

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

July 23, 2025

George T. Rodriguez
12800 San Juan NE
Albuquerque, NM 87123

**RE: Sigma Chi Apartments
1815 Sigma Chi Road NE
Grading and Drainage Plan
Engineer's Stamp Date: 7/14/2025
Hydrology File: J15D102
Case # HYDR-2025-00257**

Dear Mr. Rodriguez:

Based upon the information provided in your submittal received 10/08/2024, the Grading & Drainage Plan is approved for Building Permit and Grading Permit. **Since this site grades to the rear, a pad certification is not needed for this project.** Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PRIOR TO CERTIFICATE OF OCCUPANCY:

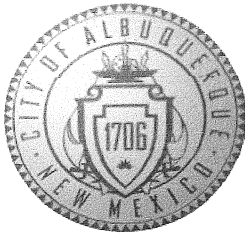
1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Dough Hughes, PE, jhughes@cabq.gov, 505-924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 505-924-3314 or amontoya@cabq.gov.

Sincerely,

Anthony Montoya, Jr., P.E., C.F.M.
Senior Engineer, Hydrology
Planning Department, Development Review Services



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: SIGMA CHI APARTMENTS Hydrology File # J15D102
Legal Description: LOT 4, BLOCK 2, SIGMA CHI ADDITION
City Address, UPC, OR Parcel: 1815 SIGMA CHI ROAD N.E.

Applicant/Agent: GEORGE T. RODRIGUEZ Contact: GEORGE T. RODRIGUEZ
Address: 12800 SAN JUAN N.E. Phone: 505-610-0593
Email: pawrod@hotmail.com

Applicant/Owner: RUDY GUZMAN Contact: RUDY GUZMAN
Address: 5700 UNIVERSITY WEST BLVD. S.E., SUITE 310 Phone: 505-452-0663
Email: RUDY@GUZMANCS.COM ALBUQ., N.M. 87106-9601

TYPE OF DEVELOPMENT: ☐ Plat (# of lots) 1 ☐ Single Family Home
☒ All other Developments

RE-SUBMITTAL: ☐ YES ☒ NO

DEPARTMENT: ☐ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

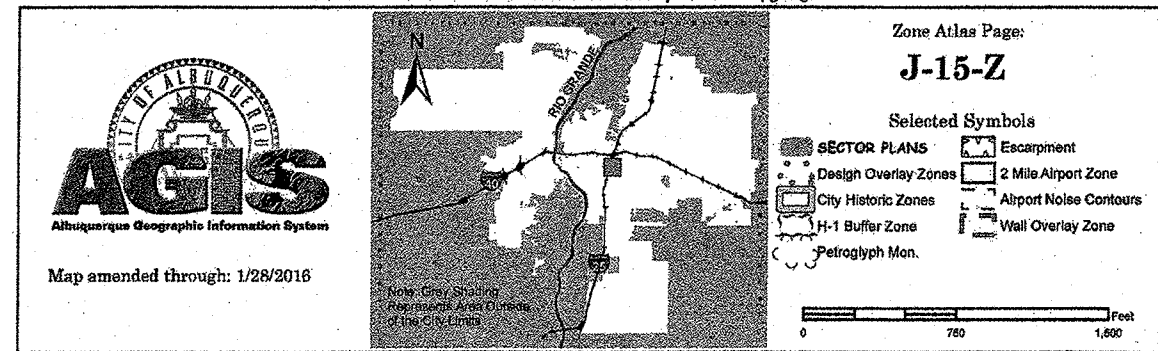
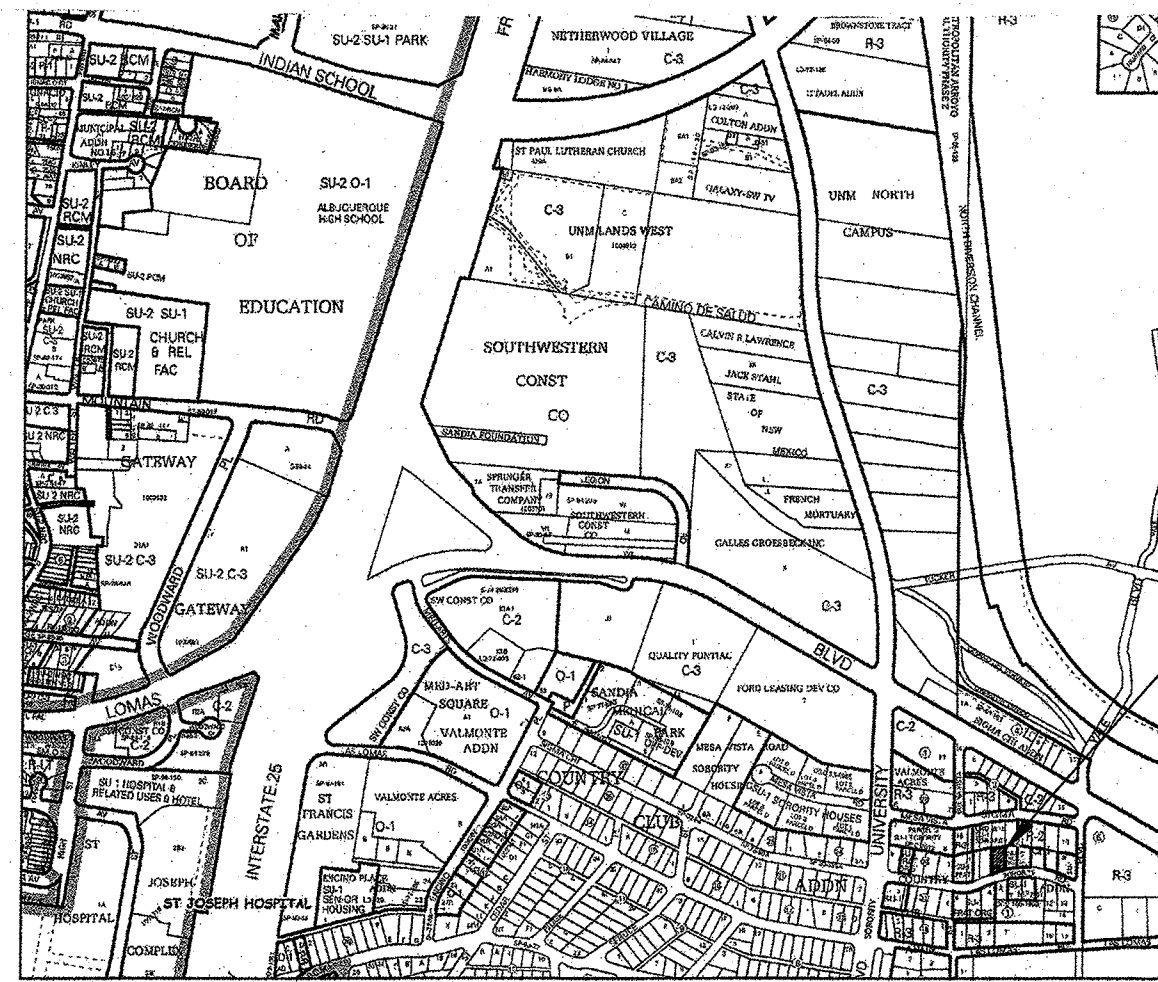
TYPE OF SUBMITTAL:

- ☐ Engineering / Architect Certification
- ☐ Conceptual Grading & Drainage Plan
- ☒ Grading & Drainage Plan, and/or Drainage Report
- ☐ Drainage Report (Work Order)
- ☐ Drainage Master Plan
- ☐ Conditional Letter of Map Revision (CLOMR)
- ☐ Letter of Map Revision (LOMR)
- ☐ Floodplain Development Permit
- ☐ Traffic Circulation Layout (TCL) – Administrative
- ☐ Traffic Circulation Layout (TCL) – DFT Approval
- ☐ Traffic Impact Study (TIS)
- ☐ Street Light Layout
- ☐ OTHER (SPECIFY) _____

TYPE OF APPROVAL SOUGHT:

- ☐ Pad Certification
- ☒ Building Permit
- ☐ Grading Permit
- ☐ Paving Permit
- ☐ SO-19 Permit
- ☐ Foundation Permit
- ☐ Certificate of Occupancy - ☐ Temp ☐ Perm
- ☐ Preliminary / Final Plat
- ☐ Site Plan for Building Permit - DFT
- ☐ Work Order (DRC)
- ☐ Release of Financial Guarantee (ROFG)
- ☐ CLOMR / LOMR
- ☐ Conceptual TCL - DFT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 07-10-2025
09-19-2024



VICINITY MAP

N.T.S.

EROSION CONTROL MEASURES:

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUNOFF DURING CONSTRUCTION; HE SHALL ENSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

- ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DIKES, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SUBJECT SITE AND ENTERING ADJACENT PROPERTIES.
- ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SUBJECT SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREET RIGHT-OF-WAYS.
- THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT FROM PUBLIC STREETS THAT HAS BEEN ERODED FROM THE SUBJECT SITE AND DEPOSITED THEREON.

CONSTRUCTION NOTES:

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 260-1990 FOR THE ACTUAL FIELD LOCATION OF THE EXISTING SURFACE OF SUB-SURFACE UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION(S) OF ALL POTENTIAL OBSTRUCTIONS; SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN PUBLIC STREET RIGHT-OF-WAY(S) SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE/BERNALILLO COUNTY STANDARDS AND PROCEDURES.

PROJECT SITE

NOTES:

BUILDING PAD COMPACTION TO BE PER SOILS ENGINEER'S TEST RESULTS AND RECOMMENDATIONS.

CONTRACTOR TO PROVIDE ROOF GUTTERS AND DOWNSPOUTS (AS SHOWN) WITH SPLASH BOXES TO DISSIPATE DRAIN FLOW ENERGY.

CONTRACTOR TO PROVIDE POSITIVE DRAINAGE (2% MIN.) AWAY FROM STRUCTURE.

PROJECT T.B.M.: AS SHOWN ON THE PLAN HEREON.

*** PAD CERTIFICATION IS REQUIRED PRIOR TO BUILDING PERMIT RELEASE.

*** ENGINEER'S CERTIFICATION IS REQUIRED FOR "CERTIFICATE OF OCCUPANCY" RELEASE.

NOTES: 1.) (A) LIMITS OF UPPER LEVEL UNITS

2.) REFER TO "ARCHITECTS SITE PLAN" FOR BUILDING STRUCTURE LAYOUT DIMENSIONS.

NOTE: THREE (3) LEVEL APARTMENT UNITS BUILDING

LOWER LEVEL UNITS FINISH FLOOR ELEVATION = 5135.00

MIDDLE LEVEL UNITS FINISH FLOOR ELEVATION = 5146.00

UPPER LEVEL UNITS FINISH FLOOR ELEVATION = 5157.00

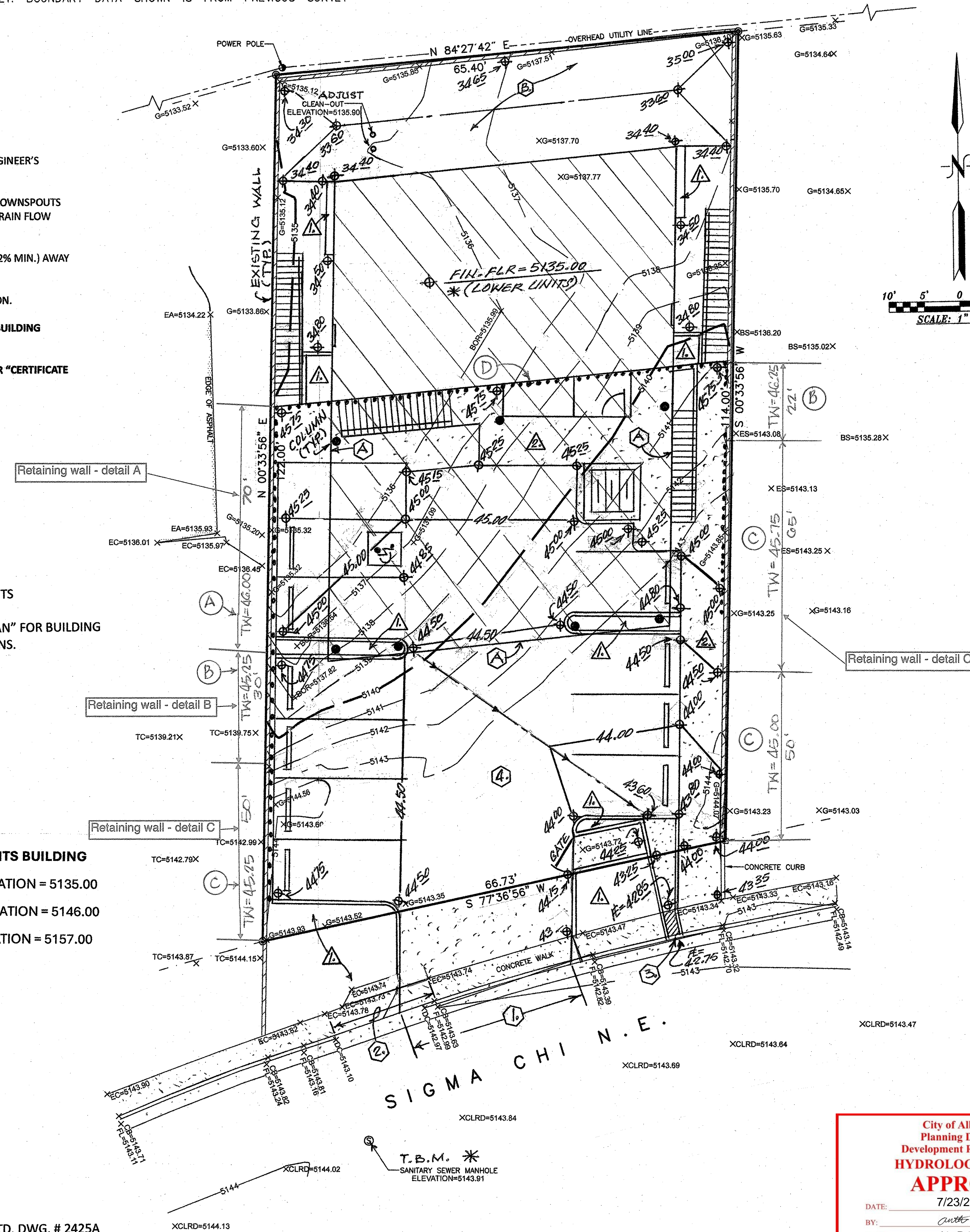
- (A) LIMITS OF UPPER LEVEL UNITS
- (B) WATER HARVESTING POND
- (1) LANDSCAPE AREA

NOTES:

- PROVIDE NEW CURB CUT-DRIVEPAD PER C.O.A. STD. DWG. # 2425A
- PROVIDE NEW CURB AND GUTTER PER C.O.A. STD. DWG. # 2415A
- PROVIDE 18" WIDE SIDEWALK CULVERT PER C.O.A. STD. DWG. # 2236
- PROVIDE ASPHALT PAVING OVER GRAVEL BASE COURSE PER GEO-TEST

GEORGE T. RODRIGUEZ
LAND USE, DEVELOPMENT AND
RE-DEVELOPMENT CONSULTANT
ALBUQUERQUE, NEW MEXICO
505-610-0593

LEGAL DESCRIPTION: LOT FOUR (4), IN BLOCK TWO (2), SIGMA CHI ADDITION,
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.



* NOTE:
RETAINING WALL (HEIGHT VARIES) REQUIRED WHERE SHOWN
THUS •••••, TO BE DESIGNED BY OTHERS.

DRAINAGE COMMENTS:

AS SHOWN ON THE VICINITY MAP HEREON, THE SUBJECT SITE IS LOCATED ON THE NORTH SIDE OF SIGMA CHI ROAD N.E. BETWEEN UNIVERSITY BLVD. N.E. AND YALE BLVD. N.E., IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, (ZONE ATLAS 'J-15-Z').

THE SUBJECT SITE, 1.) IS AN EXISTING VACANT PROPERTY THAT IS TO HAVE AN APARTMENT BUILDING AND ASSOCIATED IMPROVEMENTS CONSTRUCTED THEREON, (THIS GRADING AND DRAINAGE PLAN WAS PREPARED TO SUPPORT A BUILDING PERMIT APPLICATION FOR THE ADDRESS OF 1815 SIGMA CHI ROAD N.E., ALBUQUERQUE, NEW MEXICO), 2.) DOES NOT ACCEPT OFFSITE FLOWS FROM ADJACENT PROPERTIES, 3.) DOES NOT CONTRIBUTE TO THE OFFSITE FLOWS OF ADJACENT PROPERTIES, 4.) IS NOT LOCATED WITHIN A DESIGNATED FLOODPLAIN (DESIGNATED ZONE 'X', REFERENCE FEMA PANEL NO. 35001C0353H, EFFECTIVE 08-16-20, 5.) IS DESIGNED TO FREE DISCHARGE DEVELOPED FLOWS AND IS TO REQUEST FOR "CASH IN LIEU" PAYMENT FOR THE REQUIRED RETENTION POND VOLUME.

PER THE DEVELOPMENT PROCESS MANUAL FOR THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, HYDROLOGY, CHAPTER 6, ARTICLE 6-2(a), EFFECTIVE DATE: JUNE 8, 2020.

SITE AREA = 0.18 ACRE

PRECIPITATION ZONE: TWO (2)
"LAND TREATMENT METHOD" FOR CALCULATION OF "Qp"

PRECIPITATION: 100-YR./6 HR. = 2.29 IN.

EXCESS PRECIPITATION:	PEAK DISCHARGE:
TREATMENT A 0.62 IN.	1.71 CFS/AC.
TREATMENT B 0.80 IN.	2.36 CFS/AC.
TREATMENT C 1.03 IN.	3.05 CFS/AC.
TREATMENT D 2.33 IN.	4.34 CFS/AC.

EXISTING CONDITIONS:	PROPOSED CONDITIONS:
AREA	AREA
TREATMENT A 0.18 AC.	0.00 AC.
TREATMENT B 0.00 AC.	0.00 AC.
TREATMENT C 0.00 AC.	0.03 AC.
TREATMENT D 0.00 AC.	0.15 AC.

EXISTING EXCESS PRECIPITATION:

WEIGHTED 'E' = $(0.62 \times 0.18) + (0.80 \times 0.00) + (1.03 \times 0.00) + (2.33 \times 0.00) / 0.18 = 0.62$ IN.
V100-360 = $(0.62 \times 0.00) / 12 = 0.05167$ AC. FT. = 2,251.0 CU. FT.

EXISTING PEAK DISCHARGE:

Q-100 = $(1.71 \times 0.18) + (2.36 \times 0.00) + (3.05 \times 0.00) + (4.34 \times 0.00) = 0.31$ CFS

PROPOSED EXCESS PRECIPITATION:

WEIGHTED 'E' = $(0.62 \times 0.00) + (0.80 \times 0.00) + (1.03 \times 0.03) + (2.33 \times 0.15) / 0.18 = 2.11$ IN.
V100-360 = $(2.11 \times 0.15) / 12 = 0.02638$ AC. FT. = 1,149.0 CU. FT.

PROPOSED PEAK DISCHARGE:

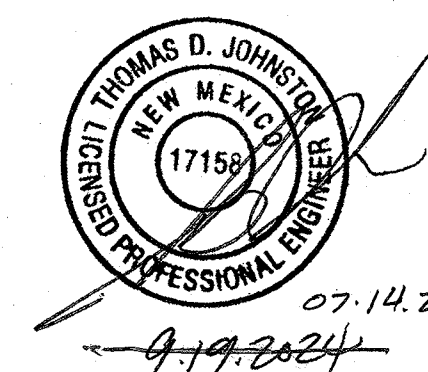
Q-100 = $(1.71 \times 0.00) + (2.36 \times 0.00) + (3.05 \times 0.03) + (4.34 \times 0.15) = 0.68$ CFS

*** REQUEST FOR "CASH IN LIEU" FOR REQUIRED RETENTION POND VOLUME.

PROJECT SITE AREA = 7,725.0 SQ. FT. = 0.18 AC.
LANDSCAPE AREA = 1,161.0 SQ. FT. = 0.03 AC.
IMPERVIOUS AREA = 6,564.0 SQ. FT. = 0.15 AC.

0.26"/12 X 6,564.0 SQ. FT. = 142.2 CU. FT.

142.2 CU. FT. X \$ 8.00/CU. FT. = \$ 1,137.60 (CASH IN LIEU AMOUNT)



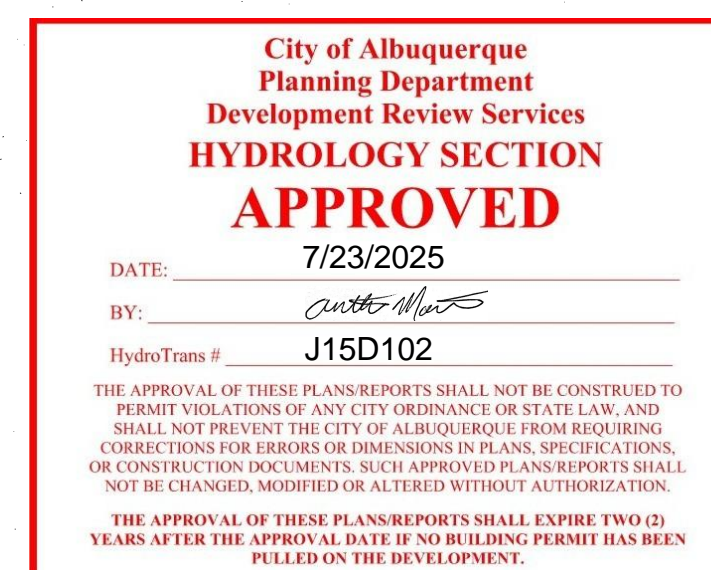
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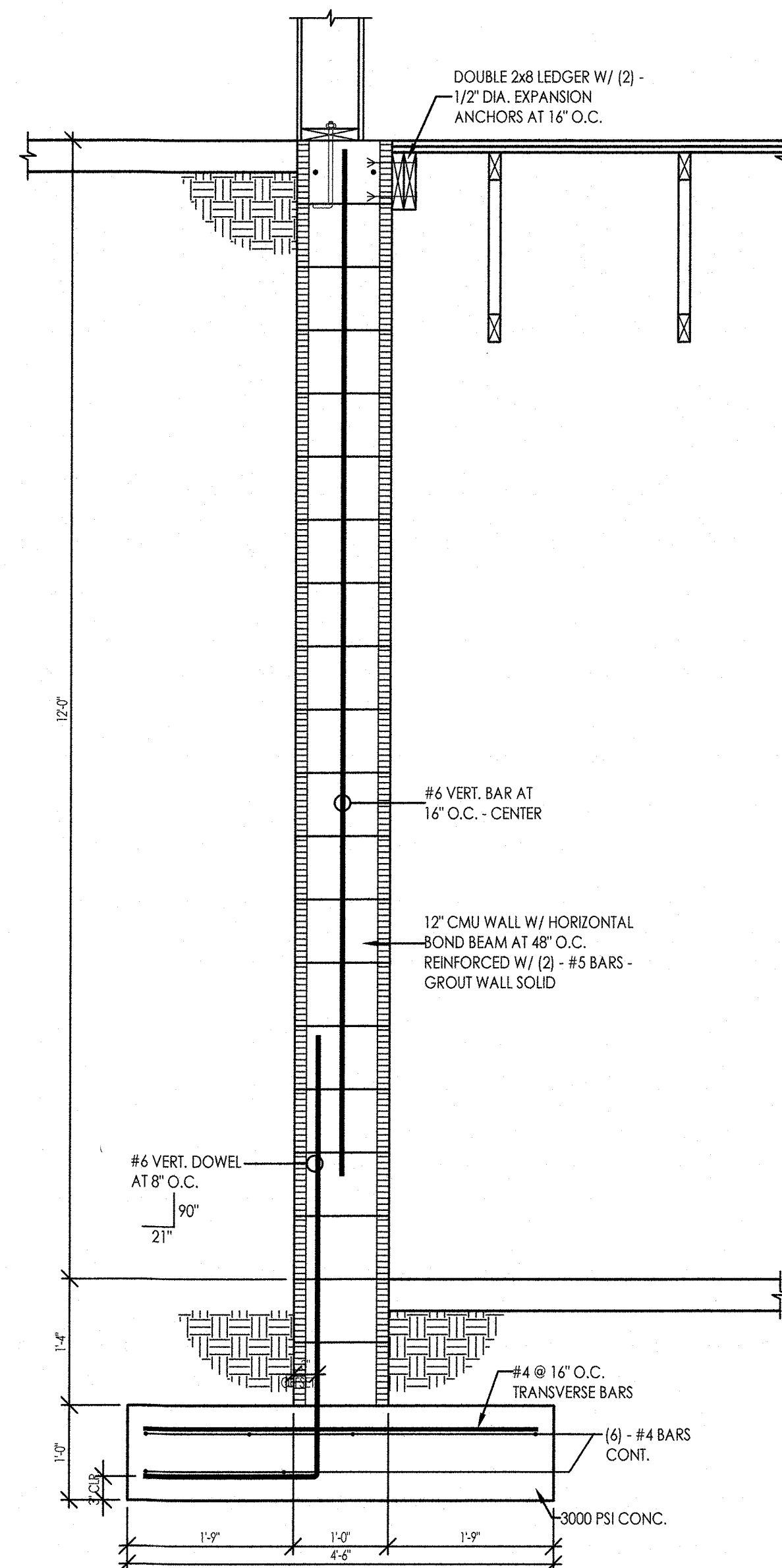
- REFER TO ATTACHED SHEET "S-1.1" FOR STAMPED RETAINING WALL DESIGN DETAILS.
- THIS PREVIOUSLY APPROVED PLAN IS BEING RE-SUBMITTED TO INCLUDE THE REQUIRED RETAINING WALL DETAILS DESIGNED BY OTHERS.

A PROPOSED PLAN
FOR
SIGMA CHI APARTMENTS
(1815 SIGMA CHI ROAD N.E.)
ALBUQUERQUE, NEW MEXICO
SEPTEMBER, 2024
(JULY, 2025)

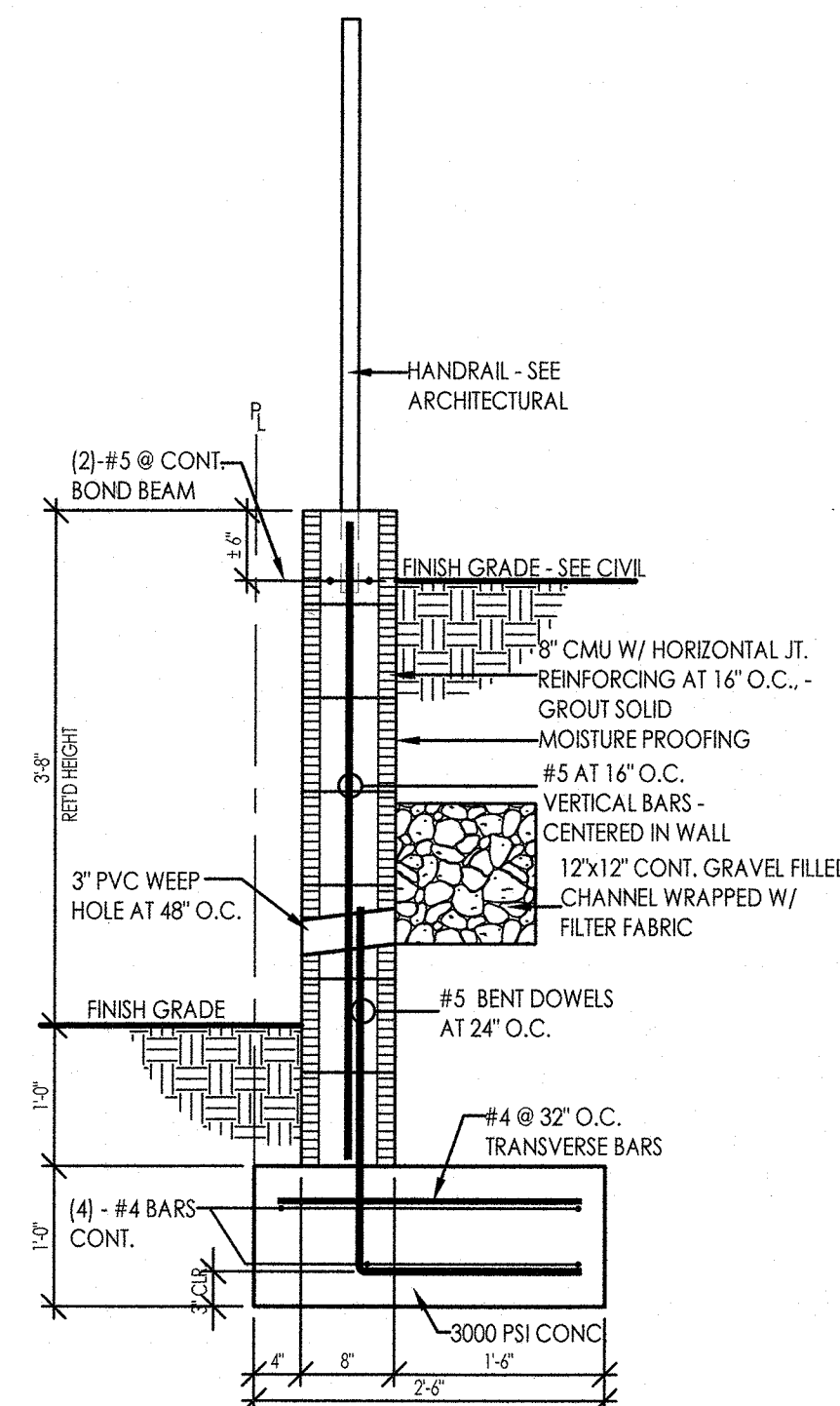
(SHEET 1 OF 2 SHEETS)

GRADING AND DRAINAGE PLAN

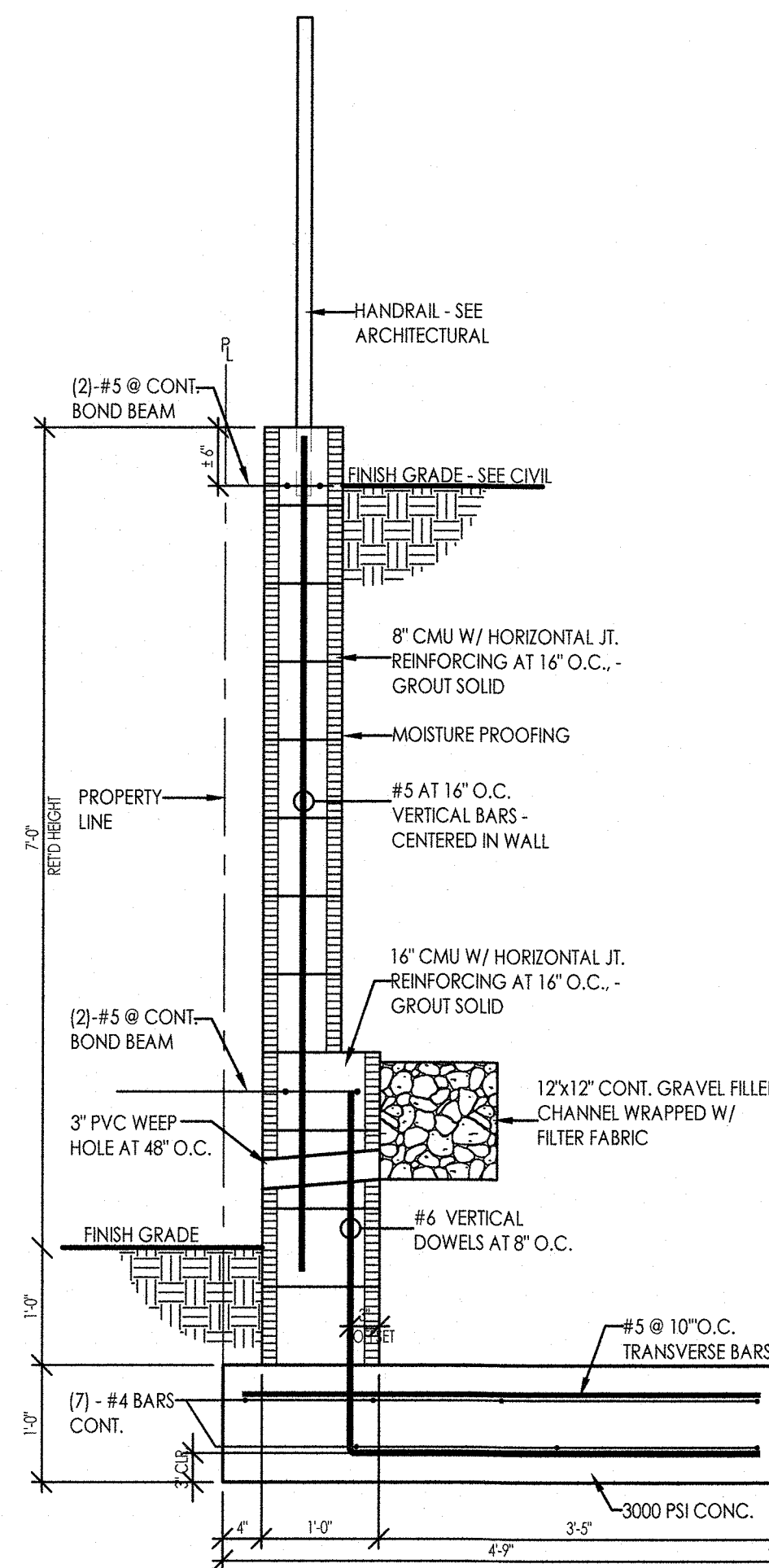




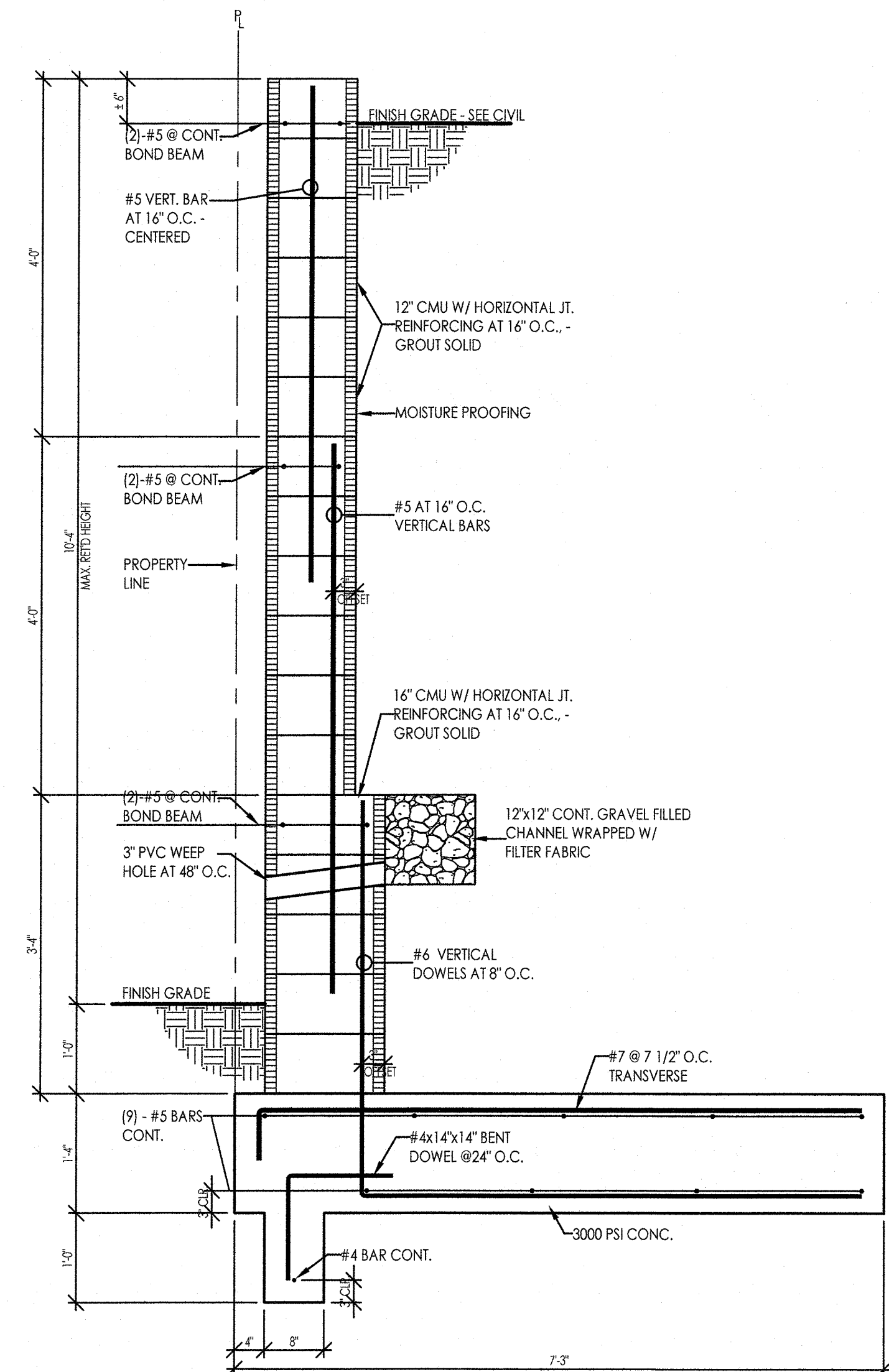
D BASEMENT RETAINING WALL
3/4"=1'-0"



C RETAINING WALL
3/4"=1'-0"



B RETAINING WALL
3/4"=1'-0"



A RETAINING WALL
3/4"=1'-0"

SIGMA CHI APARTMENTS
FOUNDATION - RETAINING WALL DETAILS
1815 SIGMA CHI RD., N.E.
ALBUQUERQUE, N.M. 87106
PROJECT #2143

REVISION DATE



RBA ARCHITECTURE, PC
PLANNING DESIGN
1000 First Ave. SW
Albuquerque, NM 87102
www.rbaa.com

DATE
04-29-2025

SHEET NUMBER
S-1.1

(SHEET 2 OF 2 SHEETS)