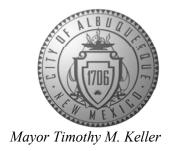
CITY OF ALBUQUERQUE

Planning Department Alan Varela, Director



June 20, 2023

Jeffrey T. Wooten, P.E. Wooten Engineering PO Box 15814 Rio Rancho, NM 87174

RE: Loft at 1801

1801 Mesa Vista Rd. NE Grading & Drainage Plan

Engineer's Stamp Date: 05/18/23

Hydrology File: J15D103

Dear Mr. Wooten:

PO Box 1293

Based upon the information provided in your submittal received 06/09/2023, the Grading & Drainage Plans are approved for Building Permit, Grading Permit, and SO-19 Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

Albuquerque

PRIOR TO CERTIFICATE OF OCCUPANCY:

NM 87103

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.

www.cabq.gov

- 2. Please provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for \$25.00 made out to "Bernalillo County" for the stormwater quality ponds per Article 6-15(C) of the DPM to Hydrology for review at Plaza de Sol.
- 3. Please pay the Payment-in-Lieu of \$ 704.00 by emailing the attached approved Waiver Application from Stormwater Quality Volume Management On-site to PLNDRS@cabg.gov. Once this is received, a receipt will then produce and email back. Follow the instructions on the bottom of the form and pay it at the Treasury next to Building Permits. Once paid, please email me proof of payment.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

CITY OF ALBUQUERQUE

Planning Department Alan Varela, Director



If you have any questions, please contact me at 924-3995 or <u>rbrissette@cabq.gov</u>.

Sincerely,

Renée C. Brissette, P.E. CFM Senior Engineer, Hydrology Planning Department

Renée C. Brissette

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

NOTE: THE SUBJECT PROJECT IS FOR THE CITY OF ALBUQUERQUE PARKS & RECREATION DEPARTMENT



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: Loft @ 1801	Building Permit #:	Hydrology File #: J15
		Work Order#:
Legal Description: Lots 1, 2, and 5,		
City Address: 1801 Mesa Vista St N	IE	
		Contact: Jeffrey T. Wooten, P.E.
Address: PO Box 15814, Rio Ranch		***
Phone#: 505-980-3560	Fax#: N/A	E-mail: jeffwooten.pe@gmail.com
Owner:		Contact:
Address:		
		E-mail:
TYPE OF SUBMITTAL: PLAT (PLAT (IS THIS A RESUBMITTAL?:		NCE DRB SITE X ADMIN SITE
DEPARTMENT: TRAFFIC/ TRA	NSPORTATION X HYI	DROLOGY/ DRAINAGE
Check all that Apply: .		
TYPE OF SUBMITTAL: ENGINEER/ARCHITECT CERTIFICATION CONCEPTUAL G & D PLAN GRADING PLAN DRAINAGE MASTER PLAN DRAINAGE REPORT FLOODPLAIN DEVELOPMENT PRELEVATION CERTIFICATE CLOMR/LOMR TRAFFIC CIRCULATION LAYOU TRAFFIC IMPACT STUDY (TIS) OTHER (SPECIFY) PRE-DESIGN MEETING?	CATION CATION	YPE OF APPROVAL/ACCEPTANCE SOUGHT: X BUILDING PERMIT APPROVAL CERTIFICATE OF OCCUPANCY PRELIMINARY PLAT APPROVAL SITE PLAN FOR SUB'D APPROVAL SITE PLAN FOR BLDG. PERMIT APPROVAL FINAL PLAT APPROVAL SIA/ RELEASE OF FINANCIAL GUARANTEE FOUNDATION PERMIT APPROVAL X GRADING PERMIT APPROVAL SO-19 APPROVAL PAVING PERMIT APPROVAL GRADING/ PAD CERTIFICATION WORK ORDER APPROVAL CLOMR/LOMR FLOODPLAIN DEVELOPMENT PERMIT OTHER (SPECIFY)
DATE SUBMITTED: May 26, 2023	By: _Jeffrey T.	Wooten, P.E.
COA STAFF:	ELECTRONIC SUBMI	ITAL RECEIVED:

FEE PAID:____

CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

WAIVER APPLICATION FROM STORMWATER QUALITY VOLUME MANAGEMENT ON-SITE

GENERAL INFORMATION				
APPLICANT: Jeffrey T. Wooten, P.E. DATE: 6/19/2023 DEVELOPMENT: Loft at 1801 LOCATION: 1801 Mesa Verde St NE				
STORMWATER QUALITY POND VOLUME				
Per the DPM Article 6-12 - Stormwater Quality and Low-Impact Development, the calcul sizing for required Stormwater Quality Pond volume is equal to the impervious area drain the BMP multiplied by 0.42 inches for new development sites and by 0.26 inches for redevelopment sites.				
The required volume is 367 cubic feet				
The provided volume is 279 cubic feet				
The deficient volume is 88 cubic feet				
WAIVER JUSTIFICATION				

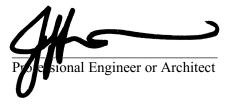
1. Management on-site shall be waived by the City Engineer if the following conditions are met:

Per the DPM Article 6-12(C), private off-site mitigation and payment-in-lieu may only be considered if

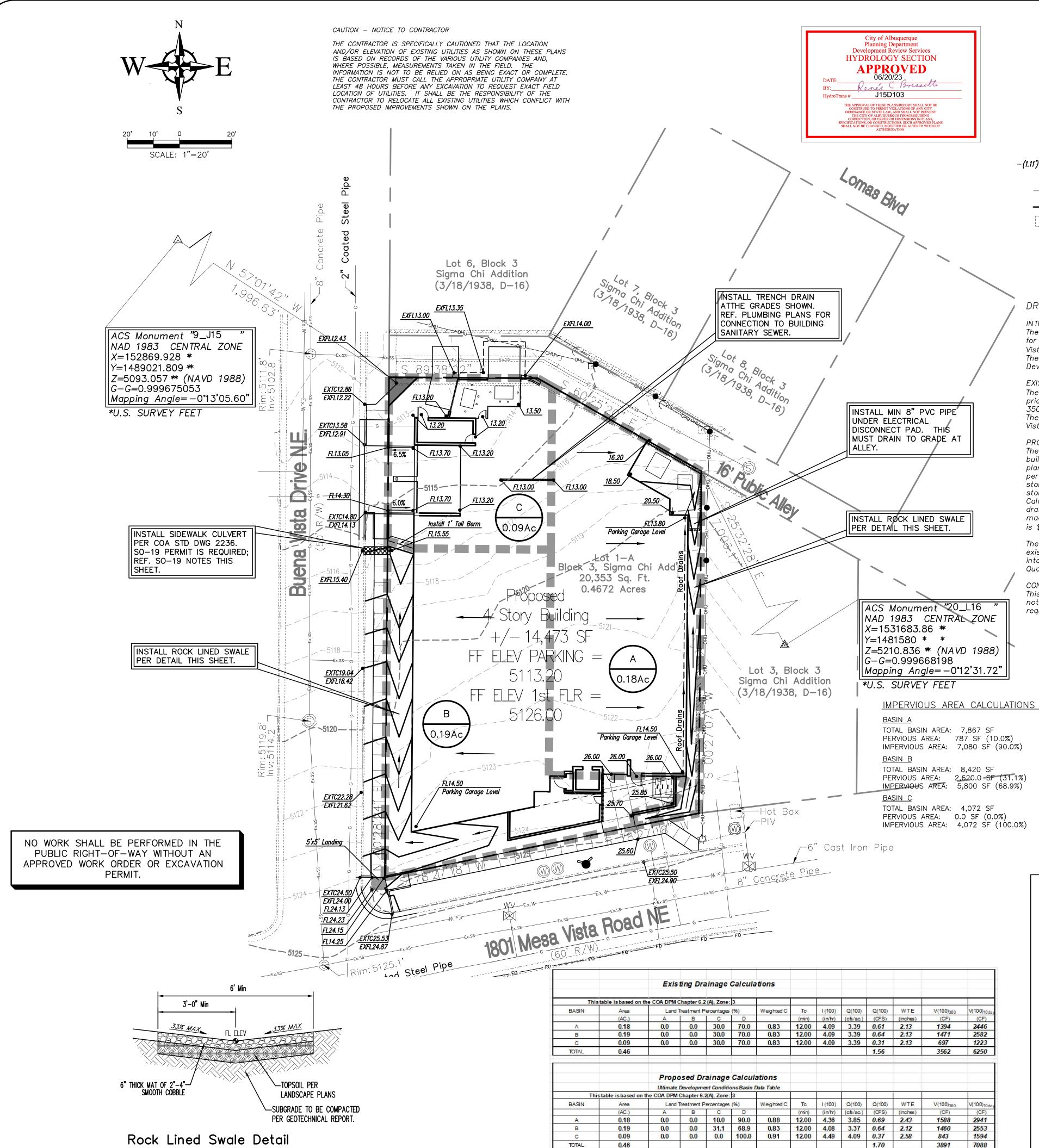
management on-site is waived in accordance with the following criteria and procedures.

- a. Stormwater quality can be effectively controlled through private off-site mitigation or through an arrangement (approved by the City) to use a cooperator's existing regional stormwater management infrastructure or facilities that are available to control stormwater quality.
- b. Any of the following conditions apply:
 - i. The lot is too small to accommodate management on site while also accommodating the full plan of development.
 - ii. The soil is not stable as demonstrated by a geotechnical report certified by a professional engineer licensed in the State of New Mexico.
 - iii. The site use is inconsistent with the capture and reuse of stormwater.
 - iv. Other physical conditions exist where compliance with on-site stormwater quality control leaves insufficient area.
 - v. Public or private off-site facilities provide an opportunity to effectively accomplish the mitigation requirements of the Drainage Ordinance (Part 14-5-2 ROA 1994) as demonstrated on as-built construction drawings and an approved drainage report.
 - vi. The developer constructs a project to replenish regional groundwater supplies at an off-site location.
 - vii. A waiver to State water law or acquisition of water rights would be required in order to implement management on site.
- 2. The basis for requesting payment-in-lieu or private off-site mitigation is to be clearly demonstrated on the drainage plan.

This project's justification: I here is a small section
of the roof that drains directly out of the
driveway onto Buena Vista and can't
be routed through the SWQ Swale.



PAYMENT-IN-LIEU			
		nt of payment-in-lieu is deficient volume (cubic feet) times \$6 sidential projects or \$8 per cubic feet for all other projects.	
AMO	UNT OF PAYMENT-IN-LIEU = \$ _	704.00	
THIS	S SECTION IS FOR CITY	USE ONLY	
X	Waiver is approved. The amount o of Occupancy.	of payment-in-lieu from above must be paid prior to Certificate	
	Waiver is DENIED.		
	Renée C. Brissette City of Albuquerque Hydrology Section	06/20/23	





FLOW ARROW

27.8 PROPOSED TOP OF GRADE/PVMT ELEVATIONS

FL27.8 PROPOSED FLOW LINE/GUTTER ELEVATIONS

TC27.8 PROPOSED TOP OF CURB ELEVATIONS TS27.8 PROPOSED TOP OF SIDEWALK ELEVATION

FG27.8 PROPOSED FINISHED GRADE ELEVATION

FINISHED GRADE AT TOP OF WALL FINISHED GRADE AT BOTTOM OF WALL FGL83.40

__ _ 515__ _ EXISTING CONTOUR

PROPOSED CONTOUR EXISTING STORM DRAIN

BASIN DESIGNATION

AREA (ACRES)

DRAINAGE MANAGEMENT PLAN

INTRODUCTION

The purpose of this submittal is to provide a final grading plan for the subject site located at the Northeast Corner of Buena Vista Dr NE and Mesa Vista Rd NE (1801 Mesa Verde Rd NE). The development consists of a new 4 Story Multifamily Development.

EXISTING HYDROLOGIC CONDITIONS

The project is located in Hydrology File J15/D103; however, no prior approved documents could be located. Per FIRM Map 3500100353H, the site is not located in the 100—Yr Floodplain. The site currently sheet flows from east to west and into Buena Vista Dr NE. No offsite flows enter the property.

PROPOSED HYDROLOGIC CONDITIONS

The roof of the proposed building splits down the middle of the building as reflected by the drainage basins reflected on this plan. Both sides of the building drain into a rock—lined swale per the detail on this sheet. The rock—lined swale is a stormwater quality feature that will slow the velocities of the stormwater from the roof drainage. Ref. the Stormwater Quality Calculations this sheet. A small area, Basin C, is not able to drain into a SWQ Feature and a Payment-in-Lieu will need to be made. Per the calculations this sheet, the Payment-in-Lieu fee is \$704.00.

The area west of the new building is paved and will tie in to the existing paved facilities. This area drains to the southwest and into a new stormwater quality pond. Reference the Stormwater Quality Calculations this sheet.

This drainage management plan conforms to the DPM and does requesting Grading Permit and Building Permit approval.

> STORMWATER QUALITY CALCULATIONS BASIN A (REDEVELOPMENT RATE = 0.26") TOTAL NEW IMPERVIOUS PAVED AREAS = 7,080 SF SWQ VOLUME REQ'D = 7,080 * 0.26" / 12 = 153 CFTOTAL SWALE VOLUME PER LF = 1.5 CF TOTAL VOLUME PROVIDED = 135 LF * 2.25 = 202 CF

> BASIN B (REDEVELOPMENT RATE = 0.26") TOTAL NEW IMPERVIOUS PAVED AREAS = 5,800 SF SWQ VOLUME REQ'D = 5,800 * 0.26" / 12 = 126 CFTOTAL SWALE VOLUME PER LF = 1.5 CF TOTAL VOLUME PROVIDED = 145 LF * 1.5 = $\underline{217}$ CF

BASIN C (REDEVELOPMENT RATE = 0.26") TOTAL NEW IMPERVIOUS PAVED AREAS = 4,072 SF SWQ VOLUME REQ'D = 4,072 * 0.26" / 12 = 88 CFTOTAL VOLUME PROVIDED = 0 CFPAYMENT-IN-LIEU = 88CF * \$8.00 = \$704.00

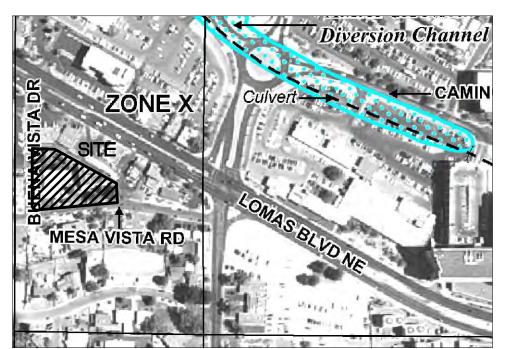
Private Drainage Facilities within City Right-of-Way **Notice to Contractor** (Special Order 19 ~ "SO-19")

- 1. Build sidewalk culvert per COA STD DWG 2236. Work is permitted and inspected by DMD Construction Services
- 2. An excavation permit will be required before beginning any work within City Right-Of-Way.
- 3. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
- 4. Prior to any excavation, the contractor must contact **New** Mexico One Call, dial "811" [or (505) 260-1990] for the location of existing utilities.
- 5. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be
- resolved with a minimum amount of delay. 6. Backfill compaction shall be 95%.
- 7. Maintenance of the facility shall be the responsibility of the owner of the property being served.
- 8. Work on arterial streets may be required on a 24-hour basis. 9. For excavation and barricading inspections, contact DMD Construction Services Division.



VICINITY MAP

LEGAL DESCRIPTION: Lots 1, 2, and 5; Sigma Chi Addition, 0.46 Acres



FIRM MAP 35001C0353H

Per FIRM Map 35001C0353H, dated August 16, 2012, the site is not located in the Floodplain and determined to be outside the 0.2% chance Annual Floodplain.'

GRADING NOTES

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS

COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.

3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).

4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.

5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.

6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT

7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.

8. PAVING AND ROADWAY GRADES SHALL BE +/- 0.05' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN

9. ALL PROPOSED CONTOURS AND SPOT ELEVATIONS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR PAVEMENT, MEDIANS, AND ISLANDS.

10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION (IF APPLICABLE) PRIOR TO BEGINNING CONSTRUCTION.

11. THE CONTRACTOR SHALL PROVIDE THE SWPPP DOCUMENT (IF NECESSARY) AND SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULÉS AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.



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