



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

August 5, 2003

Ken Hovey, RA  
PO Box 8506  
Albuquerque, NM 87198

**Re: Dental Office  
Traffic Circulation Layout (J-16/D16)**

Dear Mr. Hovey:

Based on the information provided in your submittal received 7-30-03, the above referenced plan cannot be approved for Building Permit until the following comments are addressed.

- Architect's stamp must be signed and dated.
- Please show all curb radii.
- Please show dimensions of handicap parking spaces.
- Per sidewalk ordinance, a handicap ramp must be installed at the corner and at the alley, if there presently isn't one.
- The curb adjoining the refuse enclosure must be extended westward to prevent parking which could block dumpster.
- Sidewalks need to be transitioned to proper location for ADA accessibility through drive-pads.
- A shared access agreement or easement for Carlisle driveway is required.

If you have any questions please call me at 924-3986.

Sincerely,

Bradley L. Bingham, PE  
Sr. Engineer, Planning Dept.  
Development and Building Services

C: File

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

J-16/D16

PROJECT TITLE: OFFICES FOR TIMOTHY GUTERREZ P.M.D ZONE MAP/DRG. FILE #: 1-16  
 DRB #: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: LOTS 13 & 14 BLOCK 5A WOLTERS SUBDIVISION, HAVES PARK ADDITION  
 CITY ADDRESS: 1513 CARLISLE BLVD, NE

ENGINEERING FIRM: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

OWNER: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

ARCHITECT: KEN HOVEY  
 ADDRESS: P.O. Box 8506  
 CITY, STATE: ALBUQUERQUE, NM

CONTACT: \_\_\_\_\_  
 PHONE: 259.8458  
 ZIP CODE: 87198-8506

SURVEYOR: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

## CHECK TYPE OF SUBMITTAL:

- \_\_\_\_\_ DRAINAGE REPORT
- \_\_\_\_\_ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, *REQUIRES TCL or equal*
- \_\_\_\_\_ DRAINAGE PLAN RESUBMITTAL
- \_\_\_\_\_ CONCEPTUAL GRADING & DRAINAGE PLAN
- \_\_\_\_\_ GRADING PLAN
- \_\_\_\_\_ EROSION CONTROL PLAN
- \_\_\_\_\_ ENGINEER'S CERTIFICATION (HYDROLOGY)
- \_\_\_\_\_ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- \_\_\_\_\_ ENGINEERS CERTIFICATION (TCL)
- \_\_\_\_\_ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- \_\_\_\_\_ OTHER

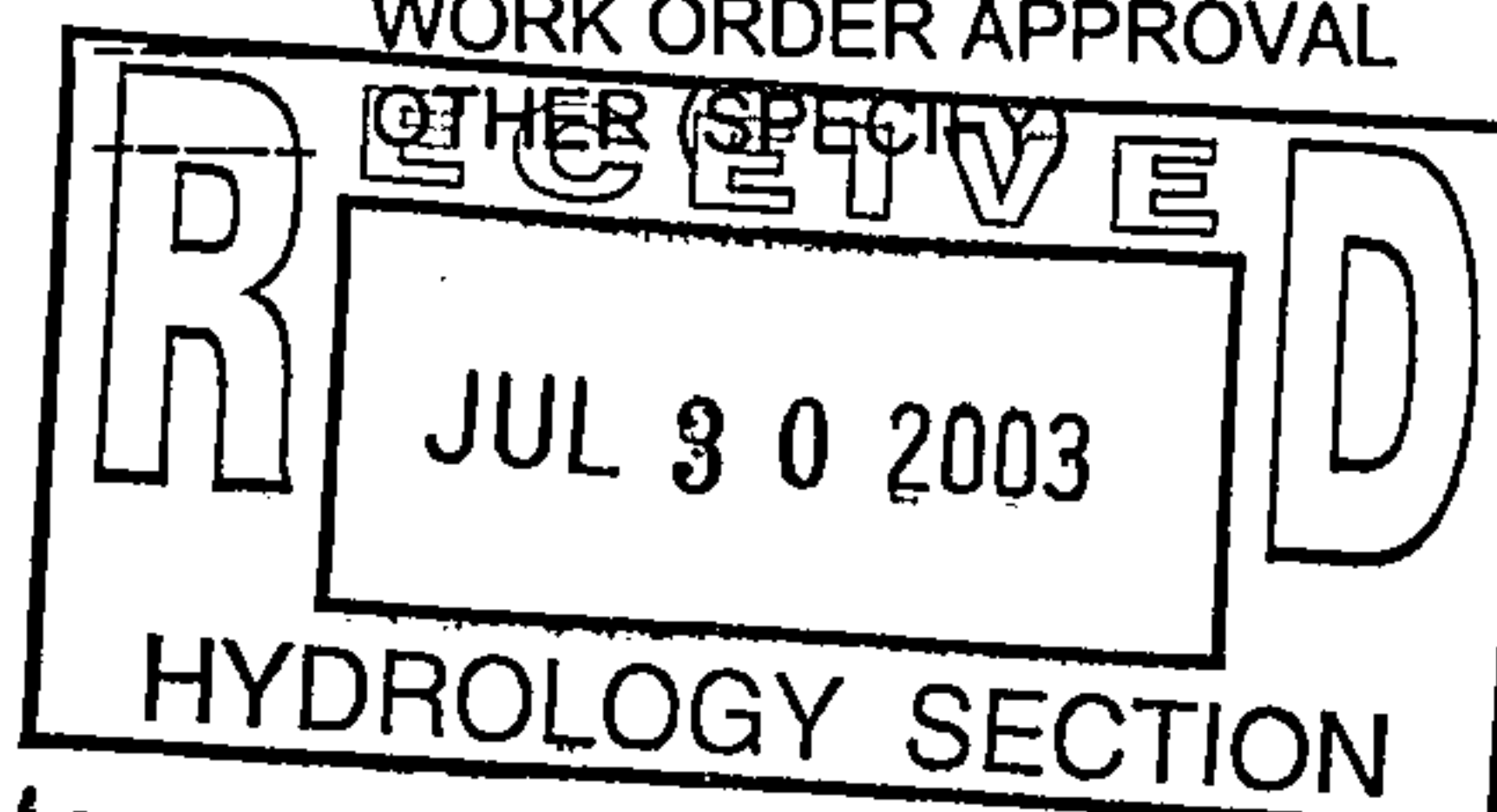
## CHECK TYPE OF APPROVAL SOUGHT:

- \_\_\_\_\_ SIA / FINANCIAL GUARANTEE RELEASE
- \_\_\_\_\_ PRELIMINARY PLAT APPROVAL
- \_\_\_\_\_ S. DEV. PLAN FOR SUB'D. APPROVAL
- \_\_\_\_\_ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- \_\_\_\_\_ SECTOR PLAN APPROVAL
- \_\_\_\_\_ FINAL PLAT APPROVAL
- \_\_\_\_\_ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- \_\_\_\_\_ CERTIFICATE OF OCCUPANCY (PERM.)
- \_\_\_\_\_ CERTIFICATE OF OCCUPANCY (TEMP.)
- \_\_\_\_\_ GRADING PERMIT APPROVAL
- \_\_\_\_\_ PAVING PERMIT APPROVAL
- \_\_\_\_\_ WORK ORDER APPROVAL

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- \_\_\_\_\_ YES
- \_\_\_\_\_ NO
- \_\_\_\_\_ COPY PROVIDED

DATE SUBMITTED: 30 July 2003 BY: KEN HOVEY



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

## PERMANENT EASEMENT

Grant of Cross Access Easement, between Eloy R. Gutierrez (Grantor), whose address is 4300 Chinlee NE, Alb, NM and the Timothy L. Gutierrez (Grantee), whose address is 4300 Chinlee NE, Alb, NM 87110.

Grantor grants to the Grantee a Cross Access easement (Easement) in, over, upon and across the real property described as Lots 11-A and 12-A, Block 5-A of Haines Park Addition for the construction, installation, maintenance, repair, modification, replacement and operation of a common driveway.

In the event Grantor constructs any improvements within the Easement, the Grantee has the right to enter upon Grantors property at any time and perform whatever inspection, installation, maintenance, repair modification or removal ("Work") it deems appropriate without liability to the Grantee. If the Work effects any improvements of encroachments made by the Grantor, the Grantee will not be financially or otherwise responsible for rebuilding or repairing of improvements or encroachments. If in the opinion of the Grantee, the Work to be performed by the Grantee could endanger the structural integrity or otherwise damage the improvements of encroachments, the Grantor shall, at its own expense, take whatever protective measures are required to safeguard the improvements or encroachments.

Grantor covenants and warrants that Grantor is the owner in fee simple of the Property, that Grantor has a good lawful right to convey the Property or any part thereof and that Grantor will forever warrant and defend the title to the Property against all claims from all persons or entities.

The grant and other provisions of this Easement constitute covenants running with the property for the benefit of the Grantee and its successors and assigns until terminated.

WITNESS my hand and seal this 4<sup>th</sup> day of September, 2003.

GRANTEE:

T.L. Gutierrez

T.L. Gutierrez

(Name & Title)

9/4/03

(Date)

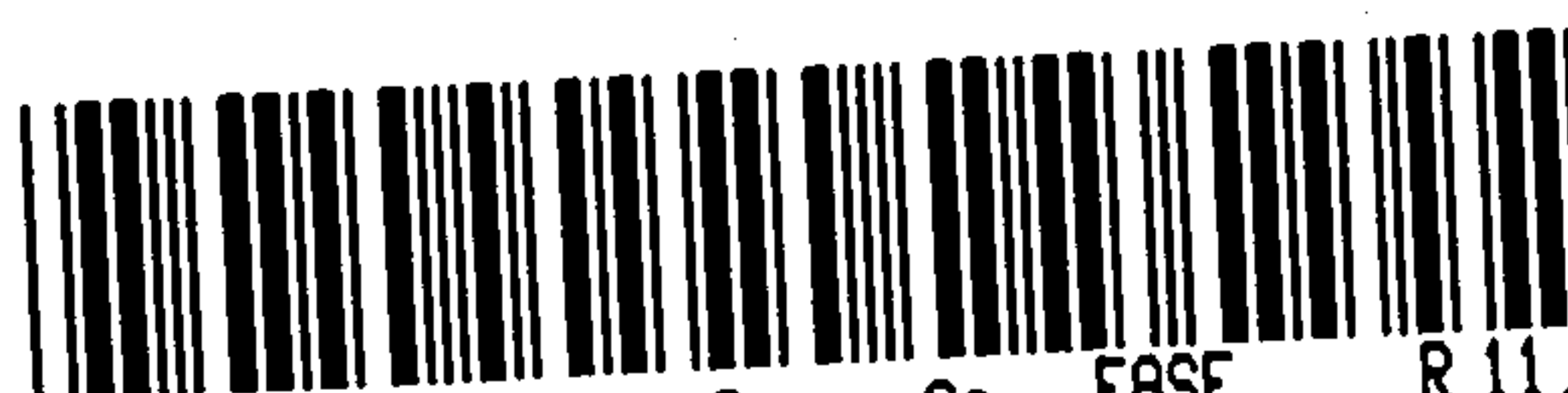
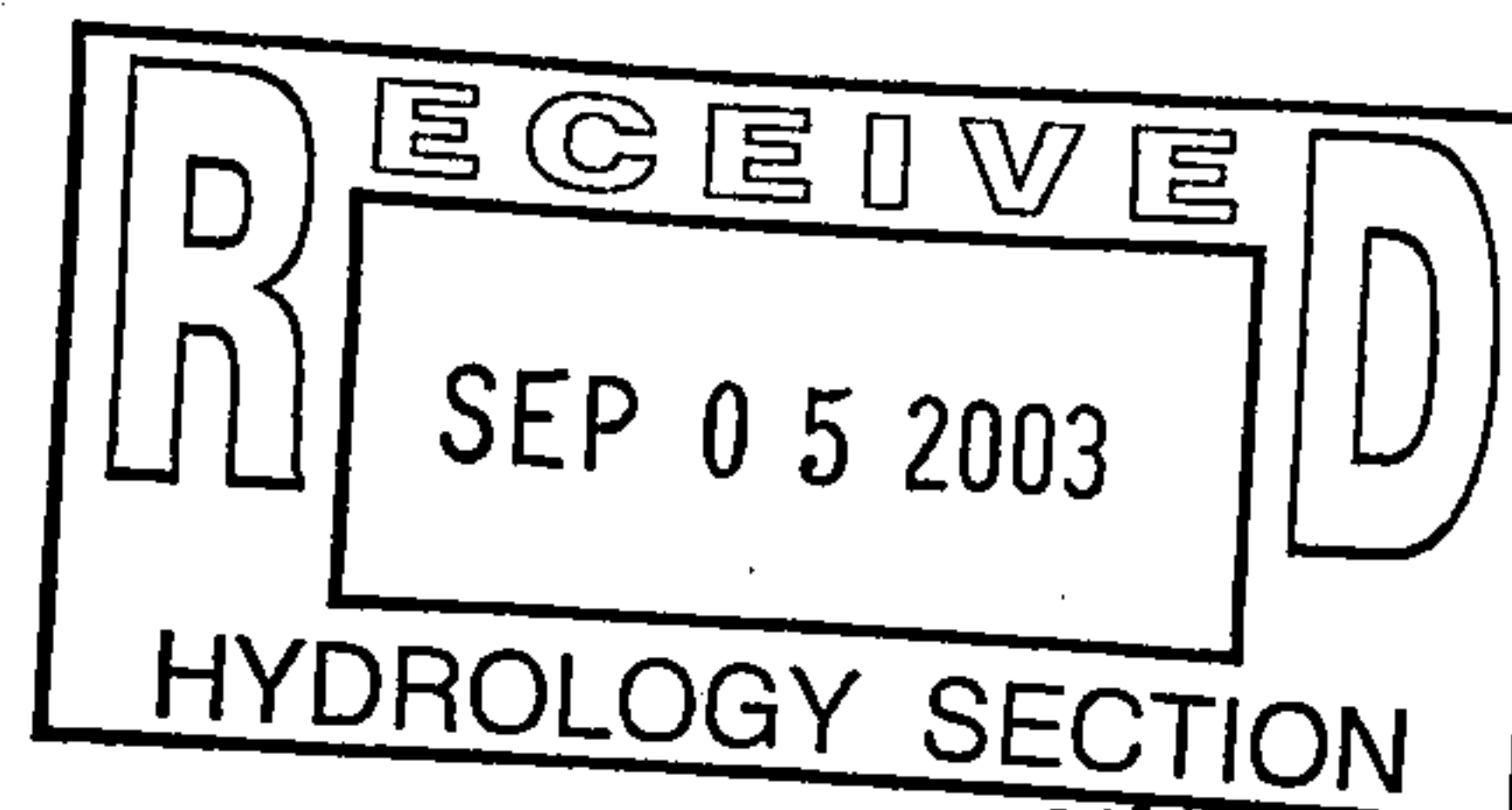
GRANTOR:

E.R. Gutierrez

(Name & Title)

9/4/03

(Date)



Mary Herrera

Bern. Co. EASE

R 11.00

2003159404

5942432

Page: 1 of 2

09/05/2003 01:22P

Bk-A63 Pg-9068



**GRANTOR**

STATE OF NM  
COUNTY OF Bernalillo SS.

This instrument was acknowledged before me on 4th day of Sept.  
2003, by E. K. Gutierrez.

Geniem. Ber  
Notary Public

My Commission Expires:

11/4/2004

**GRANTEE**

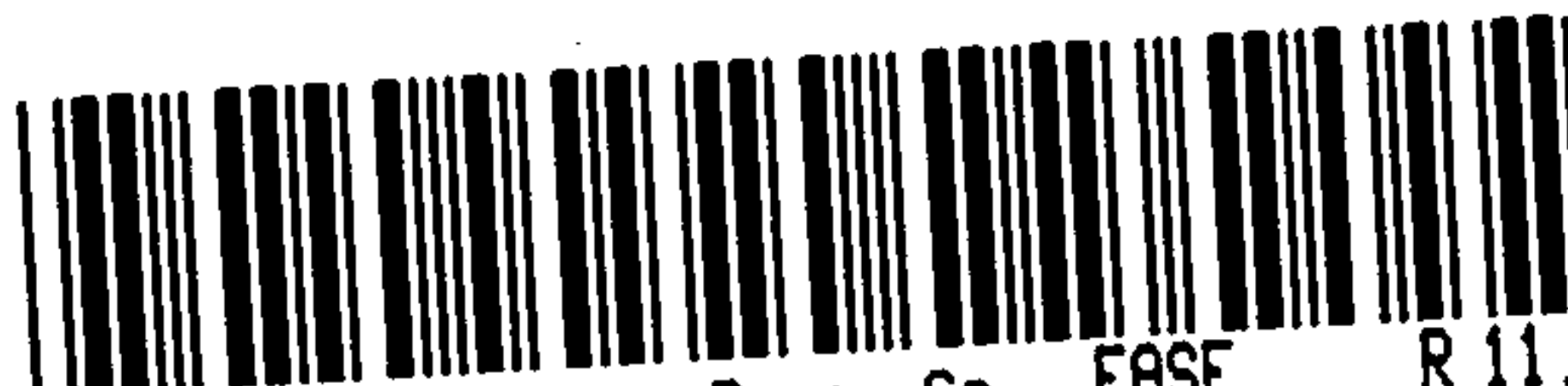
STATE OF NM  
COUNTY OF Bernalillo SS.

This instrument was acknowledged before me on 4th day of Sept.  
2003, by J. J. Gutierrez.

Geniem. Ber  
Notary Public

My Commission Expires:

11/4/2004



Mary Herrera

Bern. Co. EASE

R 11.00

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Page: 2 of 2

09/05/2003 01:22P

Bk-A63 Pg-9068



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 22, 2003

Ken Hovey  
P.O. 8506  
Albuquerque, New Mexico 87198-8506

**RE: Traffic Circulation Layout For Tim Gutierrez Office (J16-D16) Dated  
September 5, 2001, Approval Date Stamped September 15, 2003**

3  
Dear Mr. Hovey:

The above referenced TCL is approved for Building Permit for Transportation. Upon completion of the project please certify the project per the DPM for release of Certificate of Occupancy release.

If you have any questions please call me at 924-3982.

Sincerely,

Carlos A. Montoya  
City Floodplain Administrator

**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(REV. 1/28/2003rd)

PROJECT TITLE: OFFICES FOR TM GUTIERREZ D.M. ZONE MAP/DRG. FILE #: I16-D16  
DRB #: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: LOTS 13 & 14 BLDG 5A WOLTERS SUB-DIV. MAINE'S PARK ADDN,  
CITY ADDRESS: 1513 CARLISLE BLVD NE

ENGINEERING FIRM: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

OWNER: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

ARCHITECT: KEN HOVEY  
ADDRESS: P.O. BOX 8506  
CITY, STATE: ANBURN, NM

CONTACT: \_\_\_\_\_  
PHONE: 259-8458  
ZIP CODE: 87198-8506

SURVEYOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

CHECK TYPE OF SUBMITTAL:

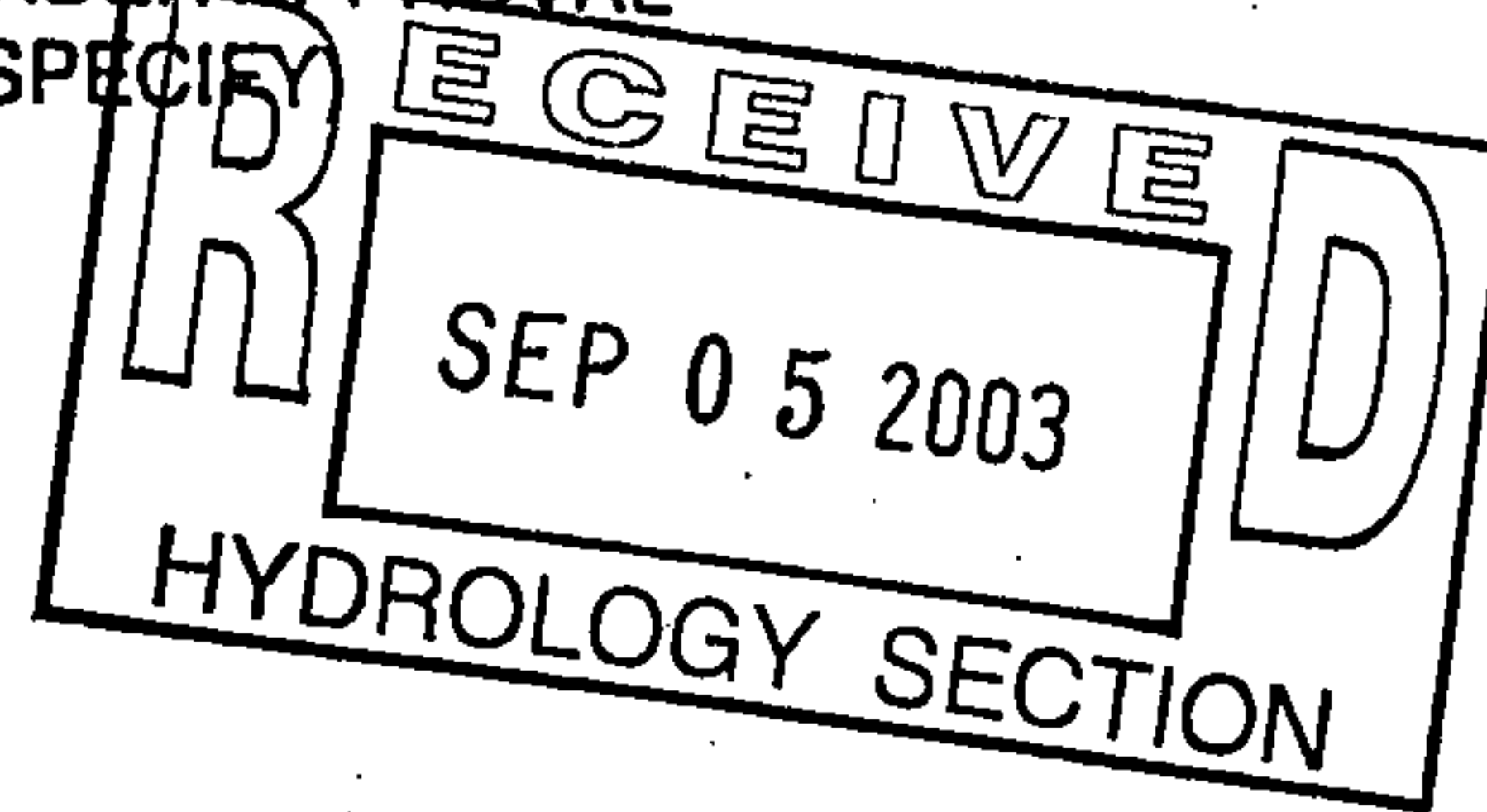
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
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- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY \_\_\_\_\_)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 5 SEPT 03 BY: KEN HOVEY

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 4, 2004

Ronald Bohannon, P.E.  
Tierra West, LLC  
8509 Jefferson NE  
Albuquerque, NM 87113

**Re: Dental Office at Carlisle and Aspen, 1513 Carlisle Blvd. NE, Certificate of Occupancy**

**Engineer's Stamp dated 7-07-03 (J16/D16)**

**Certification dated 1-29-04**

Dear Mr. Bohannon,

Based upon the information provided in your submittal received 1-30-04, the above referenced certification is approved for release of permanent Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro  
Engineering Associate, Planning Dept.  
Development and Building Services

C: Phyllis Villanueva  
file



# DRAINAGE AND TRANSPORTATION SHEET

(REV. 1/28/2003rd)

J-16/D16

PROJECT TITLE: Dental Office @ Carlisle and Aspen  
DRB: 1003035 EPC #: \_\_\_\_\_

ZONE MAP/DRG. FILE #: J16/D16  
WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: Lots 10, 11, 12, 13 and 14; Block 5A; Wolters Subdivsion; Haines Park Addition  
CITY ADDRESS: 1513 Carlisle Boulevard, NE

ENGINEERING FIRM: Tierra West, LLC  
ADDRESS: 8509 Jefferson NE  
CITY, STATE: Albuquerque, NM

CONTACT: RONALD R. BOHANNAN OR SARA LAVY  
PHONE: (505) 858-3100  
ZIP CODE: 87113

OWNER: PJ Development  
ADDRESS: P.O. Box 14903  
CITY, STATE: Albuquerque, NM

CONTACT: Pat Joseph  
PHONE: (505) 263-6965  
ZIP CODE: 87191

ARCHITECT: KEN HOVEY ARCHITECT  
ADDRESS: 3808 Simms Avenue SE  
CITY, STATE: Albuquerque, NM

CONTACT: Ken Hovey  
PHONE: (505) 259-8458  
ZIP CODE: 87108

SURVEYOR: Hall Surveys  
ADDRESS: 12805 Menaul Boulevard, NE  
CITY, STATE: Albuquerque, NM

CONTACT: Preston Hall  
PHONE: 292-6727  
ZIP CODE: 87112

CONTRACTOR: PJ Development  
ADDRESS: P.O. Box 14903  
CITY, STATE: Albuquerque, NM

CONTACT: Pat Joseph  
PHONE: (505) 263-6965  
ZIP CODE: 87191

## CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

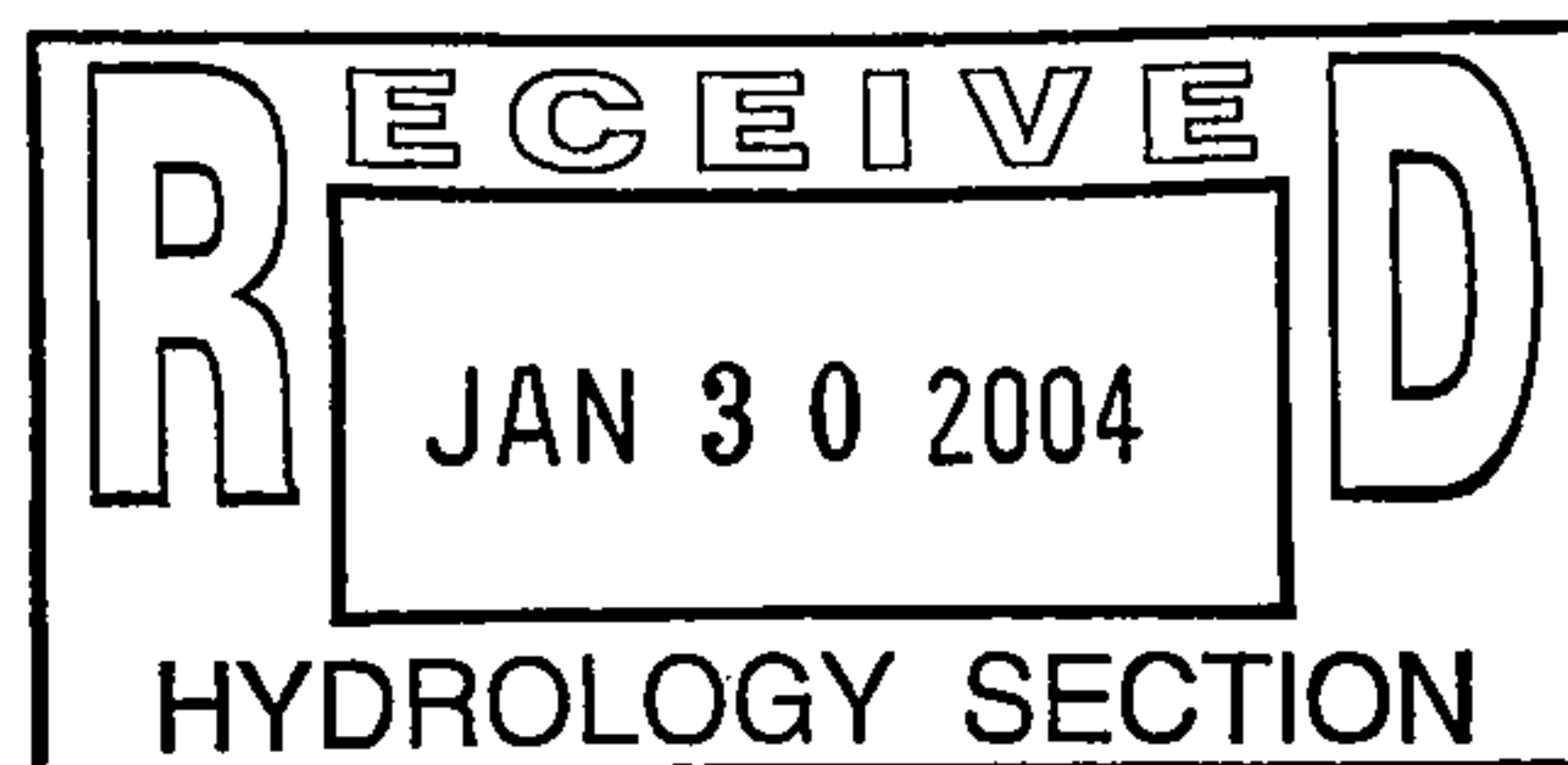
*Need stamps date 1/28/04*  
*7-7-03*

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANACIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
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- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)



DATE SUBMITTED: 1/29/2004 BY: Ronald Wright (259-5635)

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Planning Department  
Transportation Development Services Section***

February 11, 2004

Ken Hovey, Registered Architect  
P.O. Box 8506  
Albuquerque, NM 87198-8506

Re: Certification Submittal for Final Building Certificate of Occupancy for  
Offices for T.L. Gutierrez, DMD, [J-16 / D16]  
1513 Carlisle NE  
Architect's Stamp Dated 02/06/04

Dear Mr. Hovey:

The TCL / Letter of Certification submitted on February 10, 2004 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
— Hydrology file  
CO Clerk

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

J-16/D16

PROJECT TITLE: OFFICE FOR TIMOTHY L. GUTIERREZ D.M.D. ZONE MAP/DRG. FILE #: J-16  
 DRB #: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: LOTS 13 & 14 BLOCK 5A WALTERS SUBDIVISION, HAWES PARK ADDITION  
 CITY ADDRESS: 1513 CARLISLE BLVD. NE

ENGINEERING FIRM: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

OWNER: TIMOTHY GUTIERREZ D.M.D.  
 ADDRESS: 1513 CARLISLE BLVD. NE  
 CITY, STATE: ALBUQUERQUE NM

CONTACT: TIM GUTIERREZ  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

ARCHITECT: KEN HOVEY  
 ADDRESS: 2808 SIMMS AVE SE  
 CITY, STATE: ALBUQUERQUE NM

CONTACT: KEN HOVEY  
 PHONE: 259-8458  
 ZIP CODE: 87108

SURVEYOR: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

CONTRACTOR: P.C. DEW CONSTRUCTION  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

## CHECK TYPE OF SUBMITTAL:

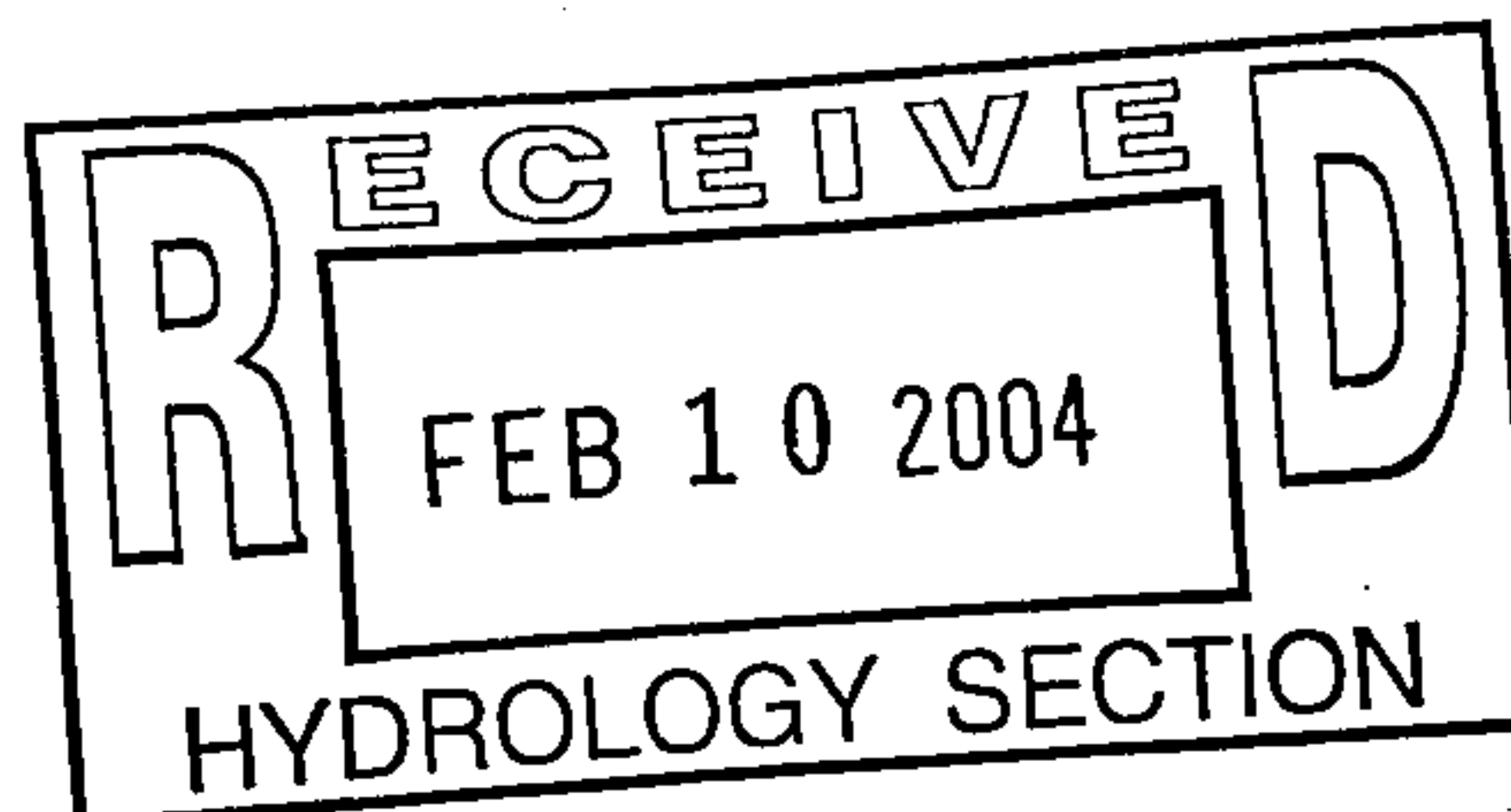
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
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- ☐ GRADING PLAN
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- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☒ ENGINEER'S CERTIFICATION (TCL)
- ☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER ARCHITECT'S

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
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- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
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- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 10 FEBRUARY 04 BY: KEN HOVEY

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

February 6, 2004

Ken Hovey, Architect  
P.O. Box 8506  
Albuquerque, NM 87198-8506

Transportation Dept.  
City of Albuquerque  
600 Second Street NW  
Albuquerque, NM 87102

Subject: 1513 Carlisle Blvd. NE  
Offices for Timothy Gutierrez, D.M.D.

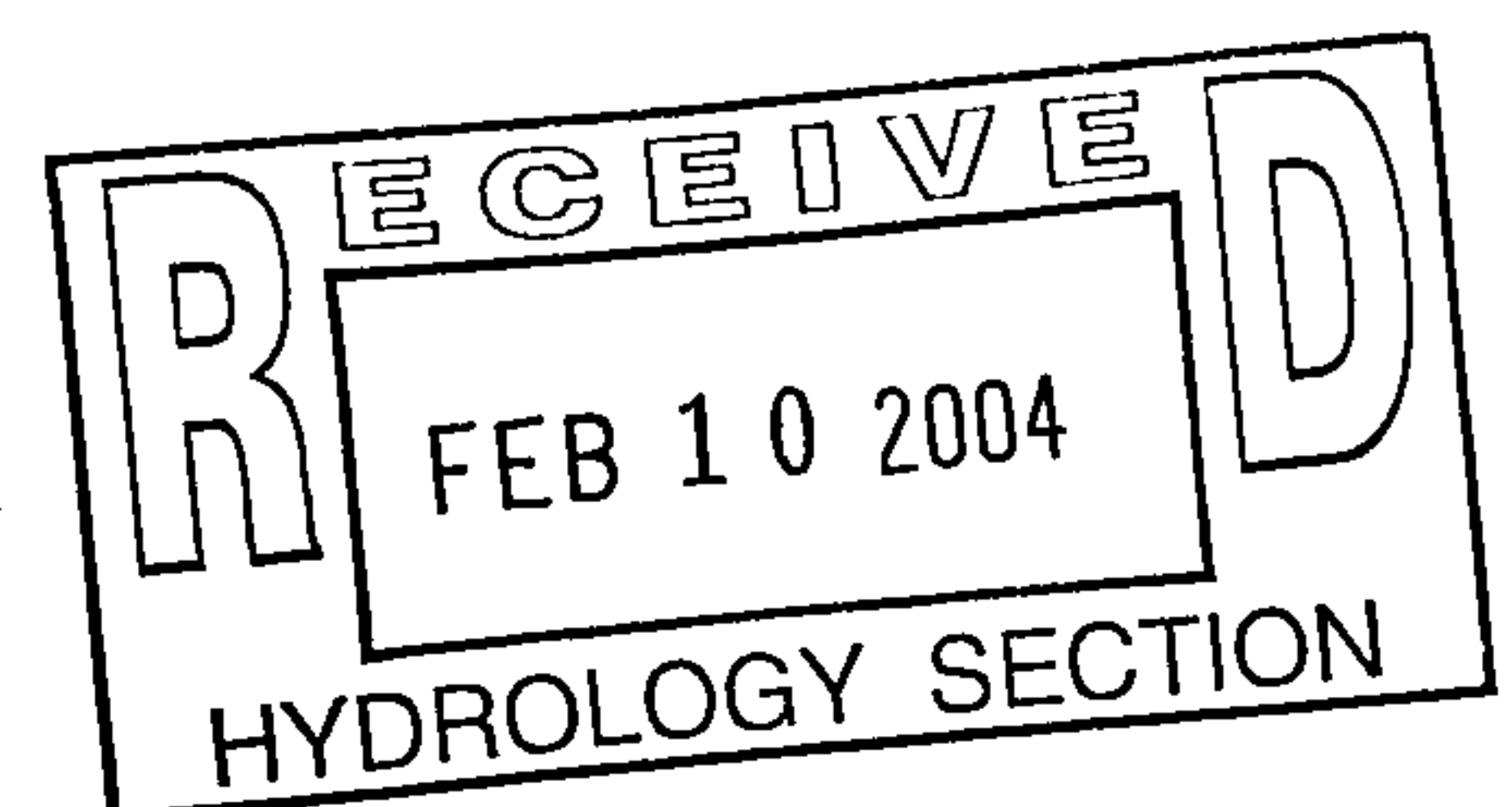
Gentlemen:

I have inspected the subject project located at 1513 Carlisle Blvd. NE and I find the construction to be in substantial compliance with the approved Traffic Circulation Layout (TCL). I have redlined the attached TCL to show any departures in the construction from the approved TCL.

Sincerely,

*Ken Hovey*

Ken Hovey







# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 25, 2003

Ron Bohannon, PE  
Tierra West LLC  
8509 Jefferson NE  
Albuquerque, NM 87113

**Re: Dental Office @ Aspen and Carlisle Drainage Report**  
**Engineer Stamp date 7-7-03 (J16/D16)**

Dear Mr. Bohannon,

Based on information provided in your submittal dated 7-11-03, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. If you have any questions please feel free to call the Public Works Hydrology section at 768-3654 (Charles Caruso) or 768-3645 (Brian Wolfe). Also, prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE  
Sr. Engineer, Planning Dept.  
Development and Building Services

C: Chuck Caruso, CoA  
file

# DRAINAGE AND TRANSPORTATION SHEET

(REV. 1/28/2003rd)

J-16/D16

PROJECT TITLE: Dental Office ZONE MAP/DRG. FILE #: J-16  
DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: Lots 10, 11, 12, 13 and 14; Block 5A; Wolters Subdivision; Haines Park Addition  
CITY ADDRESS: Southwest corner of Carlisle Boulevard and Aspen Avenue

ENGINEERING FIRM: Tierra West, LLC CONTACT: RONALD R. BOHANNAN OR SARA LAVY  
ADDRESS: 8509 Jefferson NE PHONE: (505) 858-3100  
CITY, STATE: Albuquerque, NM ZIP CODE: 87113

OWNER: PJ Development CONTACT: Pat Joseph  
ADDRESS: P.O. Box 14903 PHONE: (505) 263-6965  
CITY, STATE: Albuquerque, NM ZIP CODE: 87191

ARCHITECT: KEN HOVEY ARCHITECT CONTACT: Ken Hovey  
ADDRESS: 3808 Simms Avenue SE PHONE: (505) 259-8458  
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## CHECK TYPE OF SUBMITTAL:

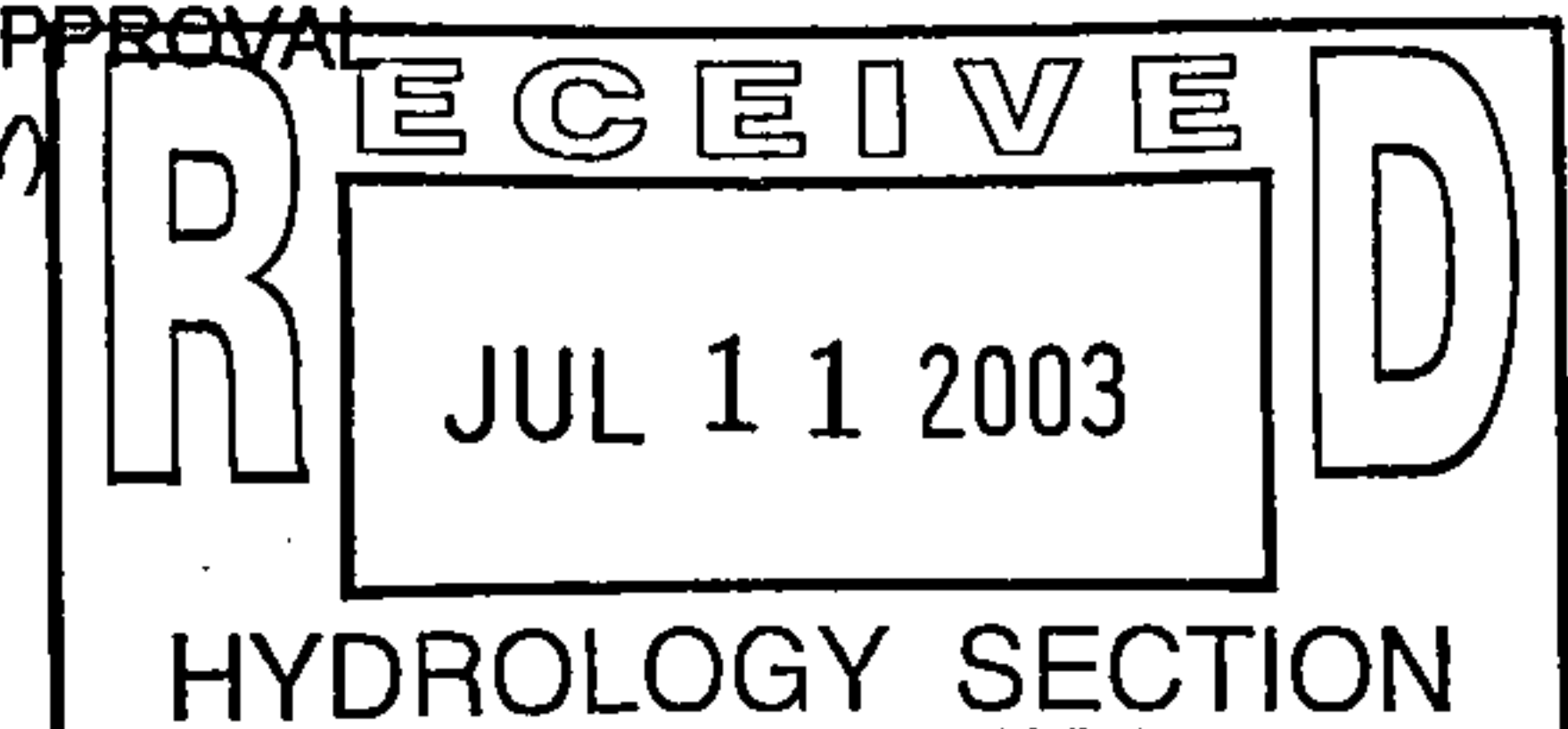
- ☒ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☒ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ ENGINEERS CERTIFICATION (TCL)  
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)  
☐ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANACIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D. APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM.)  
☐ CERTIFICATE OF OCCUPANCY (TEMP.)  
☒ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY) \_\_\_\_\_

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES  
☐ NO  
☐ COPY PROVIDED



DATE SUBMITTED: 7/7/2003 BY: Ronald R. Bohannan

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plans:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

**DRAINAGE REPORT  
FOR**

***Lots 10, 11, 12, 13, 14  
Block 5A  
Wolters Subdivision  
Haines Park Addition***

***Dental Office***

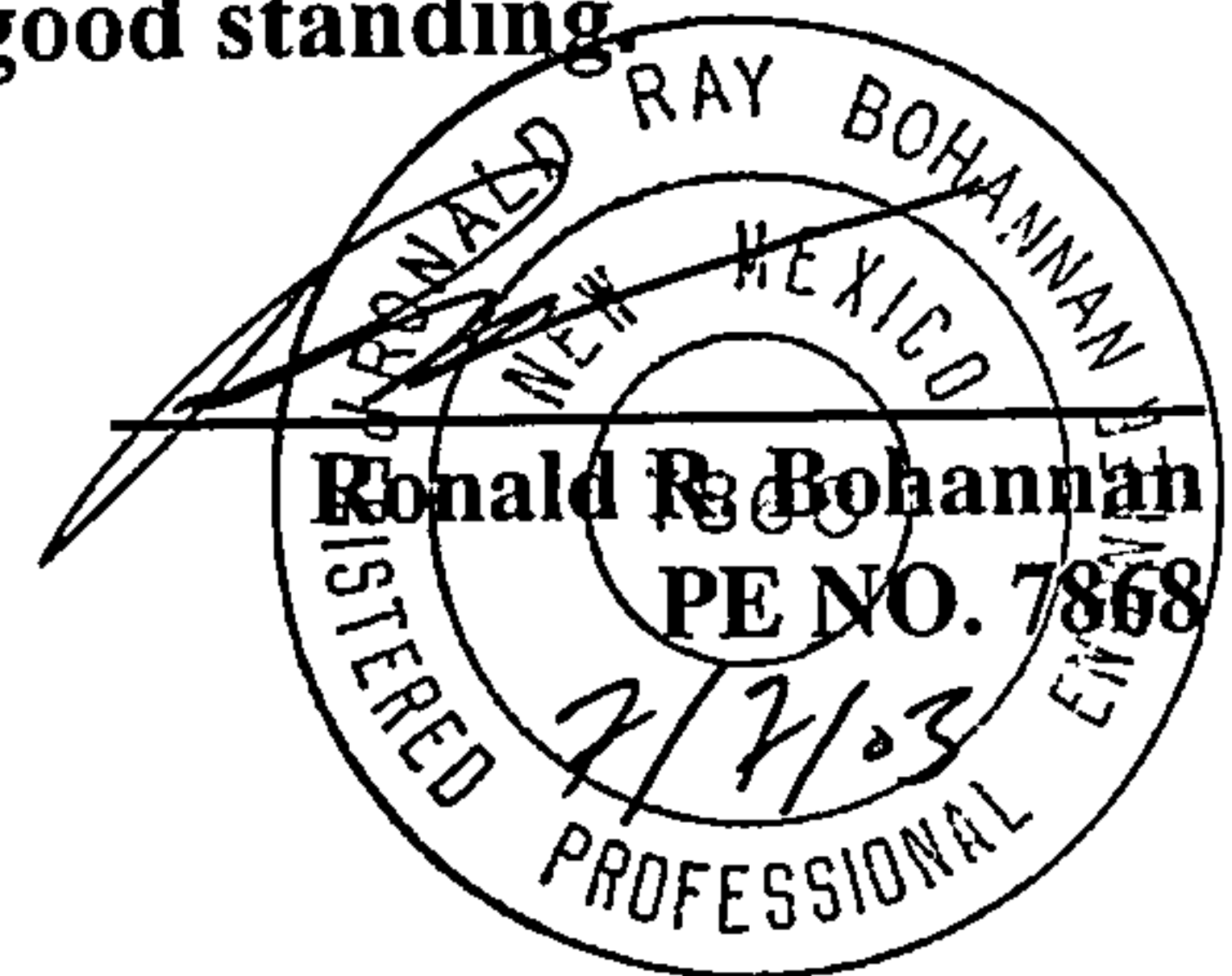
**Prepared by:**

**Tierra West, LLC  
8509 Jefferson NE  
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**Prepared for:  
Mr. Pat Joseph  
PJ Development Commercial Construction  
P.O. Box 14903  
Albuquerque, NM 87191**

**June 2003**

**I certify that this report was prepared under my supervision, and I am a registered  
Professional Engineer in the State of New Mexico in good standing.**



**Job No 230036**



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### MAP POCKET A

Master Grading and Drainage Plan

### MAP POCKET B

Master Utility Plan

### MAP POCKET C

Basin Map

**Section I**

**Report**

## **Location**

The Dental Office is located on the southwest corner of Carlisle Boulevard and Aspen Avenue. The site is the proposed location of two new business developments, the first being a dental office, and is shown on the attached Zone Atlas Map J-16. The site contains approximately 2.1118 acres. The legal description is Lots 10, 11, 12, 13, and 14; Block 5A; Wolters Subdivision; Haines Park Addition. The purpose of the report is to provide the drainage analysis and management plan for approval of the Site Plan for Building Permit.

## **Existing Drainage Conditions**

The site is currently undeveloped and a partial parking lot is building on the site. An Alleyway on the west has been constructed with temporary pavement. This project sheet flows towards Aspen and the alleyway where it travels down Rita Drive crossing Indian School Road and then into the channel in the middle of Interstate 40.

There are no offsite flows entering the site. Carlisle intercepts all the flow from the east and conveys that flow north and then west to Aspen. The site south discharges all the flow to the alleyway where it splits going south and north.

## **FIRM Map and Soil Conditions**

The site is located on FIRM Map 35001C0351 D as shown on the attached excerpt. The map shows that the site lies within ZONE X areas determined to be outside the 100-year flood plain.

The site contains one soil from the Soil Conservation Service Soil Survey of Bernalillo County. The Madurez-Wink association is located on the East and West Mesas and has slow runoff and a moderate hazard of soil blowing.









NATIONAL FLOOD INSURANCE PROGRAM

**FIRM**

**FLOOD INSURANCE RATE MAP**

**MAP NUMBER  
35001C0351 D**

**EFFECTIVE DATE:  
SEPTEMBER 20, 1996**

## **Proposed Drainage Management**

The site has been shown in three basins on the attached exhibit. Basin 1 & 2 are the proposed parking lots. Basin 3 contains the existing developed buildings, alleyway and roof drainage. A future building on lots 10, 11 and 12 will be built during Phase 2.

A majority of the existing site was developed and is impervious. The combined discharge from the site amounted to 6.01 cfs. The three basins increase the flow to 6.91 cfs. The flows for Basin 1 are collected in the parking lot and then route to Basin 2. The flows entering Basin 2 from Basin 1 is 0.63 cfs. These are routed to a temporary desilting pond that will contain at least 650 cu ft of storage to prevent sediment from leaving the site. The flows continue toward Aspen and are combined with Basin 2 of 1.42 cfs for a total of 2.05 cfs entry into Aspen. Basin 3 picks up the existing flow and adds the roof flow to discharge 4.86 cfs to Aspen as well.

## **Analysis**

### **Curb Openings and Alleyway Capacity:**

The curb opening into Aspen Avenue is 24 feet wide. The capacity of the opening is much greater than what is generated. The depth of the opening is .67 feet, which has a capacity of 38.92 cfs.

The alleyway opening into Aspen Avenue is 20 feet wide. The capacity of the opening is much greater than what is generated at 32.35 cfs.

## **Criteria**

The site was analyzed using the procedures from the Development Process Manual Volume 2, Chapter 22. The Weighted E method was used for estimating the volume and flow rate of runoff from each basin to the developed basin. The rational method was used to compute that portion of the site that contributed to the SAD 198 flows.



## **NPDES**

The combined site exceeds the new 1-acre minimum standards established by EPA for storm water control. A separate Notice of Intent for discharge will be sent to EPA as well as a Storm Water Pollution Prevention Plan prepared for the site. The plan will be kept on site by the owner and the contractor as requested by EPA.

## **Summary**

The project will limit the flow to the center street to account for the SAD 198 limitations on the storm drainage. The flows will be limited to the flows listed in the drainage calculation sheet. All infrastructure will be installed with the listed development and as such, no infrastructure list is needed. The existing flows from the site amount to 6.01 cfs. The increased runoff generates less than .91 cfs additional discharge to 6.91 cfs. The flows are captured in the parking lot and alleyway, and discharged to Aspen Avenue and then via a street network to the Interstate 40 Channel.

# **Section II**

## **Runoff Calculations**

$$9.5828 - 1.4828 \text{ (roadway)} = 8.1 \text{ allowable}$$

Weighted E Method

Zone #2  
Existing Basins

												100-Year			10-Year			2-Year		
Basin	Area (sf)	Area (acres)	Area (sq miles)	Treatment A		Treatment B		Treatment C		Treatment D		Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs
				%	(acres)	%	(acres)	%	(acres)	%	(acres)									
A	70667.00	1.622	0.00253	50%	0.811146	0%	0.000	0%	0	50%	0.811	1.325	0.179	5.08	0.735	0.099	2.86	0.395	0.053	1.51
B	21615.00	0.496	0.00078	90%	0.446591	0%	0.000	0%	0	10%	0.050	0.689	0.028	0.93	0.251	0.010	0.33	0.079	0.003	0.09

Equations:

Weighted E = Ea\*Aa + Eb\*Ab + Ec\*Ac + Ed\*Ad / (Total Area)

Volume = Weighted D \* Total Area

Flow = Qa \* Aa + Qb \* Ab + Qc \* Ac + Qd \* Ad

Weighted E Method

Zone #2  
Developed Basins

												100-Year			10-Year			2-Year		
Basin	Area (sf)	Area (acres)	Area (sq miles)	Treatment A		Treatment B		Treatment C		Treatment D		Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs
				%	(acres)	%	(acres)	%	(acres)	%	(acres)									
1	6247.00	0.143	0.00022	10%	0.014341	0%	0.000	0%	0	90%	0.129	1.961	0.023	0.63	1.219	0.015	0.41	0.711	0.008	0.24
2	14081.00	0.323	0.00051	10%	0.032326	0%	0.000	0%	0	90%	0.291	1.961	0.053	1.42	1.219	0.033	0.93	0.711	0.019	0.54
3	67640.00	1.553	0.00243	50%	0.7764	0%	0.000	0%	0	50%	0.776	1.325	0.171	4.86	0.735	0.095	2.73	0.395	0.051	1.44

Equations:

$Weighted\ E = E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d / (Total\ Area)$

$Volume = Weighted\ D \cdot Total\ Area$

$Flow = Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$



## BROAD CRESTED WEIR

Weir Equation:

$$Q = CLH^{3/2}$$

Eq 5-10

King & Brater page 5-23

Table 5-5 page 5-41

Basin 1 & 2

Q = Flow (cfs)

C = 2.95

H = 0.67 ft

L = 20 ft

Basin 3

Q = Flow (cfs)

C = 2.95

H = 0.62 ft

L = 20 ft

$$Q = 2.95 \times 24 \times 0.67^{3/2}$$

$$Q = 38.82 \text{ cfs}$$

$$38.82 \text{ cfs} > 2.05 \text{ cfs}$$

$$Q = 2.95 \times 20 \times 0.67^{3/2}$$

$$Q = 32.35 \text{ cfs}$$

$$32.35 \text{ cfs} > 2.73 \text{ cfs}$$



**MAP POCKET A**

**MASTER GRADING AND DRAINAGE PLAN**

**MAP POCKET B**

**MASTER UTILITY PLAN**

# **MAP POCKET C**

## **BASIN MAP**