

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

November 25, 2024

Charles Carlson, RA
1528 Parsifal NE
Albuquerque, NM 87112

Re: 1525 Girard
1525 Girard Blvd. NE
Traffic Circulation Layout
Architect's Stamp 3-12-2024 (J16-D003)

Dear Mr. Vigil,

The revised TCL submittal received 11-25-2024 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

NM 87103

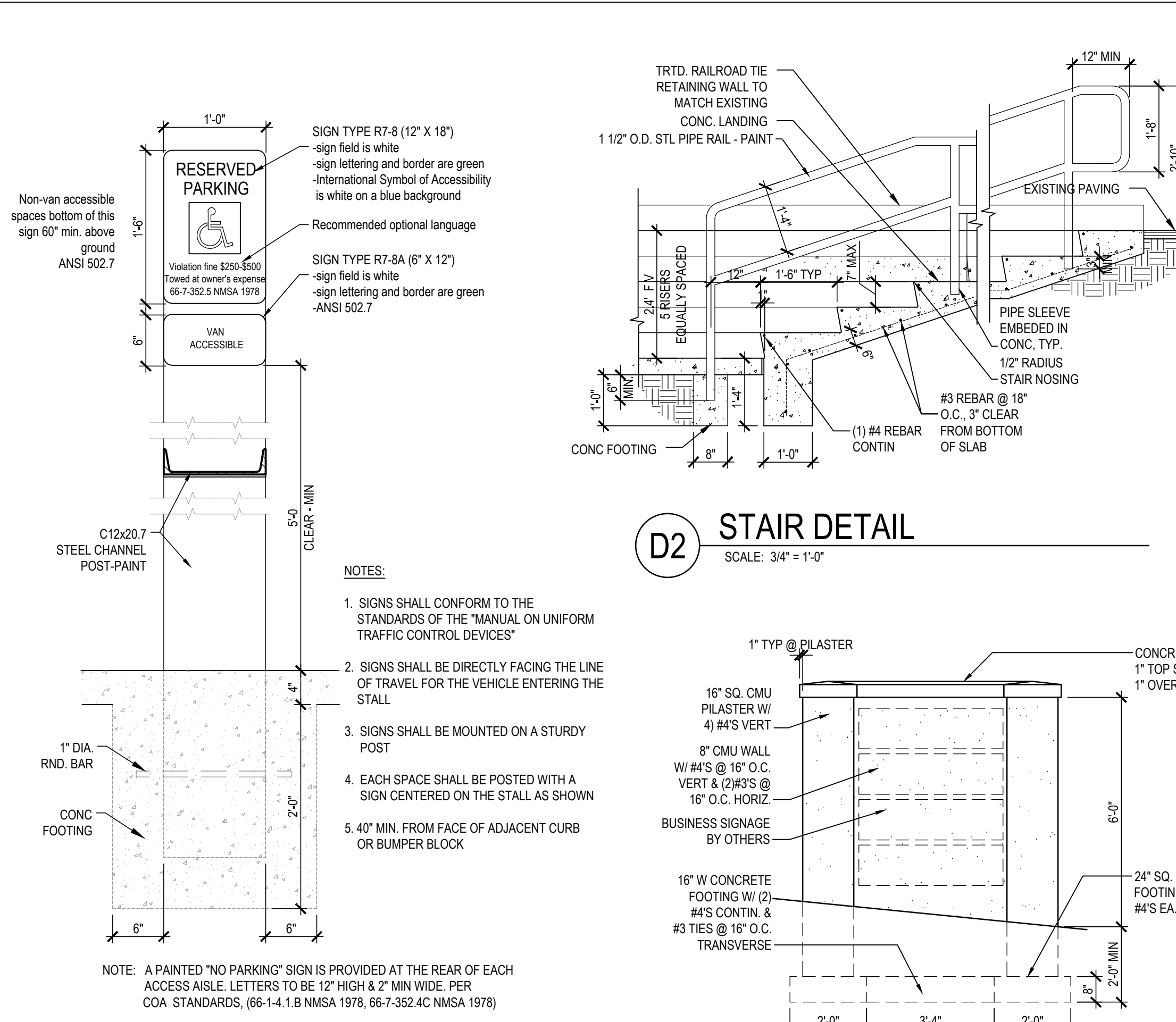
Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

www.cabq.gov

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

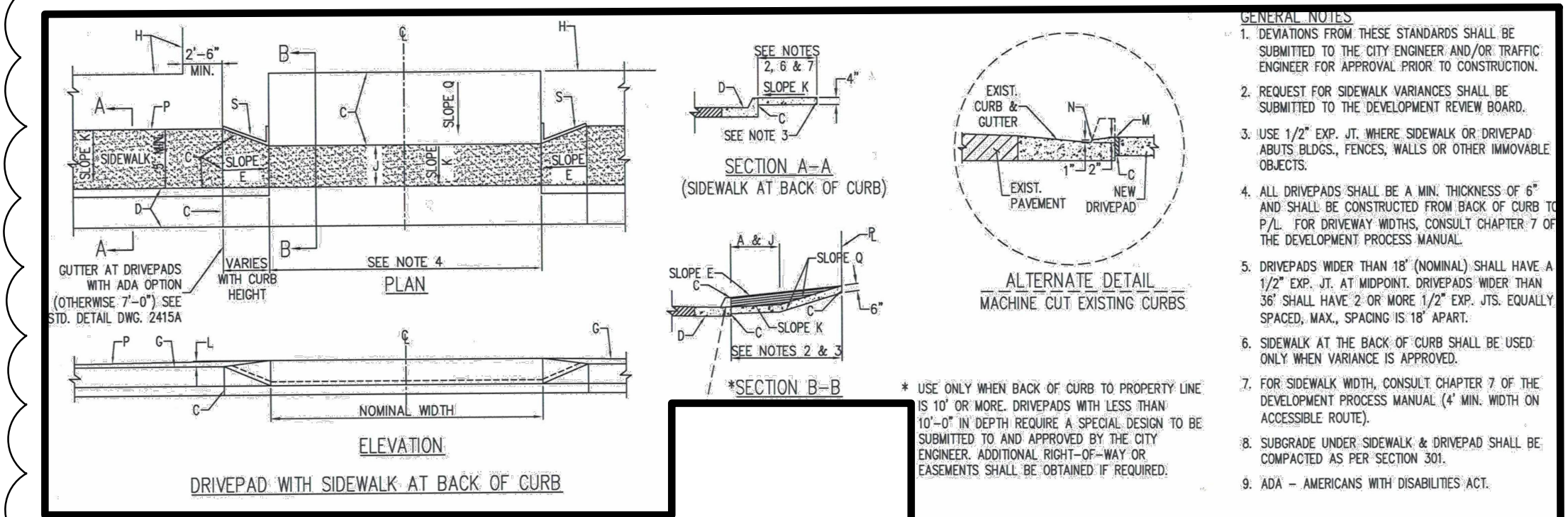
C: CO Clerk, File



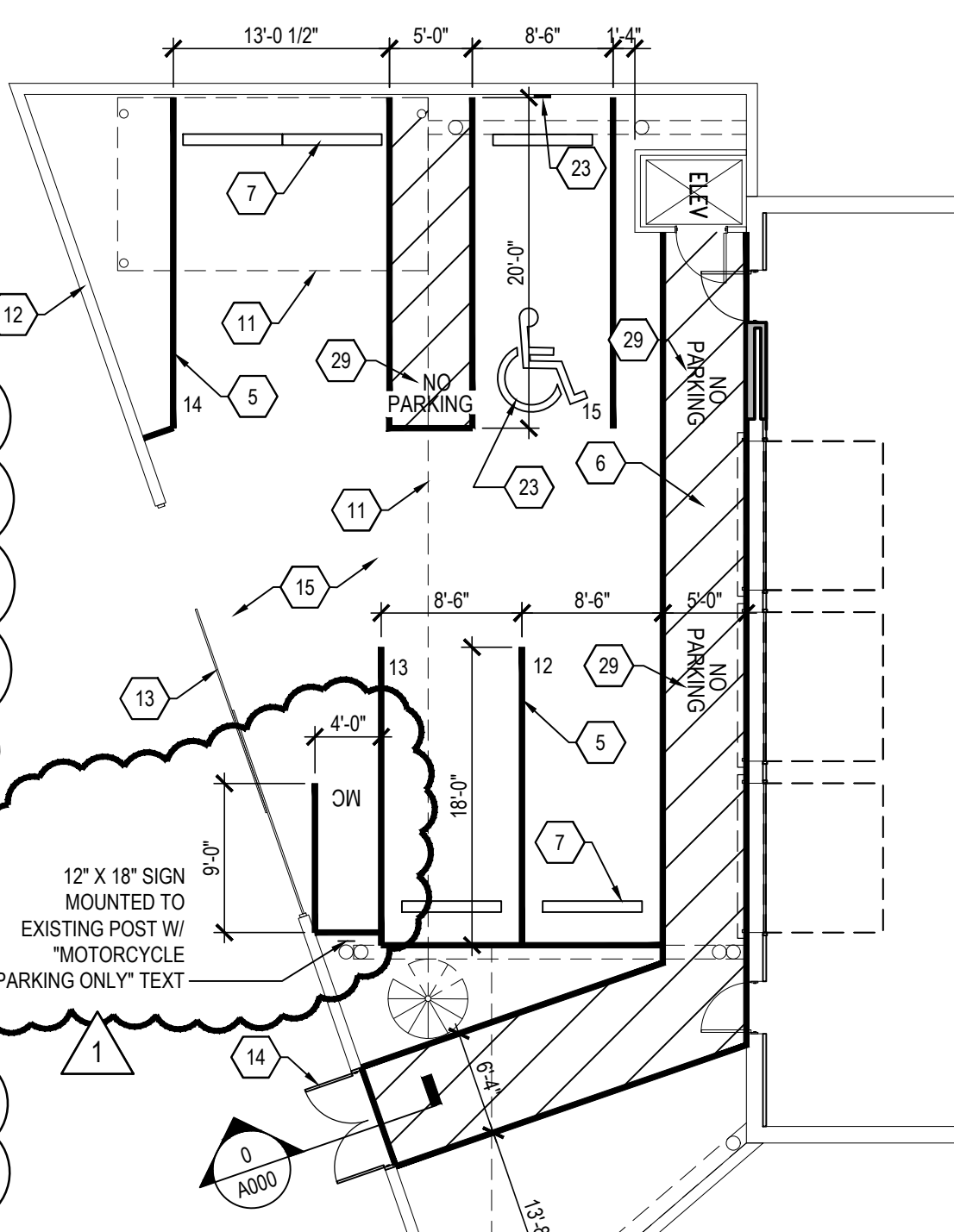
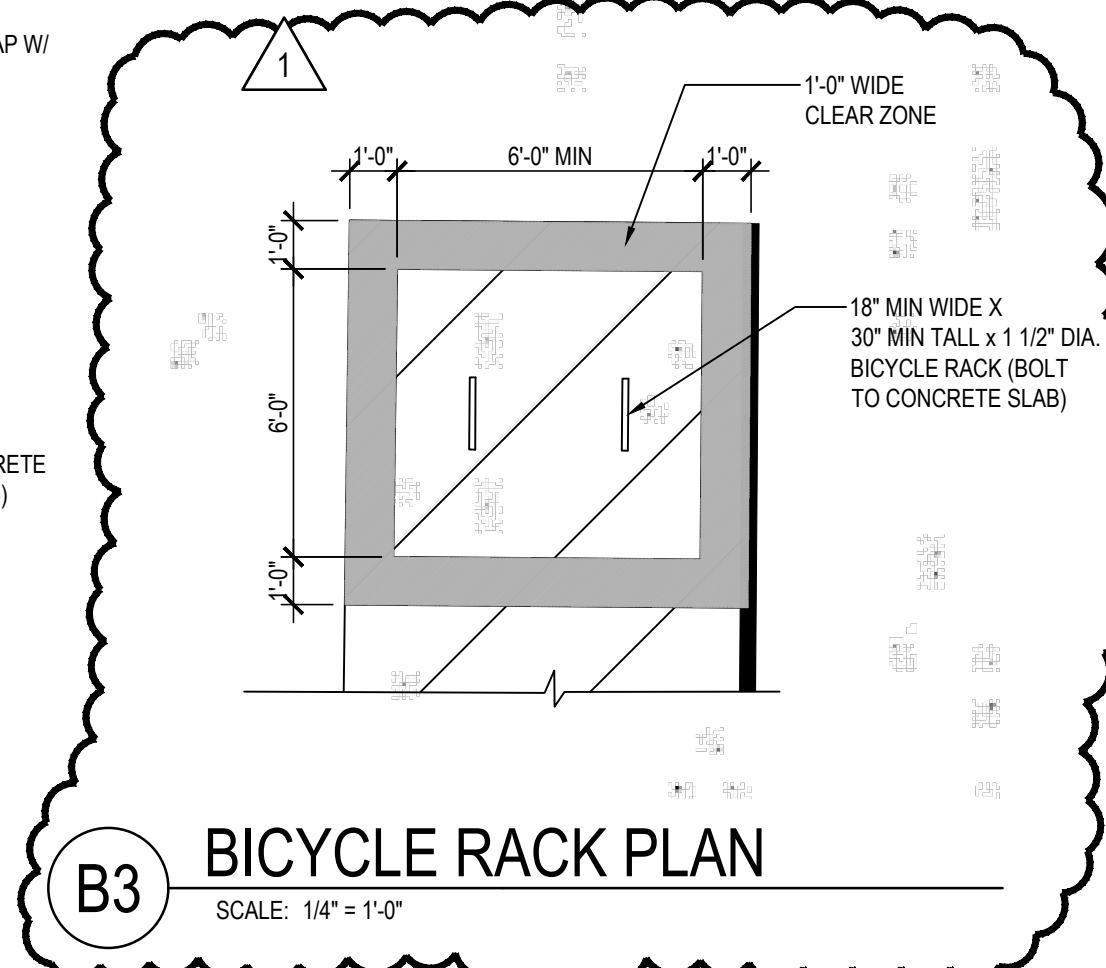
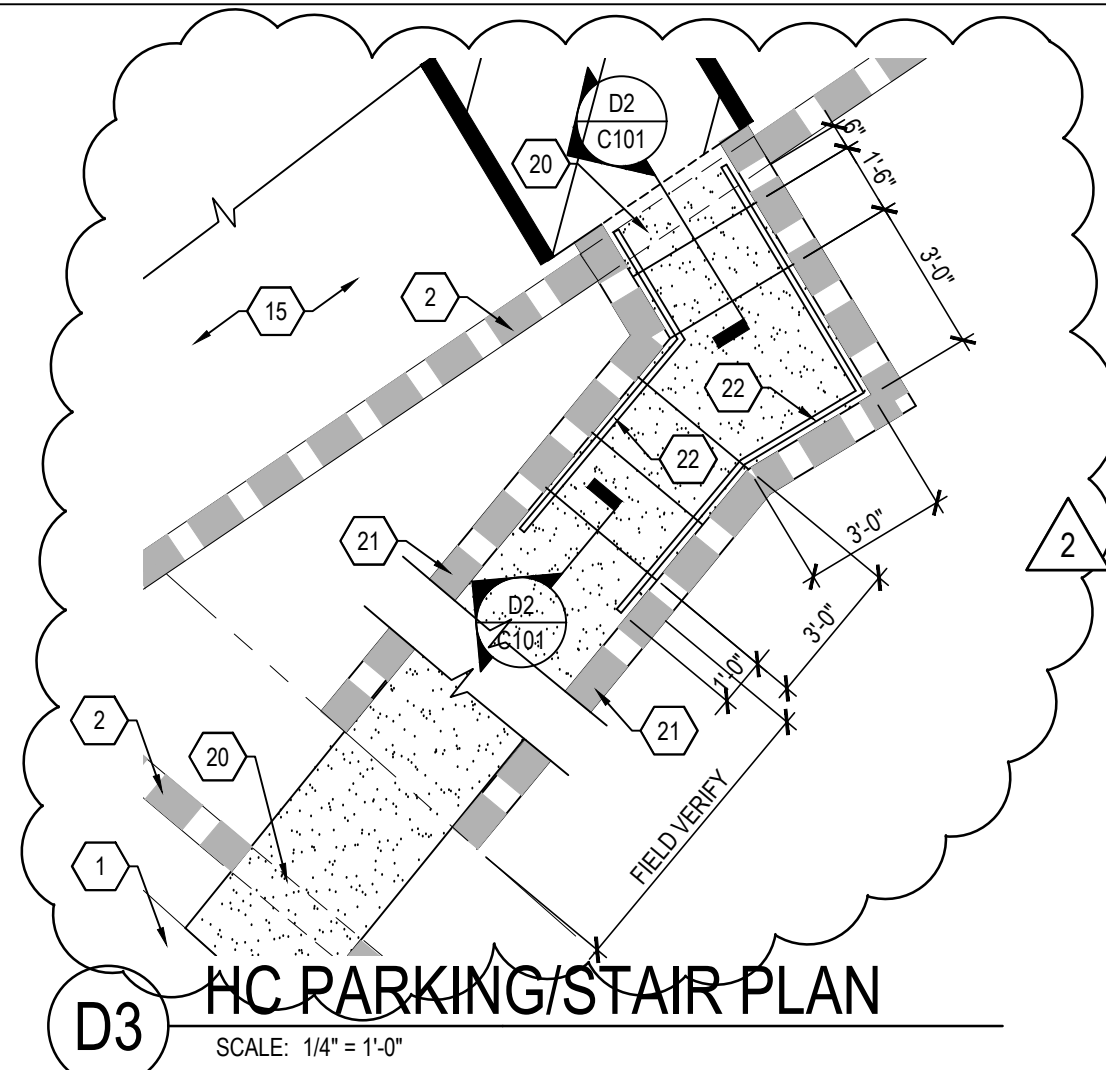
C3 H.C. SIGN
SCALE: 1/2" = 1'-0"

D2 STAIR DETAIL
SCALE: 3/4" = 1'-0"

TRAFFIC CIRCULATION
LAYOUT APPROVED
Ernest Ramirez 11/25/2024
Signed Date



A1 COA DRIVEPAD DWG: 2425A
SCALE: NTS



A2 BASEMENT PARKING PLAN
SCALE: 1" = 10'-0"

TCL ANALYSIS

* CHANGE OF OCCUPANCY *

PROJECT ADDRESS: 1525 GIRARD NE ALBUQUERQUE, NM

LEGAL DESCRIPTION: TRACT T-3, BLOCK 2-A, NORTH ALBUQUERQUE ACRES, TRACT A, UNIT A

ZONING: MX-M (MODERATE INTENSITY MIXED USE)

BUILDING AREA: GROUP B 1ST FL. = 2,114 SQ FT
GROUP A-3 BASEMENT: = 1,815 SQ FT
GROUP R-2 2ND FL. = 2,376 SQ FT
TOTAL = 6,305 SQ FT

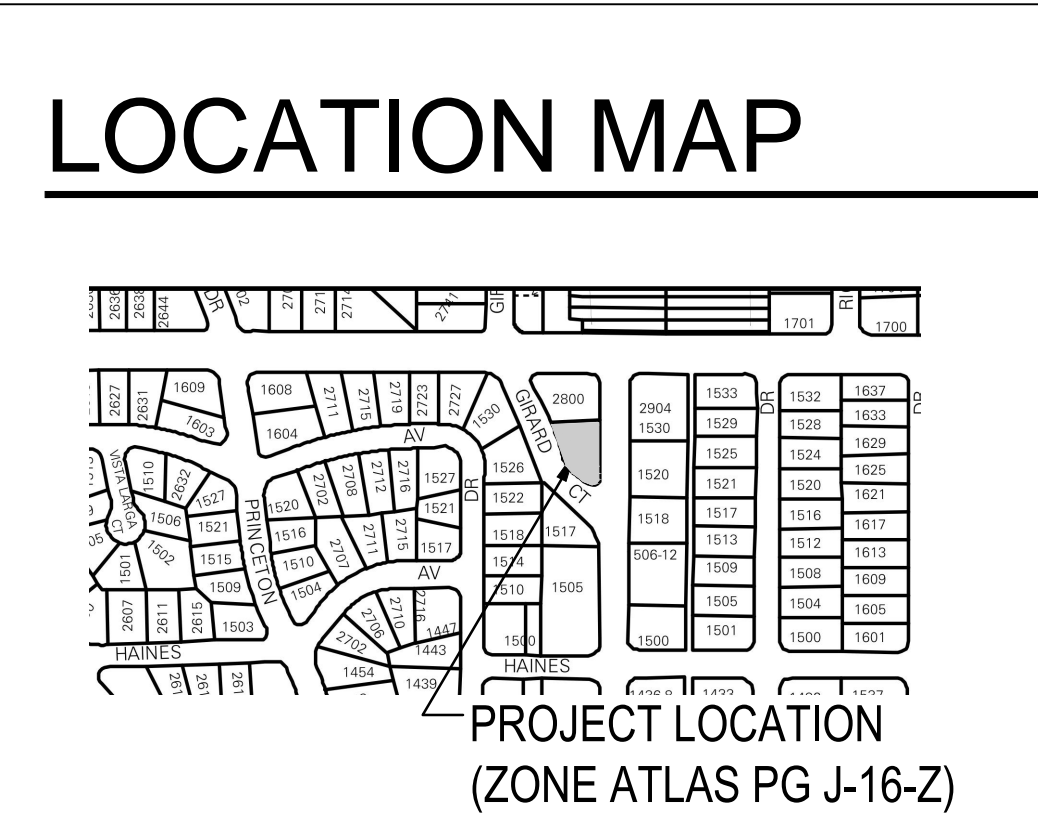
* THE AREA INCLUDED WITHIN SURROUNDING EXTERIOR WALLS EXCLUSIVE OF VENT SHAFTS AND COURTS AND INCLUDING EXTERIOR AREAS WITHIN THE HORIZONTAL PROJECTION OF THE ROOF OR FLOOR ABOVE.

PARKING: PER CITY OF ALBUQUERQUE AND NM BUILDING CODE.

- SPACES REQUIRED: GROUP B (OFFICE) 3.5 SPACES/1000 GFA = 7.39
GROUP R-3 (ASSEMBLY) 1 SPACE/4 SEATS PER RELIGIOUS INSTITUTION CABO ZONING PERMIT DEPT. = 5.61
GROUP R-2 (APARTMENT DWELLING) 2 SPACE/DU = 2
TOTAL = 15 SPACES (1 COMPACT)
- SPACES PROVIDED: 15 SPACES ON SITE, 8 SPACES STREET PARKING
- HANDICAPPED SPACES: 2 SPACES REQUIRED, 2 SPACES PROVIDED
- MOTORCYCLE: 1 SPACE REQUIRED, 1 SPACE PROVIDED

SIGNAGE:

- ALLOWABLE SIGNAGE PER 14-16-3-2, 1 SIGN (150 MAX SF) PER 300' OF STREET FRONTAGE.



SURVEYOR NOTES:

NOTES:

- Distances shown hereon are horizontal ground distances in feet.
- Bearings are based on the plat of Vista Larga Addition (Bk. B19, Pg. 167), as monumented by land corners.
- Record dimensions are shown in parentheses (1), where record dimensions differ from actual measurements.
- Corner shown "true" are set #4 rebar w/ cap stamped "G. Grisko, PG 8688", unless otherwise noted.
- Flood Note: The property shown hereon is located in Zone X, areas of minimal flood hazard, according to the Flood Insurance Rate Map of Bernalillo County, New Mexico, Panel No. 330210381H, effective date August 15, 2012.
- According to the City of Albuquerque Integrated Development Ordinance, the subject property is zoned "MX-M", Mixed Use, Moderate Intensity. A zoning report was not provided. Zoning restrictions are not shown.
- PARKING: There are no standard parking spaces, and 1 A.D.A. (handicap) space. A total of 11 striped parking spaces.
- There was no observed evidence of current earth moving work, building construction or building additions.
- Reference documents:
 - a. Old Republic National Title Insurance Co. commitment No. 2208035, dated 12/22/2022.
 - b. Plat of Vista Larga Addition, filed 05/18/82 in Bk. B19, Pg. 167.
 - c. Adjoining plat and deeds as noted hereon.

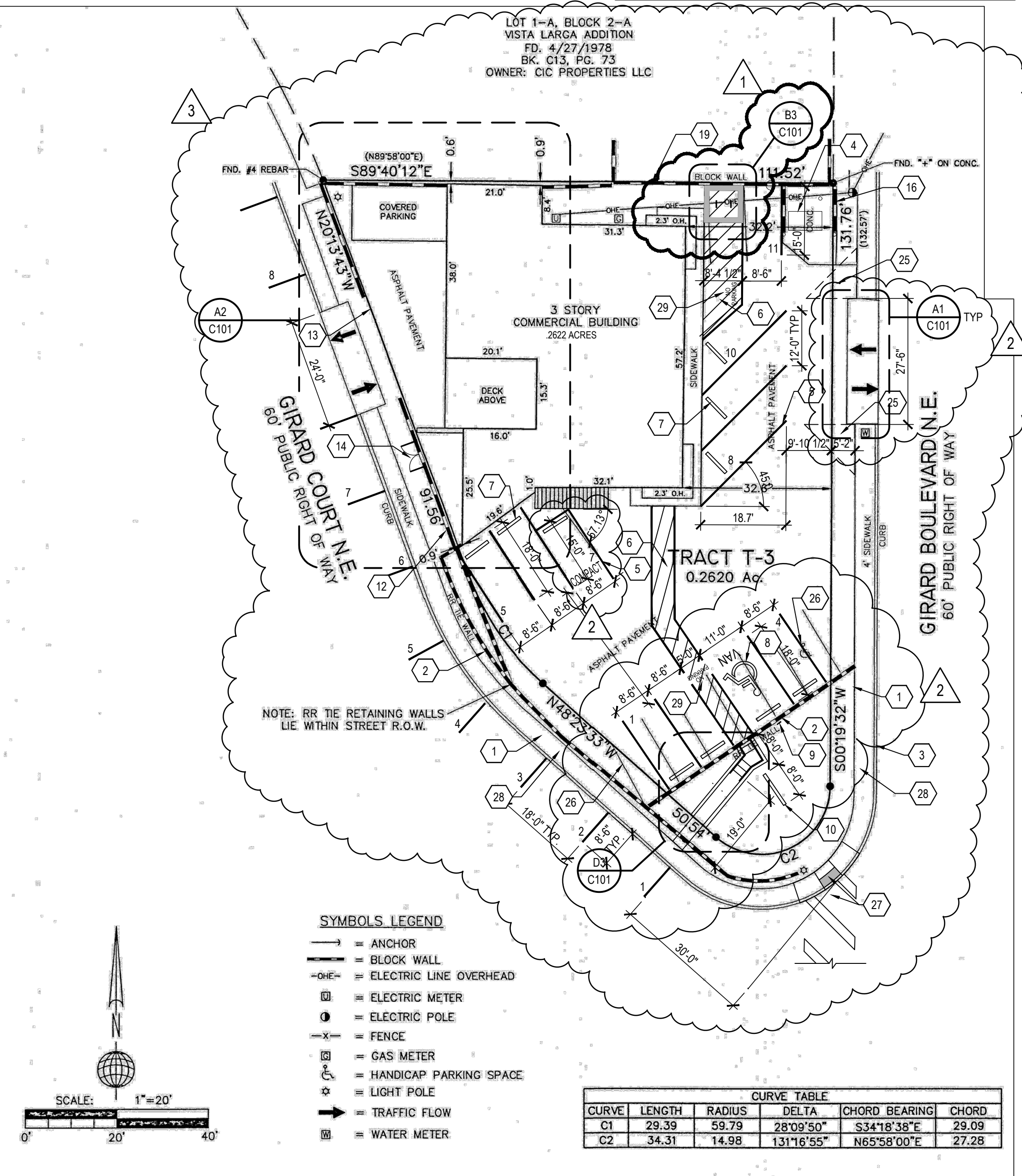
EASEMENTS: per Schedule B, Part 2 of Title commitment dated December 22, 2022 [item #]

[9]. Reservations contained in Patent from U.S.A., recorded in Book 22, Pg. 507.

[10]. AFFECTS SUBJECT PROPERTY, NOTHING PLOTTED.

[10]. Restrictive Covenants recorded June 9, 1947 in Book D49, Page 549, AFFECTS SUBJECT PROPERTY, NOTHING PLOTTED.

[11]. Easements and notes as shown on the plat recorded May 5, 1982 in Plat Book B19 to 167. AFFECTS SUBJECT PROPERTY, PLOTTED.



A4 SITE PLAN
SCALE: 1" = 20'-0"

KEYED NOTES

- EXISTING CONCRETE SIDEWALK TO REMAIN.
- EXISTING RAILROAD TIE WALL TO REMAIN. REMOVE AT NEW SIDEWALK.
- EXISTING CURB AND GUTTER TO REMAIN.
- EXISTING TRASH ENCLOSURE TO REMAIN.
- NEW 4" WIDE PAINTED PARKING STRIPING.
- PAINTED NO PARKING STRIPING.
- CONCRETE PARKING BUMPER.
- PAINTED HANDICAP SYMBOL AND 12" H "VAN" LETTERING.
- HANDICAP PARKING SIGN PER CITY OF ALBUQUERQUE STANDARDS. SEE DETAIL C3/C101.
- SITE SIGN. SEE DETAIL C2/C101.
- LINE OF EXISTING STRUCTURE ABOVE.
- EXISTING CMU WALL TO REMAIN.
- EXISTING ROLLING ACCESS GATE TO REMAIN. INSTALL NEW "MCMICHOLES" CLOVERLEAF 2051 PERFORATED METAL SHEETS OVER AT INTERIOR SIDE (PAINT).
- NEW 6'-0" WIDE STEEL DOOR GATE WITH H.M. FRAME, GROUT SOLID. SEE DOOR TYPES.
- EXISTING PAVING TO REMAIN.
- EXISTING SLUMP BLOCK WALL TO REMAIN. PATCH/REPAIR AS REQUIRED.
- NOT USED
- NOT USED
- EXISTING WOOD FENCE TO REMAIN.
- REMOVE PORTION OF EXISTING RAILROAD TIE RETAINING WALL AS REQUIRED.
- NEW TRTD. RAILROAD TIE RETAINING WALL TO MATCH EXISTING.
- NEW 1 1/2" STEEL PIPE HANDRAIL (PAINT).
- PAINTED HANDICAP PARKING SYMBOL.
- WALL MOUNTED HANDICAP PARKING SIGN PER CITY OF ALBUQUERQUE STANDARDS.
- 11' X 11' CLEAR SITE TRIANGLE. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SITE TRIANGLE.
- REMOVE EXISTING STRIPING PAINT AND ADA SYMBOL.
- EXISTING ADAM RAMP AND CROSSWALK. INSTALL NEW TRUNCATED DOME MAT PER CAB STANDARDS.
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH NEW SIDEWALK AND CURB & GUTTER, INSTALLED PER CAB STANDARDS.
- 12" H X 2" W "NO PARKING" LETTERS.

GENERAL SHEET NOTES

- WHERE EXISTING LANDSCAPING IS TO REMAIN - PROTECT DURING CONSTRUCTION. EXISTING IRRIGATION SHALL BE MAINTAINED AT ALL PLANTS/TREES TO REMAIN. MOVE AND/OR REPLACE AS REQUIRED TO ENSURE PROPER IRRIGATION AT EACH PLANT/TREE TO REMAIN.
- CONTRACTOR SHALL LOCATE EXISTING IRRIGATION SYSTEM PIPING. REMOVE ALL LINES RUNNING UNDER NEW CONSTRUCTION CAP & REROUTE. REINSTALL/MAINTAIN ALL IRRIGATION TO EXISTING LANDSCAPING TO REMAIN.
- AT AREAS OF CUTTING AND TRENCHING AT EXISTING ASPHALT AND CONCRETE SURFACES FOR NEW WORK, THE CONTRACTOR SHALL PATCH AND REPAIR DAMAGED ASPHALT TO MATCH EXISTING ADJACENT SURFACES.
- ALL UNDERGROUND UTILITIES SHOWN ARE BASED ON EXISTING RECORD DRAWINGS AND HAVE NOT BEEN FIELD VERIFIED. GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY/LOCATE ALL UNDERGROUND UTILITIES WITH LOCAL UTILITY COMPANIES AND TO SITE INVESTIGATE (HAND DIG - AS READ) UTILITY LINES SHOWN FOR VERIFICATION PRIOR TO WORK.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CONFLICT W/ SITE UTILITIES OR FEATURES AND OBTAIN RESOLUTION PRIOR TO PROCEEDING WITH THE WORK.
- CONTRACTOR SHALL COORDINATE SITE ACCESS AND STAGING AREA WITH OWNER/ARCHITECT.
- CONTRACTOR SHALL TAKE PRECAUTIONS AS NECESSARY TO PROTECT FROM DAMAGING EXISTING UTILITY LINES, WALKS, LANDSCAPING, ETC. WHICH WILL REMAIN AS PART OF THE FINAL SYSTEM. CONTRACTOR SHALL REPAIR AND/OR RESTORE THESE ITEMS AS REQUIRED TO PRE-CONSTRUCTION CONDITION.
- SLOPE PAVEMENT MINIMUM 1%, MAXIMUM 2% FOR ACCESSIBILITY.

ALL STRUCTURES AND PAVING ARE EXISTING. NEW SITE WORK TO INCLUDE PARKING SPACES SHOWN, NEW WALK FROM UPPER PARKING LOT, AND NEW EXIT GATE AT THE BASEMENT LEVEL IN THE EXISTING CMU WALL.

3 11/12/2024 CITY OF ALBUQUERQUE PERMIT
2 06/05/2024 CITY OF ALBUQUERQUE PERMIT
1 05/13/2024 CITY OF ALBUQUERQUE PERMIT

STATE OF NEW MEXICO
CHARLES A. CARLSON
NO. 004867
REGISTERED ARCHITECT
03/12/2024

SITE PLAN

OWNER:

GREAT COMMISSION ALLIANCE

OWNER REPRESENTATIVE: NATHANIEL HERBST 7015 CASA ELENA DR. NE ALBUQUERQUE, NEW MEXICO 87113 (907) 948-9045	DATE: 03/12/2024
DESIGNED BY: CHARLES CARLSON RA 1528 PARSIFAL NE ALBUQUERQUE, NEW MEXICO 87112 505-465-3734	SHT. NO. C101 OF 9