

# CITY OF ALBUQUERQUE

*Planning Department*  
Alan Varela, Director



*Mayor Timothy M. Keller*

January 25, 2024

Loren Vigil  
Vigil Contracting Services, Inc  
1512 Coors Blvd. SW  
Albuquerque, NM 87121

**Re: 1525 Girard**  
**1525 Girard Blvd. NE**  
**Traffic Circulation Layout**  
Architect's Stamp 12-29-23 (J16-D003)

Dear Mr. Vigil,

The TCL submittal received 12-22-2023 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

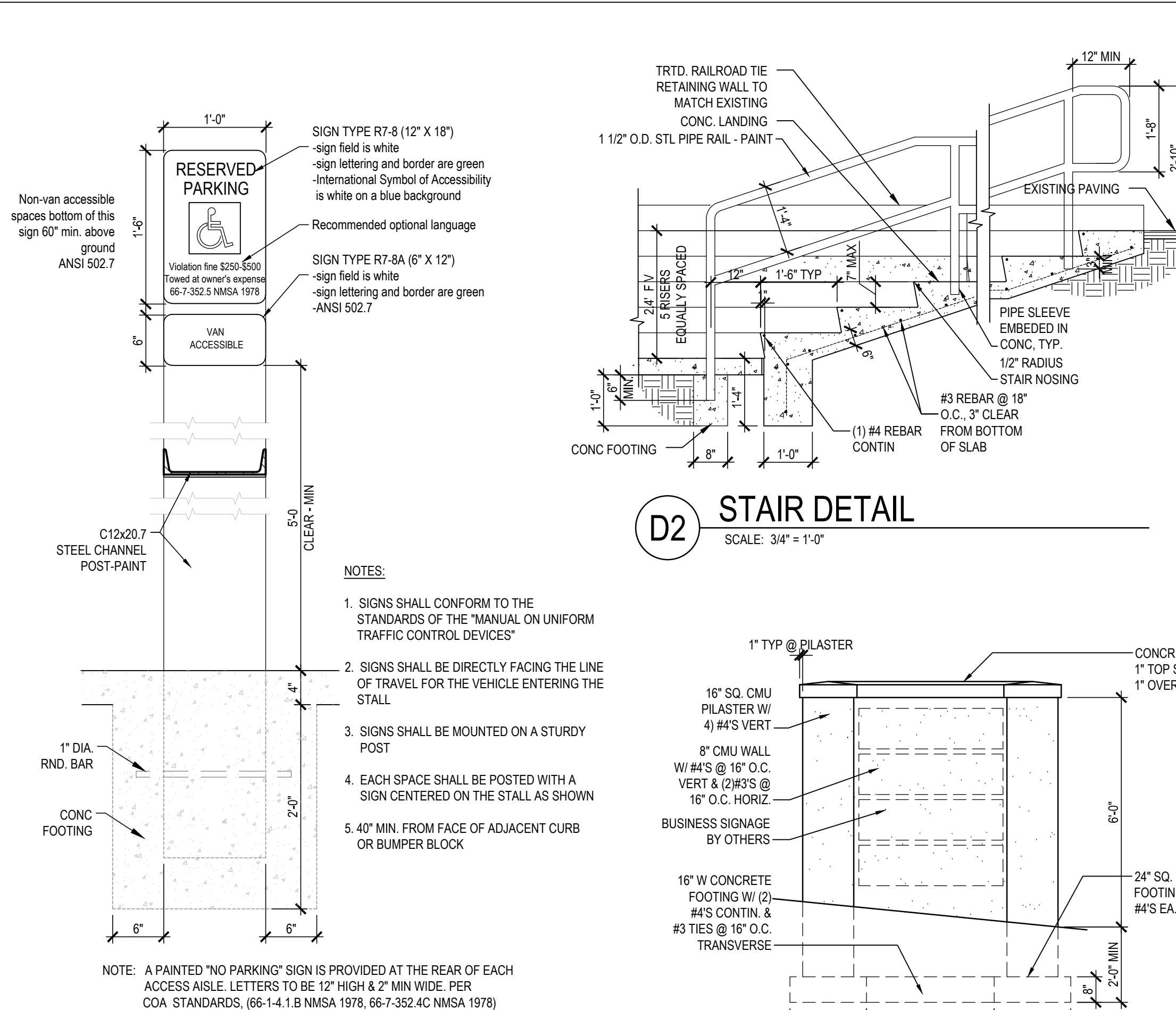
Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

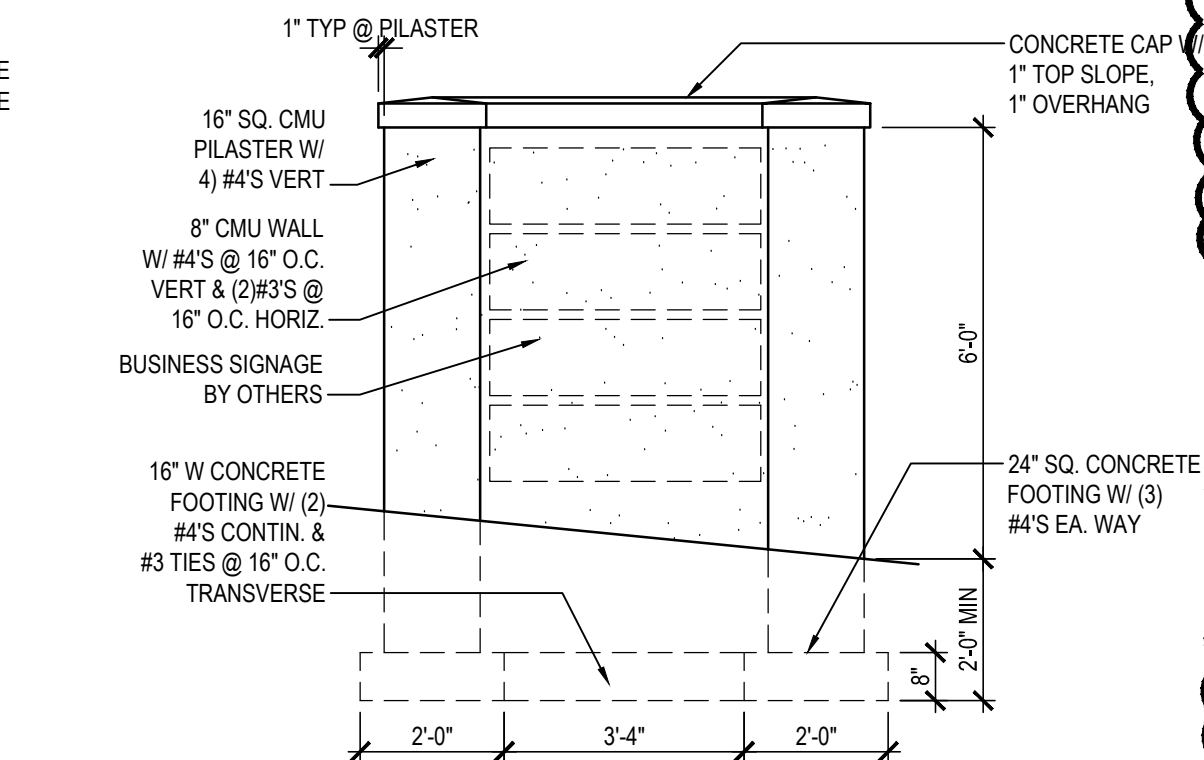
C: CO Clerk, File



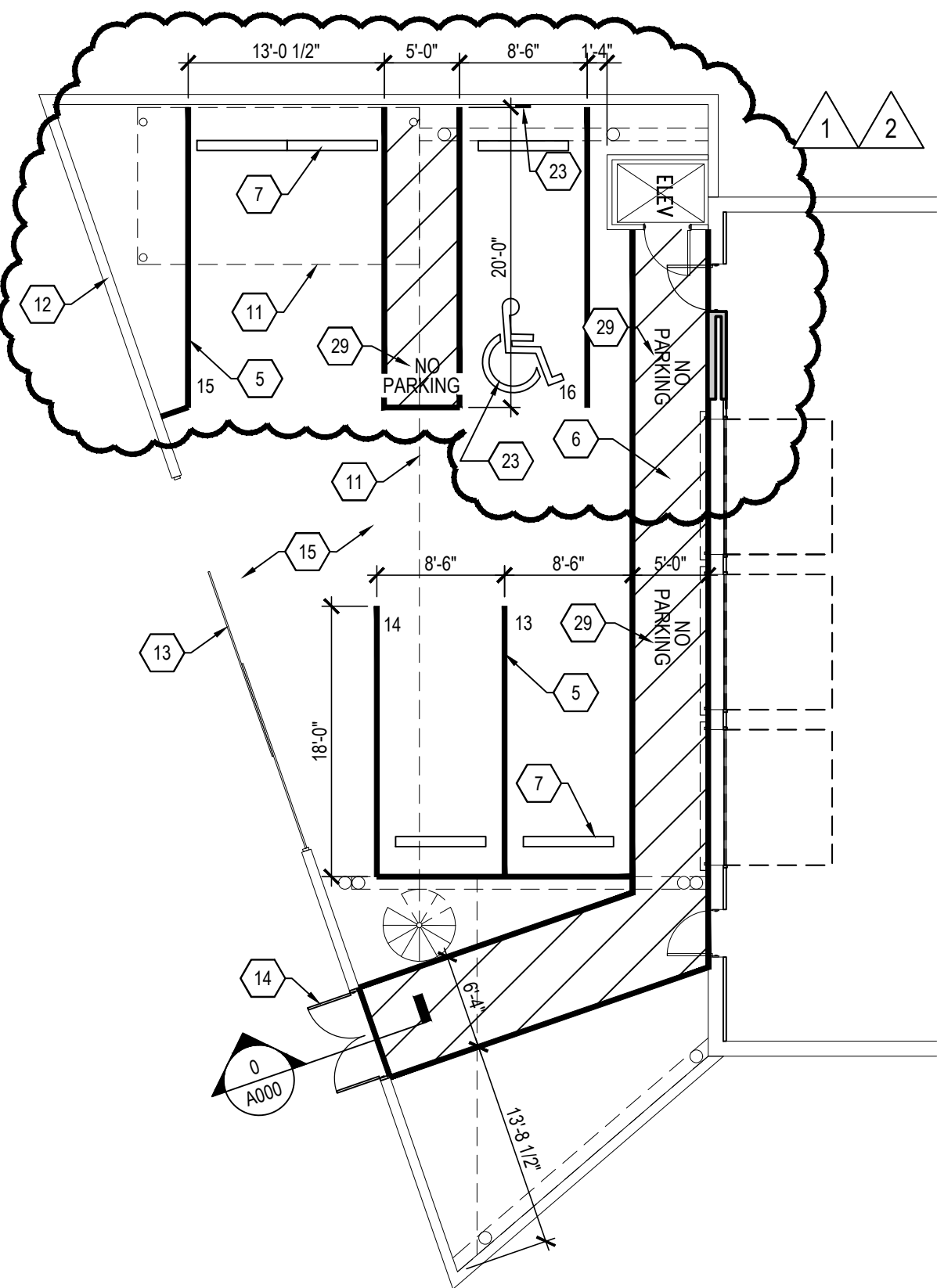


C3 H.C. SIGN  
SCALE: 1/2" = 1'-0"

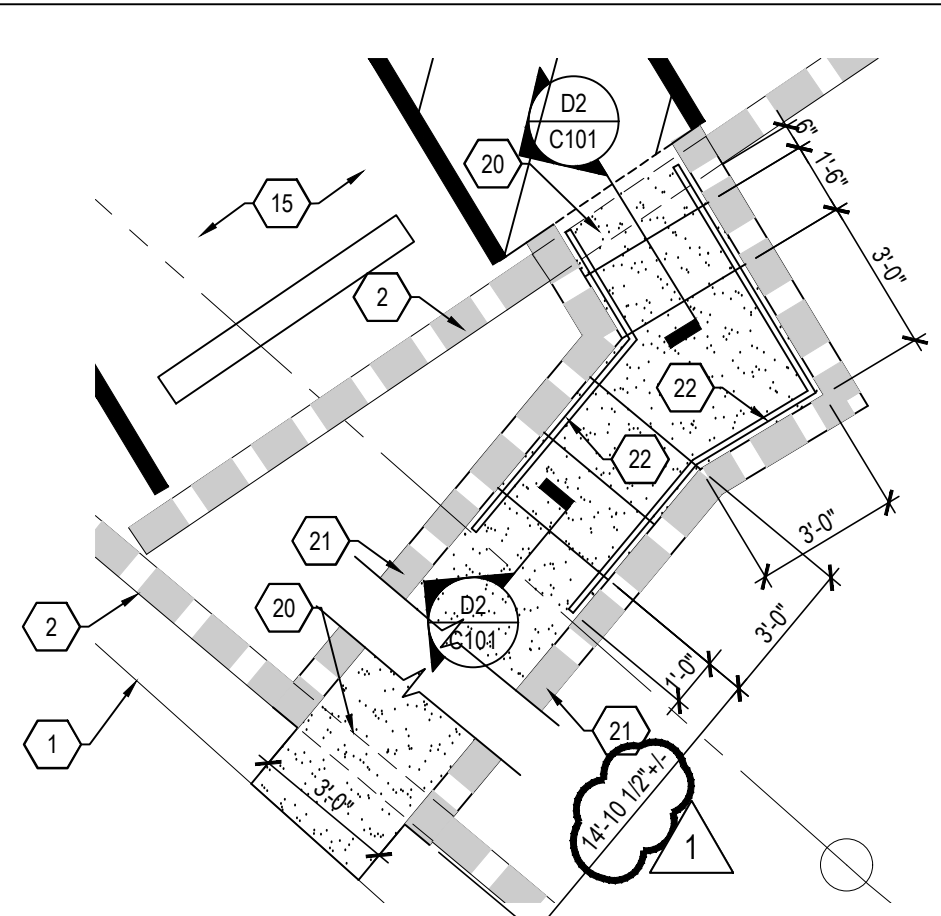
D2 STAIR DETAIL  
SCALE: 3/4" = 1'-0"



C2 SITE SIGN  
SCALE: 1/2" = 1'-0"



A2 BASEMENT PARKING PLAN  
SCALE: 1" = 10'-0"



D3 HC PARKING/STAIR PLAN  
SCALE: 1/4" = 1'-0"

### TCL ANALYSIS

"CHANGE OF OCCUPANCY"

PROJECT ADDRESS: 1525 GIRARD NE  
ALBUQUERQUE, NM

LEGAL DESCRIPTION: TRACT T-3, BLOCK 2-A,  
NORTH ALBUQUERQUE ACRES, TRACT A, UNIT A

ZONING: MX-M (MODERATE INTENSITY MIXED USE)

BUILDING AREA: GROUP B 1ST FLR: = 2,114 SQ FT  
GROUP A-3 BASEMENT: = 1,815 SQ FT  
GROUP R-2 2ND FLR: = 2,376 SQ FT  
TOTAL = 6,305 SQ FT

\* THE AREA INCLUDED WITHIN SURROUNDING EXTERIOR WALLS EXCLUSIVE OF VENT SHAFTS AND COURTS AND INCLUDING EXTERIOR AREAS WITHIN THE HORIZONTAL PROJECTION OF THE ROOF OR FLOOR ABOVE.

PARKING: PER CITY OF ALBUQUERQUE AND NM BUILDING CODE

- SPACES REQUIRED: GROUP B (OFFICE) 3.5 SPACES/1000 GFA = 7.39  
GROUP A-3 (ASSEMBLY) 1 SPACE / 4 SEATS PER RELIGIOUS INSTITUTION CABO ZONING PERMIT DEPT. = 6.61  
GROUP R-2 (APARTMENT DWELLING) 2 SPACE/DU = 2  
TOTAL = 16 SPACES
- SPACES PROVIDED: 16 SPACES
- HANDICAPPED SPACES: 2 SPACES REQUIRED, 2 SPACES PROVIDED.

SIGNAGE:

- ALLOWABLE SIGNAGE PER 14-16-3-2, 1 SIGN (150 MAX SF) PER 300' OF STREET FRONTAGE.

## LOCATION MAP



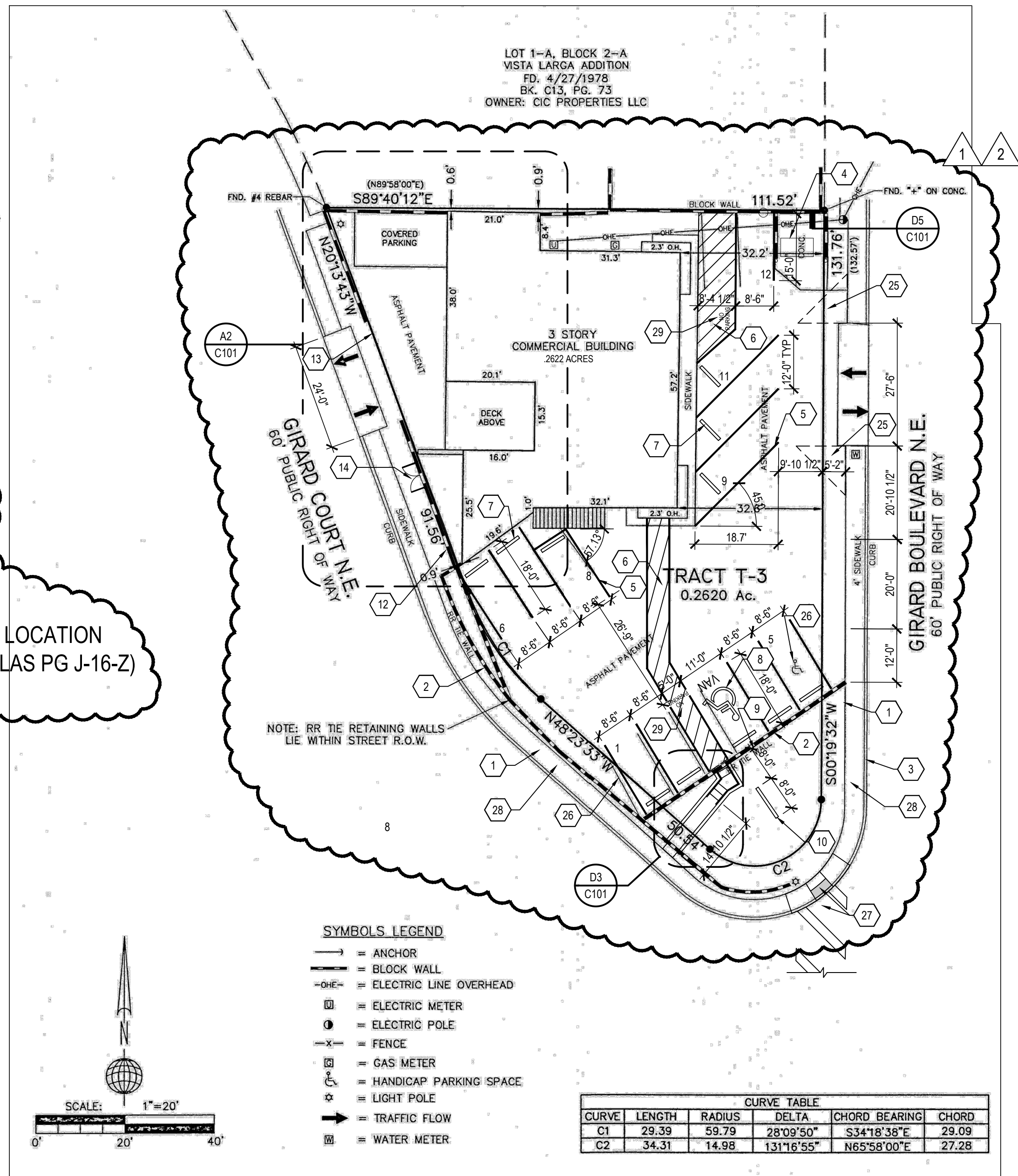
PROJECT LOCATION  
(ZONE ATLAS PG J-16-Z)

## SURVEYOR NOTES:

- NOTES:
- Distances shown hereon are horizontal ground distances in feet.
  - Bearings are based on the plat of Vista Larga Addition (Bk. B19, Pg. 167), as monumented by found corners.
  - Record dimensions are shown in parenthesis ( ), where record dimensions differ from actual measurements.
  - Corners shown thus "●" are set #4 rebar w/cap stamped "G. Gritsko, PS 8698", unless otherwise noted.
  - Flood Note: The property shown hereon is located in Zone X, areas of minimal flood hazard, according to the Flood Insurance Rate Map of Bernalillo County, New Mexico, Panel No. 35001C0351H, effective date August 16, 2012.
  - According to the City of Albuquerque Integrated Development Ordinance, the subject property is zoned "MX-M", Mixed Use, Moderate Intensity. A zoning report was not provided. Zoning restrictions are not shown.
  - PARKING: There are 10 standard parking spaces, and 1 A.D.A. (handicap) space. A total of 11 stripped parking spaces.
  - There was no observed evidence of current earth moving work, building construction or building additions.
  - Reference documents:
    - Old Republic National Title Insurance Co. commitment No. 2208035, dated 12/22/2022.
    - Plat of Vista Larga Addition, filed 5/05/1982 in Bk. B19, Pg. 167.
    - Adjoining plats and deeds as noted hereon.

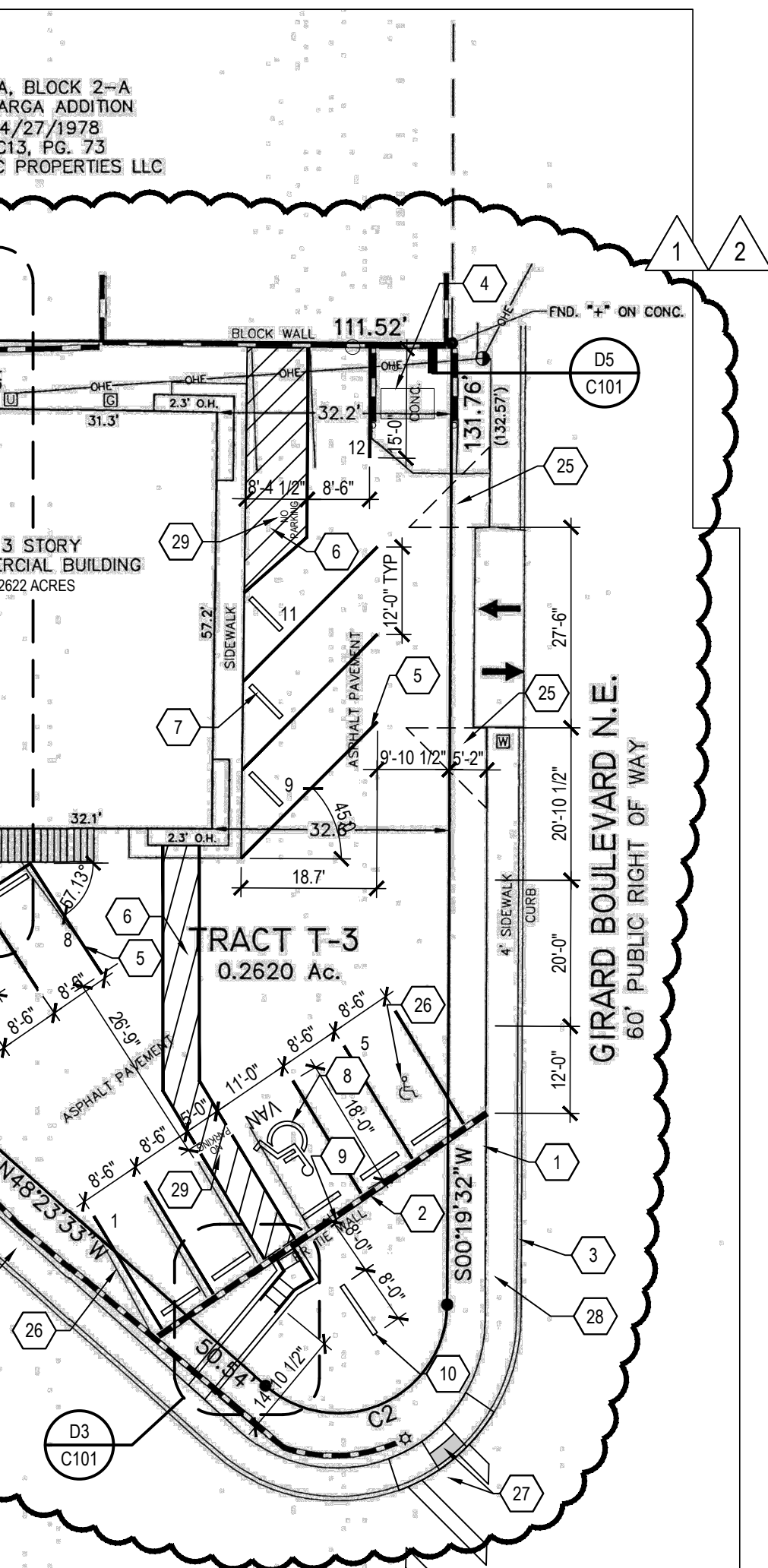
- EASEMENTS: per Schedule B, Part 2 of Title commitment dated December 22, 2022 [item #]
- Reservations contained in Patent from U.S.A., recorded in Book 22, Pg. 507, AFFECTS SUBJECT PROPERTY, NOTHING PLOTTED
  - Restrictive Covenants recorded June 9, 1947 in Book D48, Page 549, AFFECTS SUBJECT PROPERTY, NOTHING PLOTTED
  - Easements and notes as shown on the plat recorded May 5, 1982 in Plat Book B19 folio 167. AFFECTS SUBJECT PROPERTY, PLOTTED

D4 ENCLOSURE DETAIL  
SCALE: 3/4" = 1'-0"



A4 SITE PLAN  
SCALE: 1" = 20'-0"

D5 TRASH ENCLOSURE PLAN  
SCALE: 1/4" = 1'-0"



### KEYED NOTES

- EXISTING CONCRETE SIDEWALK TO REMAIN.
- EXISTING RAILROAD TIE WALL TO REMAIN. REMOVE AT NEW SIDEWALK.
- EXISTING CURB AND GUTTER TO REMAIN.
- EXISTING TRASH ENCLOSURE. SEE DETAILS D4, D5/C101.
- NEW 4" WIDE PAINTED PARKING STRIPING.
- PAINTED NO PARKING STRIPING.
- CONCRETE PARKING BUMPER.
- PAINTED HANDICAP SYMBOL AND 12" H "VAN" LETTERING.
- HANDICAP PARKING SIGN PER CITY OF ALBUQUERQUE STANDARDS. SEE DETAIL C3/C101.
- SITE SIGN. SEE DETAIL C2/C101.
- LINE OF EXISTING STRUCTURE ABOVE.
- EXISTING CMU WALL TO REMAIN.
- EXISTING ROLLING ACCESS GATE TO REMAIN. INSTALL NEW "MCMICHOLES" CLOVERLEAF 2051 PERFORATED METAL SHEETS OVER AT INTERIOR SIDE (PAINT).
- NEW 6'-0" WIDE STEEL DOOR GATE WITH H.M. FRAME, GROUT SOLID. SEE DOOR TYPES.
- EXISTING PAVING TO REMAIN.
- EXISTING SLUMP BLOCK WALL TO REMAIN. PATCH/REPAIR AS REQUIRED.
- REPLACE EXISTING TRASH DUMPSTER W/ NEW DUMPSTER PER COA STANDARDS.
- EXISTING STEEL BOLLARD TO REMAIN.
- EXISTING WOOD FENCE TO REMAIN.
- REMOVE PORTION OF EXISTING RAILROAD TIE RETAINING WALL AS REQUIRED.
- NEW TRTD. RAILROAD TIE RETAINING WALL TO MATCH EXISTING.
- NEW 1 1/2" STEEL PIPE HANDRAIL (PAINT).
- PAINTED HANDICAP PARKING SYMBOL.
- WALL MOUNTED HANDICAP PARKING SIGN PER CITY OF ALBUQUERQUE STANDARDS.
- 11' X 11' CLEAR SITE TRIANGLE. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BEW ACCEPTABLE IN THE CLEAR SITE TRIANGLE.
- REMOVE EXISTING STRIPING PAINT AND ADA SYMBOL.
- EXISTING ADA RAMP AND CROSSWALK. INSTALL NEW TRUNCATED DOME MAT PER CABO STANDARDS.
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH NEW SIDEWALK AND CURB & GUTTER. INSTALLED PER CABO STANDARDS.
- 12" H X 2" W "NO PARKING" LETTERS.

### GENERAL SHEET NOTES

- WHERE EXISTING LANDSCAPING IS TO REMAIN - PROTECT DURING CONSTRUCTION. EXISTING IRRIGATION SHALL BE MAINTAINED AT ALL PLANTS/TREES TO REMAIN. MOVE AND/OR REPLACE AS REQUIRED TO ENSURE PROPER IRRIGATION AT EACH PLANT/TREE TO REMAIN.
- CONTRACTOR SHALL LOCATE EXISTING IRRIGATION SYSTEM PIPING. REMOVE ALL LINES RUNNING UNDER NEW CONSTRUCTION CAP & REROUTE. REINSTALL/MAINTAIN ALL IRRIGATION TO EXISTING LANDSCAPING TO REMAIN.
- AT AREAS OF CUTTING AND TRENCHING AT EXISTING ASPHALT AND CONCRETE SURFACES FOR NEW WORK, THE CONTRACTOR SHALL PATCH AND REPAIR DAMAGED ASPHALT TO MATCH EXISTING ADJACENT SURFACES.
- ALL UNDERGROUND UTILITIES SHOWN ARE BASED ON EXISTING RECORD DRAWINGS AND HAVE NOT BEEN FIELD VERIFIED. GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY/LOCATE ALL UNDERGROUND UTILITIES WITH LOCAL UTILITY COMPANIES AND TO SITE INVESTIGATE (HAND DIG - AS REQ'D) UTILITY LINES SHOWN FOR VERIFICATION PRIOR TO WORK.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CONFLICT W/ SITE UTILITIES OR FEATURES AND OBTAIN RESOLUTION PRIOR TO PROCEEDING WITH THE WORK.
- CONTRACTOR SHALL COORDINATE SITE ACCESS AND STAGING AREA WITH OWNER/ARCHITECT.
- CONTRACTOR SHALL TAKE PRECAUTIONS AS NECESSARY TO PROTECT FROM DAMAGING EXISTING UTILITY LINES, WALKS, LANDSCAPING, ETC. WHICH WILL REMAIN AS PART OF THE FINAL SYSTEM. CONTRACTOR SHALL REPAIR AND/OR RESTORE THESE ITEMS AS REQUIRED TO PRE-CONSTRUCTION CONDITION.
- SLOPE PAVEMENT MINIMUM 1% MAXIMUM 2% FOR ACCESSIBILITY.

ALL STRUCTURES AND PAVING ARE EXISTING. NEW SITE WORK TO INCLUDE PARKING SPACES SHOWN, NEW WALK FROM UPPER PARKING LOT, AND NEW EXIT GATE AT THE BASEMENT LEVEL IN THE EXISTING CMU WALL.

12/29/2023 CITY OF ALBUQUERQUE PERMIT  
12/22/2023 CITY OF ALBUQUERQUE PERMIT

STATE OF NEW MEXICO  
CHARLES A. CARLSON  
NO. 004367  
REGISTERED ARCHITECT  
12/29/2023

### SITE PLAN

OWNER:

### GREAT COMMISSION ALLIANCE

CONTRACTOR: VIGIL CONTRACTING 1512 COORS BLVD SW ALBUQUERQUE, NEW MEXICO 87121 505-877-6325	DATE: 10/19/2023
SHT. NO.	
DESIGNED BY: CHARLES CARLSON RA 1528 PARSIFAL NE ALBUQUERQUE, NEW MEXICO 87112 505-465-3734	C101 OF 9