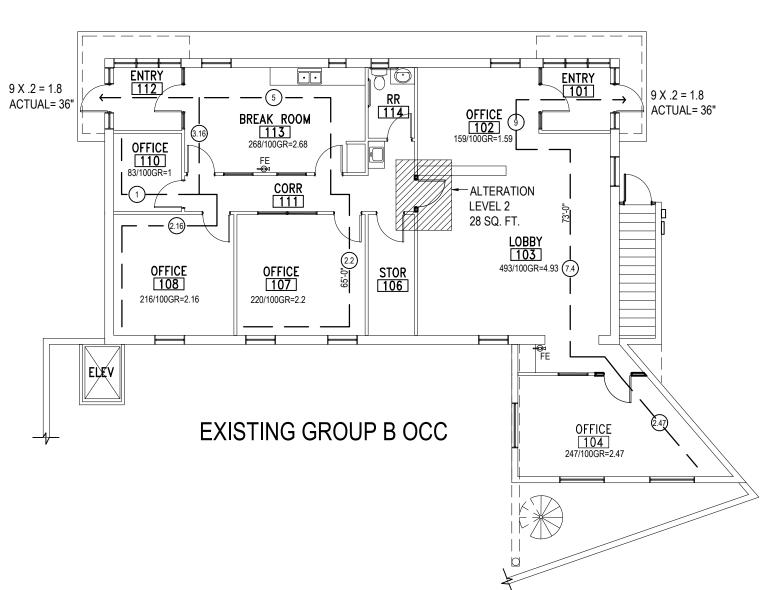


# 1988 CERTIFICATE OF OCCUPANCY



FIRST FLOOR LIFE SAFETY PLAN SCALE: 3/32" = 1'-0"

## GENERAL PROJECT NOTES

- A. THE CONTRACTOR IS RESPONSIBLE FOR THE GENERAL PROVISIONS OF THE CONTRACT, INCLUDING GENERAL AND SUPPLEMENTARY CONDITIONS.
- B. ALL STANDARD INSPECTIONS AND TESTING SHALL BE PAID FOR BY THE GENERAL CONTRACTOR. ALL TESTING AND INSPECTIONS SHALL BE COORDINATED AND SCHEDULED BY THE GENERAL CONTRACTOR TO FIT WITHIN THE WORKFLOW
- C. THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS REQUIRED BY LOCAL AUTHORITIES. SEE ALLOWANCES
- SECTION OF THE SPECIFICATIONS.
- D. CONTRACTOR SHALL TAKE PRECAUTIONS AS NECESSARY TO PROTECT FROM DAMAGING EXISTING UTILITY LINES, WALKS, LANDSCAPING, ETC. WHICH REMAIN AS PART OF THE FINAL SYSTEMS. CONTRACTORS SHALL REPAIR AND/OR RESTORE THESE ITEMS TO PRE-CONSTRUCTION CONDITIONS.
- E. SITE CLEANING SHALL BE IN ACCORDANCE WITH SPECIFICATIONS. F. DO NOT SCALE DRAWINGS.

PER CITY OF ALBUQUERQUE AND NM BUILDING CODE.

SPACES PROVIDED: 16 SPACES

- SPACES REQUIRED: GROUP B (OFFICE) 3.5 SPACES/1000 GFA = 7.39

- HANDICAPPED SPACES: 2 SPACES REQUIRED, 2 SPACES PROVIDED.

1) ALLOWABLE SIGNAGE PER 14-16-3-2, 1 SIGN (150 MAX SF) PER 300' OF STREET

SECTION A-A

Precast Concrete Units\* - Nom 8, 10 or 12 in deep by 48 in wide

mits. Lightweight aggregate. Cross-section similar to above illustratio

Joint — Clearance between slabs at bottom, full length, 1/16 in. mir

7/16 in. max, grouted full length with sand-cement grout (3500 psi n ssive strength) to a max depth of 4-1/2 in. This depth may be aintained by placing a compressible material in the bottom of the

and depth of the slabs every 14 ft. Expansion should be obtained with noncombustible, compressible material, for example, 24 sheets of 1/16 in

4 End Clearance — Clearance for expansion at each end of slabs shall equal to (3/16 +or- 1/16 in.) L/17 in., where "L" is equal to length of

NOTE: EXISTING RESTRAINED ASSEMBLY IS ASSUMED BASED ON SITE OBSERVATION.

ASSUMED EXIST. FLOOR ASSEMBLY

RESTRAINED END DETAIL

PARKING:

SIGNAGE:

FRONTAGE.

- G. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS AND SITE CONDITIONS TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. HE SHALL VERIFY AND COORDINATE ALL FOUNDATION PLAN DIMENSIONS WITH FLOOR PLANS AND SHALL BE RESPONSIBLE FOR PROPER EXECUTION OF ALL WORK.
- DIMENSIONS ARE TO FINISHED SURFACES. ALL SYMBOLS AND ABBREVIATIONS USED ON DRAWINGS ARE CONSIDERED TO BE CONSTRUCTION STANDARDS. IF THE CONTRACTOR HAS QUESTIONS REGARDING SAME, OR THEIR EXACT MEANING, THE ARCHITECT SHALL BE NOTIFIED FOR

H. FINISH FLOOR ELEVATIONS ARE TO THE TOP OF CONCRETE OR PAVING UNLESS OTHERWISE NOTED. CEILING HEIGHT

- CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL DURING THE CONSTRUCTION PHASE, INCLUDING ANY PROVISIONS THAT MAY NEED TO BE TAKEN TO DIVERT SEDIMENT FROM LEAVING THE SITE AND ENTERING ADJACENT
- K. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET OR INTO THE STORM DRAIN SYSTEM.

GROUP A-3 (ASSEMBLY) 1 SPACE / 4 SEATS PER

RELIGIOUS INSTITUTION CABQ ZONING PERMIT DEPT. = 6.61

GROUP R-2 (APARTMENT DWELLING) 2 SPACE/DU = 2

CODE ANALYSIS

" CHANGE OF OCCUPANCY"

PROJECT ADDRESS: 1525 GIRARD NE ALBUQUERQUE, NM

LEGAL DESCRIPTION: TRACT T-3, BLOCK 2-A, NORTH ALBUQUERQUE ACRES, TRACT A, UNIT A

APPLICABLE CODES: INTERNATIONAL CODES/STANDARDS:

**ZONING:** MX-M (MODERATE INTENSITY MIXED USE)

2015 INTERNATIONAL BUILDING CODE 2009 INTERNATIONAL ENERGY CONSERVATION CODE 2009 INTERNATIONAL FIRE CODE **NEW MEXICO STATE/LOCAL CODES/STANDARDS** 

2015 NEW MEXICO COMMERCIAL BUILDING CODE 2018 ALBUQUERQUE UNIFORM ADMINISTRATIVE CODE (UAC)

#### PROJECT DESCRIPTION:

THE PROJECT CONSISTS OF RENOVATION OF EXISTING RESTROOM FACILITIES, CHANGE OF OCCUPANCY OF THE EXISTING GARAGE, INSTALLATION OF INTERIOR WALLS, MODIFYING OF THE EXISTING TRASH ENCLOSURE, AND ADDITIONAL PARKING STRIPING.

SEISMIC ZONE:

OCCUPANCY CLASSIFICATION: EXISTING BUILDING: GROUP B BUSINESS **EXISTING GROUP R-2 APARTMENT DWELLING GROUP A-3 ASSEMBLY** 

CONSTRUCTION TYPE: TYPE II-B

FIRE-PROTECTION SYSTEM:

Per IBC 903

- EXISTING BUILDING IS NOT SPRINKLERED. GROUP A-3 NOT SPRINKLERED PER 2015 IBC, [F]903.2.1.3 FIRE EXTINGUISHERS ARE PROVIDED WITHIN 75' FROM ANY POINT IN THE BUILDING

= 6,305 SQ FT

**BUILDING AREA:** GROUP B 1ST FLR: = 2,114 SQ FT GROUP A-3 BASEMENT: = 1,815 SQ FT Per IBC Ch. 5 GROUP R-2 2ND FLR: = 2,376 SQ FT

TOTAL

3 STORIES ALLOWABLE

\* THE AREA INCLUDED WITHIN SURROUNDING EXTERIOR WALLS EXCLUSIVE OF VENT SHAFTS AND COURTS AND INCLUDING EXTERIOR AREAS WITHIN THE HORIZONTAL PROJECTION OF THE ROOF OR

FLOOR ABOVE. ALLOWABLE B-NS = 23,000 SF FLOOR AREA R-2 NS = 16,000 SF Per IBC TBL 506.2 A-3 NS = 9.500 SF

ALLOWABLE HEIGHT: 3 STORIES ALLOWABLE Per IBC TBL 504.4

**ACTUAL HEIGHT** 

OCCUPANT LOAD: TOTAL OCCUPANTS: 100 OCC MAX

ACTUAL= 36" 6.95 39'-0"

4.2 X .2 = .84 | **↓** 

3 X .2 = .6 DECK

ACTUAL= 36"

**EXISTING GROUP R-2 OCC** 

Per IBC Table 1004.1.2 GROUP B: 3928 SQ FT / 100 GROSS = 14 OCC

OCCUPANCY SEPARATION: NON-SEPARATED OCCUPANCIES

GROUP A-3: 1170 SQ FT / 15 NET = 78 OCC. 27 SEATS PER CABQ ZONING PERMIT DEPT. PARKING ALLOWANCE.

7.2 X .2 = 1.44

ACTUAL= 36"

PLAN

NORTH

GROUP R-2: 2004 SQ FT / 200 GROSS = 10 OCC

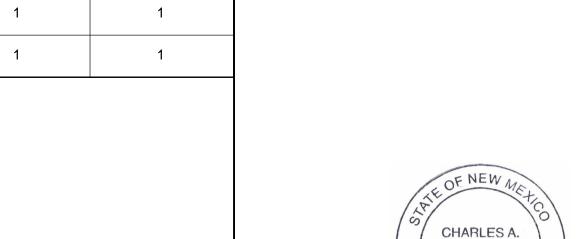
LUMBING	REQUIRED		PROVIDED	
EQUIREMENTS	М	F	М	F
VC'S A3 78 OCC 1/25, 1/50 REMAIN R-2 NA	2	2	2	2
AV'S A3 1/200 R-2 NA	2	2	2	2
PRINKING\ B 1/100 OUNTAINS R-2 NA	1		1	
ERVICE	1		1	

### **GENERAL NOTES:**

A. SEE ELECTRICAL PLANS FOR LOCATIONS OF EMERGENCY LIGHTING,

KEYED  $\bigcirc$  NOTES

- AND FIRE ALARM INFORMATION. B. ALL DOORS SERVING ROOMS WITH AN OCCUPANT LOAD OF 50 OR
- MORE, AND EXIST GATES ARE PROVIDED WITH PANIC HARDWARE.
- C. REMOVAL OF EXISTING FINISHES SHALL BE BY OWNER. PAINTING AND INSTALLATION OF NEW FINISHES SHALL BE BY OWNER.



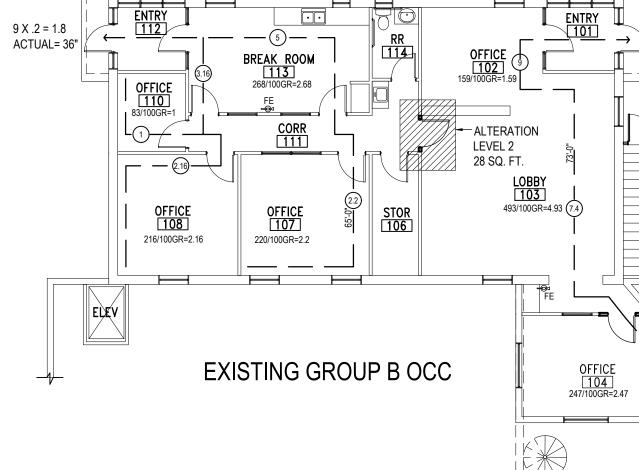
### CODE ANALYSIS LIFE SAFETY PLANS

CARLSON NO. 004867

OWNER:

#### **GREAT COMMISSION ALLIANCE**

OWNER REPRESENTATIVE:	DATE:	
NATHANIEL HERBST 7015 CASA ELENA DR. NE	03/12/2024	
ALBUQUERQUE, NEW MEXICO 87113 (907) 948-9045	SHT. NO.	
DESIGNED BY: CHARLES CARLSON RA 1528 PARSIFAL NE ALBUQUERQUE, NEW MEXICO 87112 505-485-3734	G102 of 9	



SECOND FLOOR LIFE SAFETY PLAN SCALE: 3/32" = 1'-0"



**BASEMENT LIFE SAFETY PLAN** 

ACTUAL= 36"

ALTERATION LEVEL 2 260 SQ. FT.

48 X .2 = 9.6

ACTUAL= 36"

 $\sqrt{78}$  X .2 = 15.6 ACTUAL= 72"

**GROUP A-3 OCC** 

27 SEATS ALLOWED PER CABQ ZONING PERMIT DEPT. PARKING ALLOWANCE (ADDITIONAL SEATING

—ALTERATION LEVEL 2

100 SQ. FT.

PER FUTURE PERMIT)

SCALE: 3/32" = 1'-0"

NORTH

NORTH

PLAN