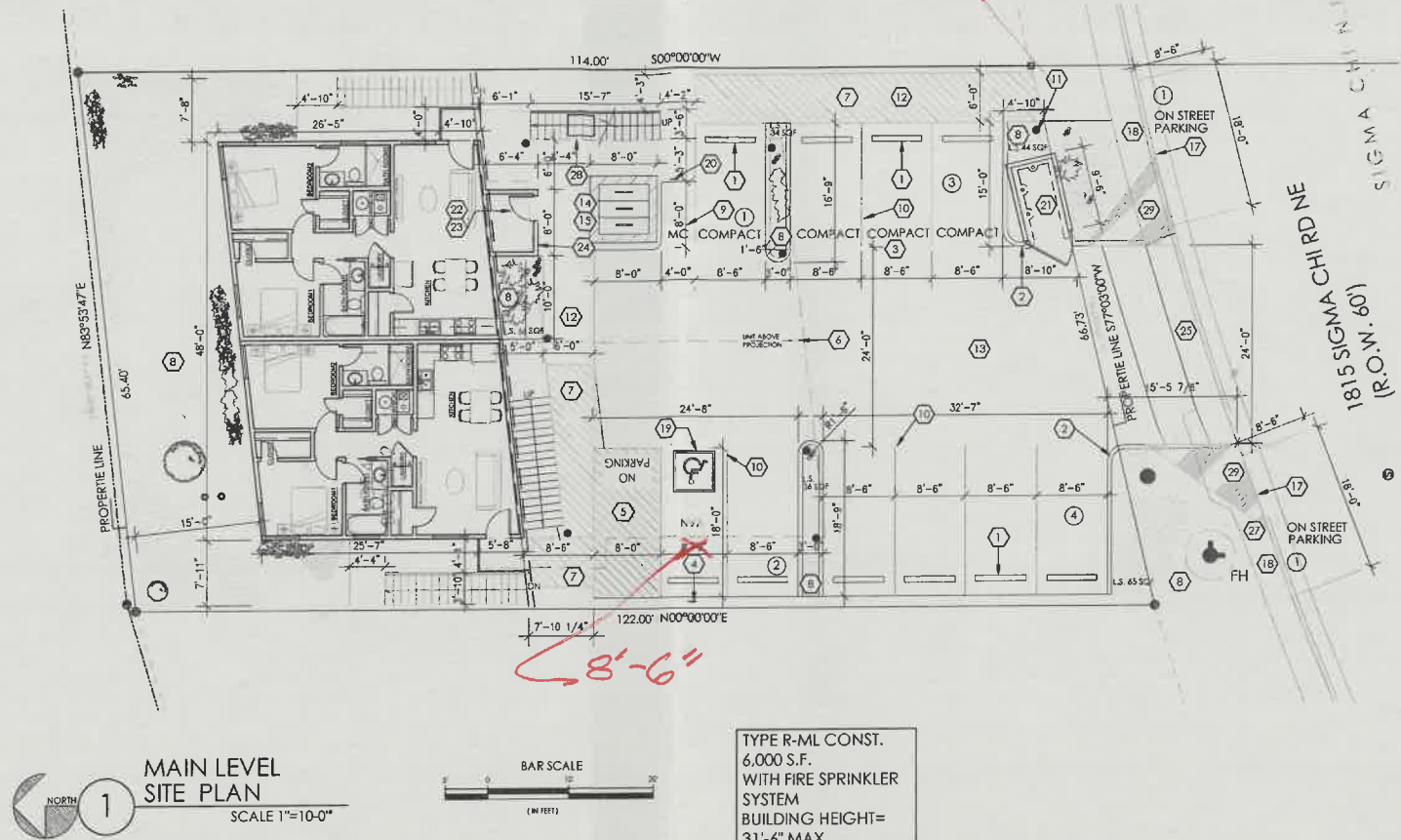
When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Nilo Salgado-Fernandez, P.E.  
Senior Traffic Engineer, Planning Dept.  
Development Review Services

C: CO Clerk, File

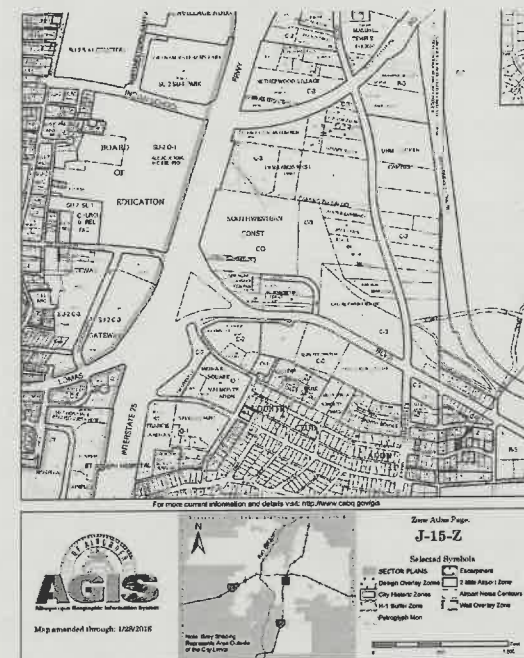


#### GENERAL NOTES

- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER, REFERRING TO THE APPROPRIATE CITY STANDARD DRAWING (2430 & 2415A).
- THE BUILDING OWNER, WILL MANAGE THEIR RECYCLABLES AND TAKE THEM TO A DROP OFF LOCATION.

#### KEYED NOTES

- CONCRETE PARKING BUMPERS TYP.
- 2'-0" RADIUS, TYP.
- PAINTED "COMPACT" WHITE ON PAVEMENT PER C.O.A. STANDARD WHERE IS SHOWN ON PLANS
- ACCESSIBLE PARKING SIGNAGE PER C.O.A. STANDARDS, REF: DETAIL C1/AS-2.0.
- PAINTED STRIPE HANDICAP ACCESSIBLE ASLE WITH "NO PARKING" IN CAPITAL LETTERS, 12" HIGH x 2" WIDE, LOCATE SIGN (66-1-4.1.8 NMSA 1978), REF: DETAIL AB/AS-2.0.
- PROJECTION OF 2 DWELLING UNITS ABOVE PARKING, 9'-1" CLEARANCE.
- 6 FT WIDE ADA ACCESSIBLE PEDESTRIAN PATHWAY.
- LANDSCAPING AREA, REF: LANDSCAPING PLAN
- MOTORCYCLE PARKING SPACE, PAINTED "MC" WHITE ON PAVEMENT PER C.O.A. STANDARD WHERE SHOWN ON PLANS
- 4" WIDE PAINTED STRIPE PER C.O.A. STANDARDS, REF: DETAIL AB/AS-2.0, TYP.
- P.V. LOCATION.
- NEW 4" THICK, CONCRETE SIDEWALK PER C.O.A. STANDARD 2430 REF: DETAIL A6/AS-2.0 TYP.
- ASPHALT PAVING OVER GRAVEL BASE COURSE, REF: GEO-TEST
- BIKE RACK FOR 3 BICYCLES, REF DETAIL 03/AS-2.0
- A. 30" TALL X 18" WIDE  
B. BICYCLE FRAME SHALL BE SUPPORTED HORIZONTALLY AT TWO OR MORE PLACES. COMB/TOASTER RACKS ARE NOTE ALLOWED  
C. THE RACK SHALL BE DESIGNED TO SUPPORT THE BICYCLE IN AN UPRIGHT POSITION. SEE THE IDO FOR ADDITIONAL INFORMATION.  
D. THE RACK ALLOWS VARYING BICYCLE FRAME SIZES AND STYLES TO BE ATTACHED.  
E. THE USER IS NOT REQUIRED TO LIFT THE BICYCLE ONTO THE BICYCLE RACK.  
F. EACH BICYCLE PARKING SPACE IS ACCESSIBLE WITHOUT MOVING ANOTHER BICYCLE.  
G. THE RACKS SHOULD BE STURDY AND ANCHORED TO A CONCRETE PAD.  
H. BIKE PARKING SPACES SHALL BE 6'-0" LONG X 2' WIDE FOR EACH BIKE. NOTE: A 1'-0" CLEAR ZONE AROUND THE BIKE PARKING SPACE.
- NOT USED.
- EXIST. CONC. CURB AND GUTTER.
- EXIST. CONC. SIDEWALK.
- HANDICAP SYMBOL PER C.O.A. STANDARDS, TYPICAL (1) PLACE, REF DETAIL C2/AS-2.0.
- MOTORCYCLE PARKING SIGNAGE PER C.O.A. STANDARDS, TYP.
- ROLL-OUT DUMPSTER, REF DETAIL A1/AS-2.0.
- FIRE RISER ROOM
- G.C. TO PROVIDE AND INSTALL ROOM SIGNAGE AT FIRE RISER ROOM DOOR STATING "FIRE RISER ROOM".
- G.C. TO PROVIDE AND INSTALL RECESSED KNOX BOX WITH KEY FOR FIRE DEPARTMENT ACCESS INTO FIRE RISER ROOM. MOUNT BOX 5'-0" HIGH A.F.F., TYP.
- NEW 24'-0" C.C. PER C.O.A. STANDARD DWG 2425A.
- NOT USED.
- REMOVE EXISTING CURB CUT, FILL WITH NEW CONCRETE SIDEWALK, MATCH EXISTING CURB AND GUTTER, COA STANDARD 2415 A
- 1-96 GALLON RECYCLE CART, (UNDER STAIRS).
- SIGHT DISTANCE EXHIBIT, NOTE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.



PROJECT SITE



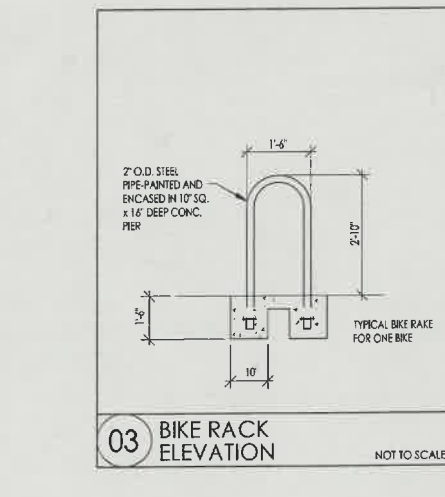
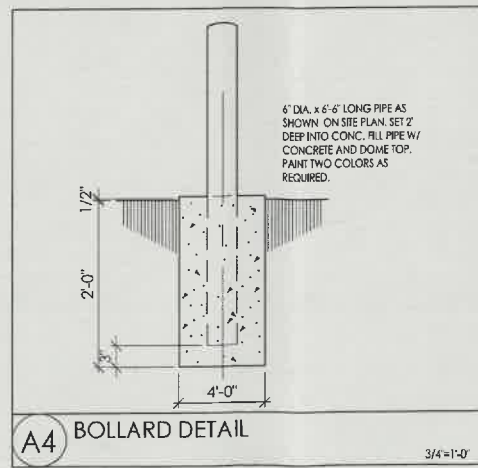
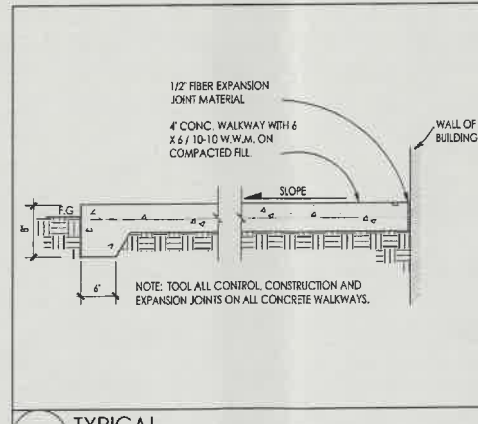
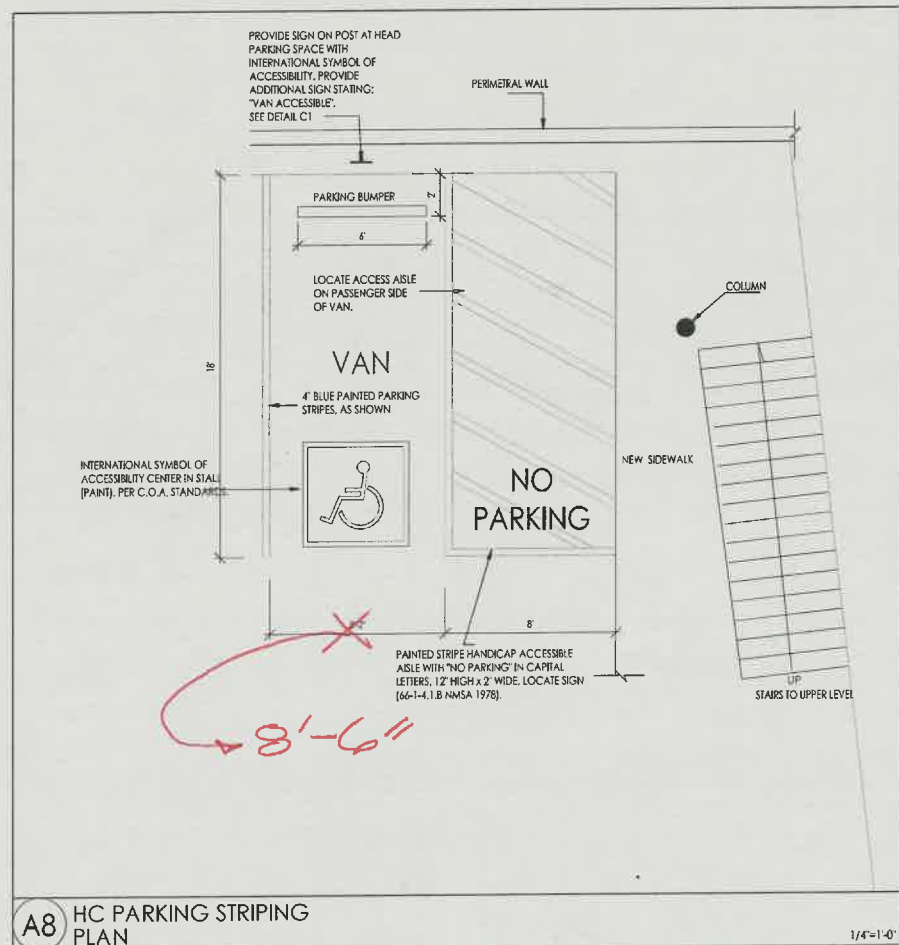
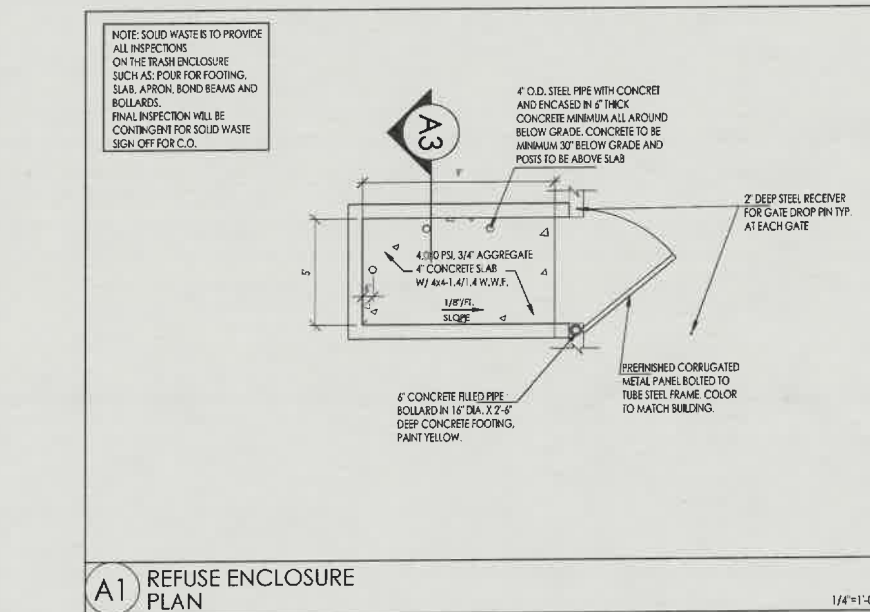
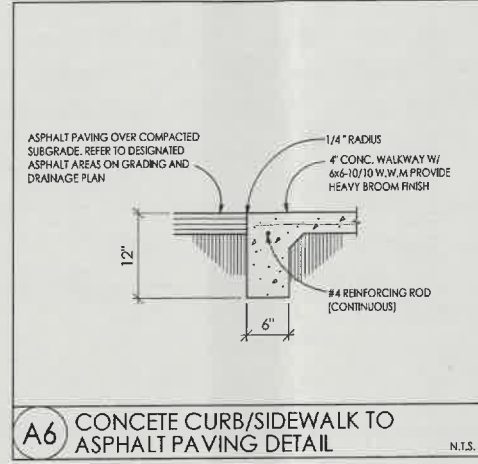
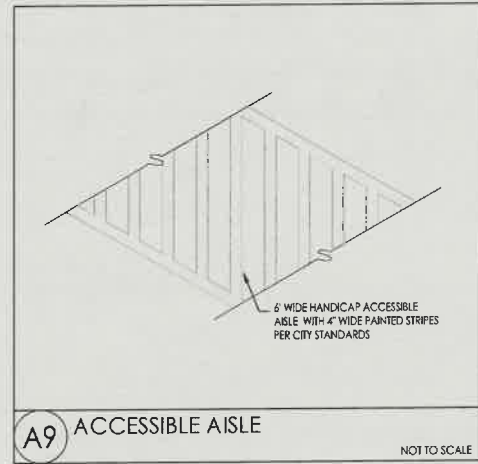
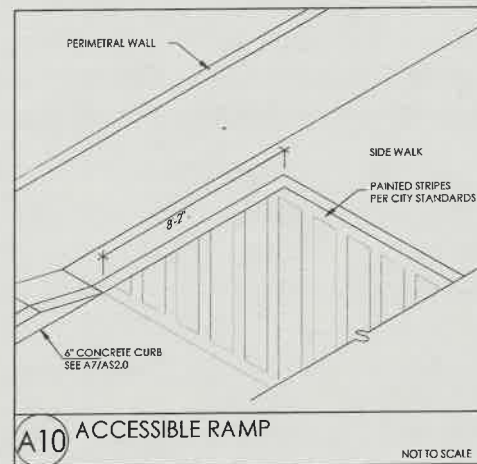
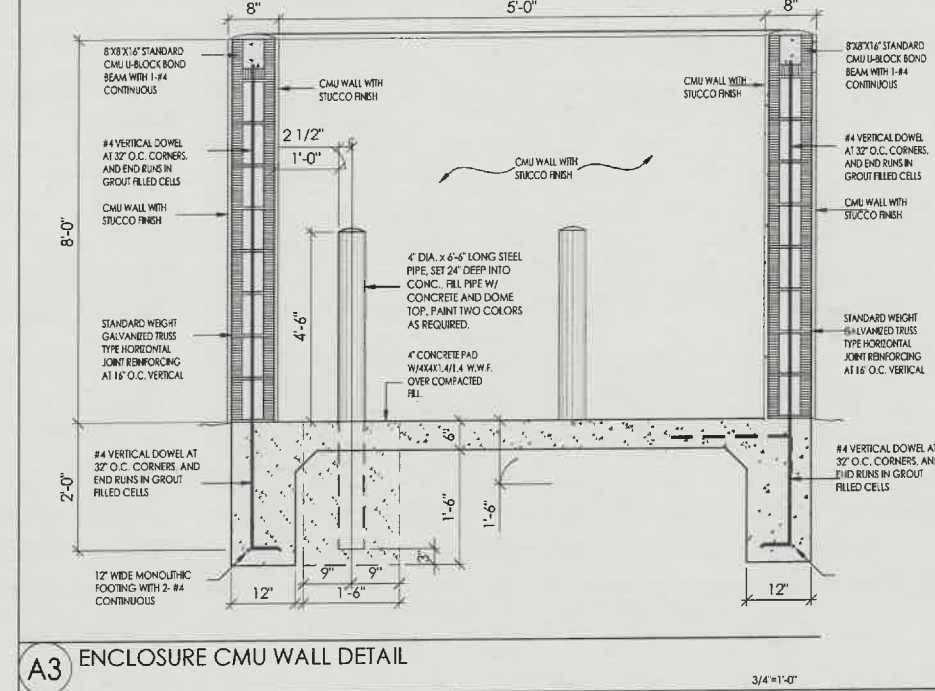
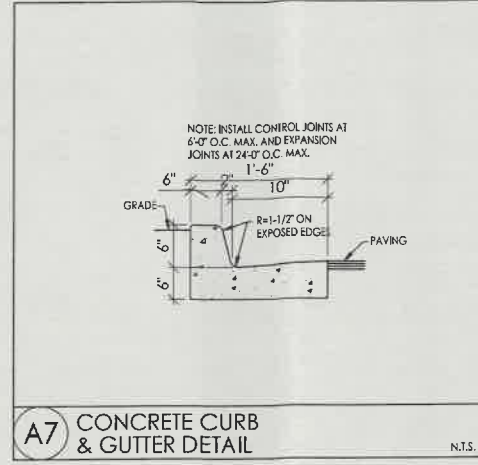
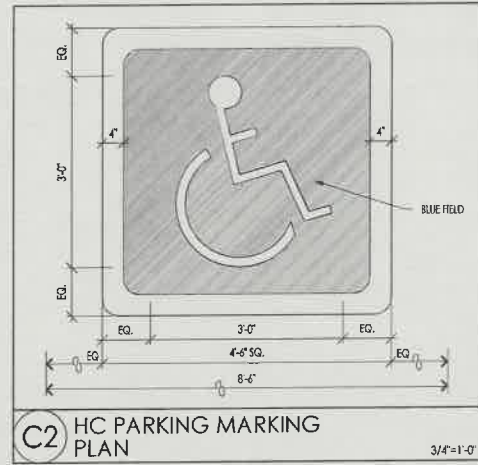
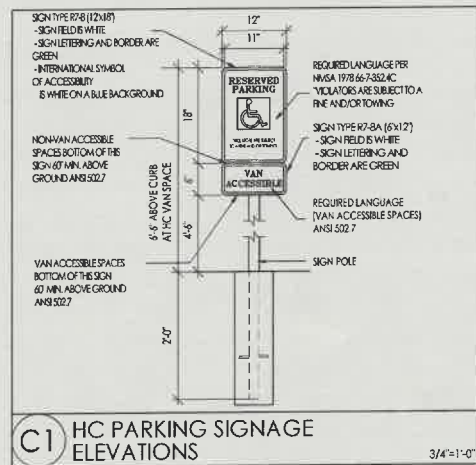
ZONING ORDINANCE	
USABLE OPEN SPACE AREA (U.O.S.)	
8 UNITS 2 BR @ 285 SF EACH	= 2280 SF
TOTAL U.O.S. REQUIRED	= 2280 SF
TOTAL U.O.S. PROVIDED	= 2850 SF
MAXIMUM HEIGHT ALLOWED	= 36 FT
HEIGHT PROVIDED	= 31'-6"
LANDSCAPE REQUIREMENTS	
LOI	= 7725 S.F.
BUILDING	= 1500 S.F.
TOTAL	= 4225 S.F.
REQUIRED %	= 15%
LANDSCAPING AREA REQUIRED	= 934 S.F.
LANDSCAPING AREA PROVIDED	= 1340 S.F.
FIRE FLOW REQUIREMENTS	
TYPE V-8 6,000 SF	
4,801 - 6,200 SF = 2,000 G.P.M. = 2 HOURS FLOW DURATIONS	
2,000 G.P.M. = 1 HYDRANT = 450 FEET SPACE = 225 FEET MAX	
50% REDUCTION, DUE TO FIRE SPRINKLER (TABLE B105.1(1))	
PARKING REQUIREMENTS	
8 UNITS X 1.5/UNIT	= 12 SPACES
BUS ROUTE REDUCTION 0%	= 0 SPACES
Revised 5.11.12.14)	
TOTAL REQUIRED	= 12 SF/ACRES
TOTAL PROVIDED	= 12 SPACES (2 ON STREET)
BICYCLE SPACES RESIDENCIAL USE = 25 multi-family or two-unit dwelling units, 3 spaces or 10%	

SIGMA CHI  
SITE PLAN  
1815 SIGMA CHIRD NE  
ALBUQUERQUE, NM  
PROJECT #2143

REVISION DATE
DATE 09-22-2021
SHEET NUMBER AS-1.0

J75-D102





SIGMA CHI  
SITE DETAILS  
1815 SIGMA CHI RD, NE  
ALBUQUERQUE, NM  
PROJECT #2143

REVISION	DATE
1	09-22-2021
SHEET NUMBER	
AS-2.0	

J15-D102