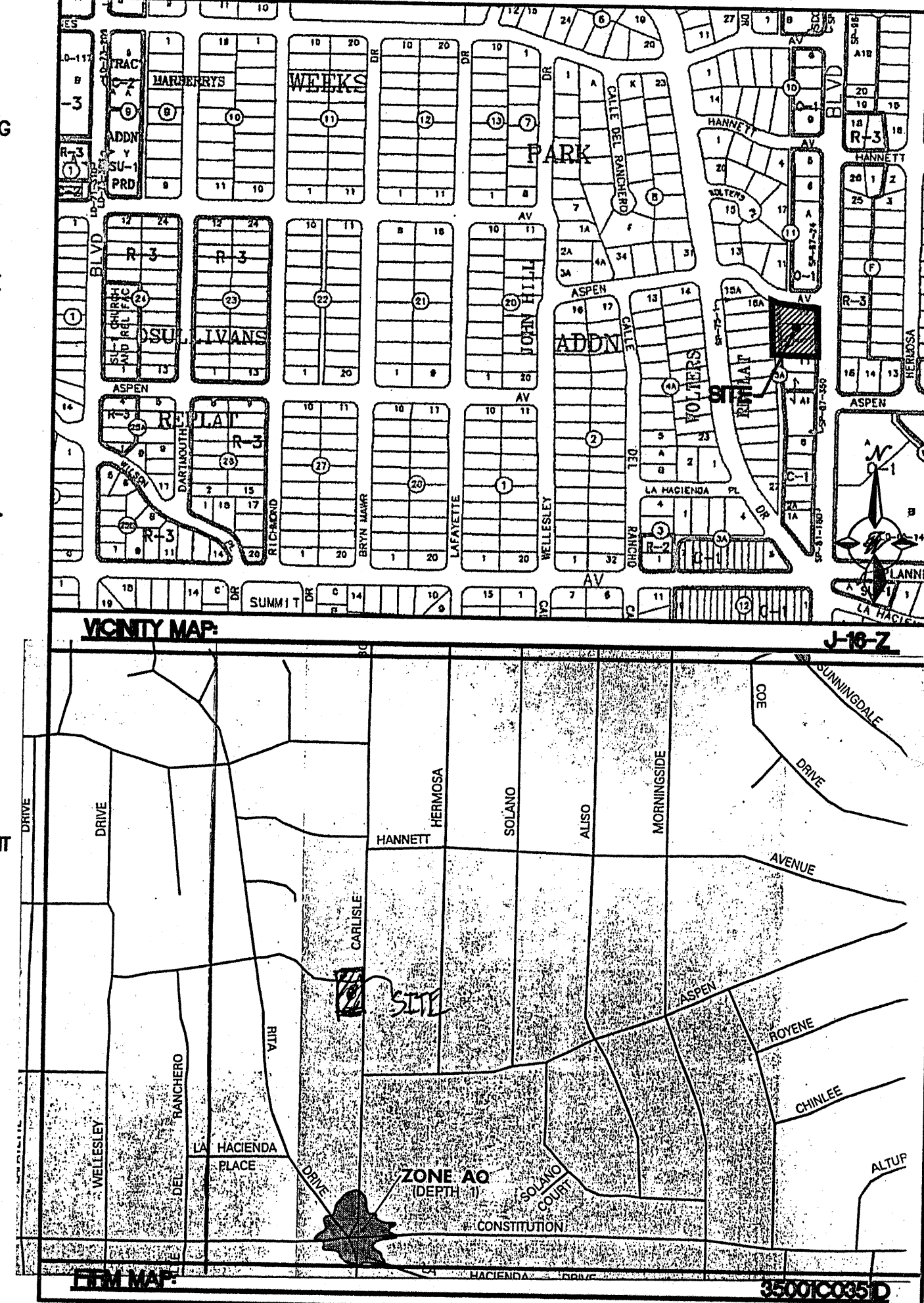
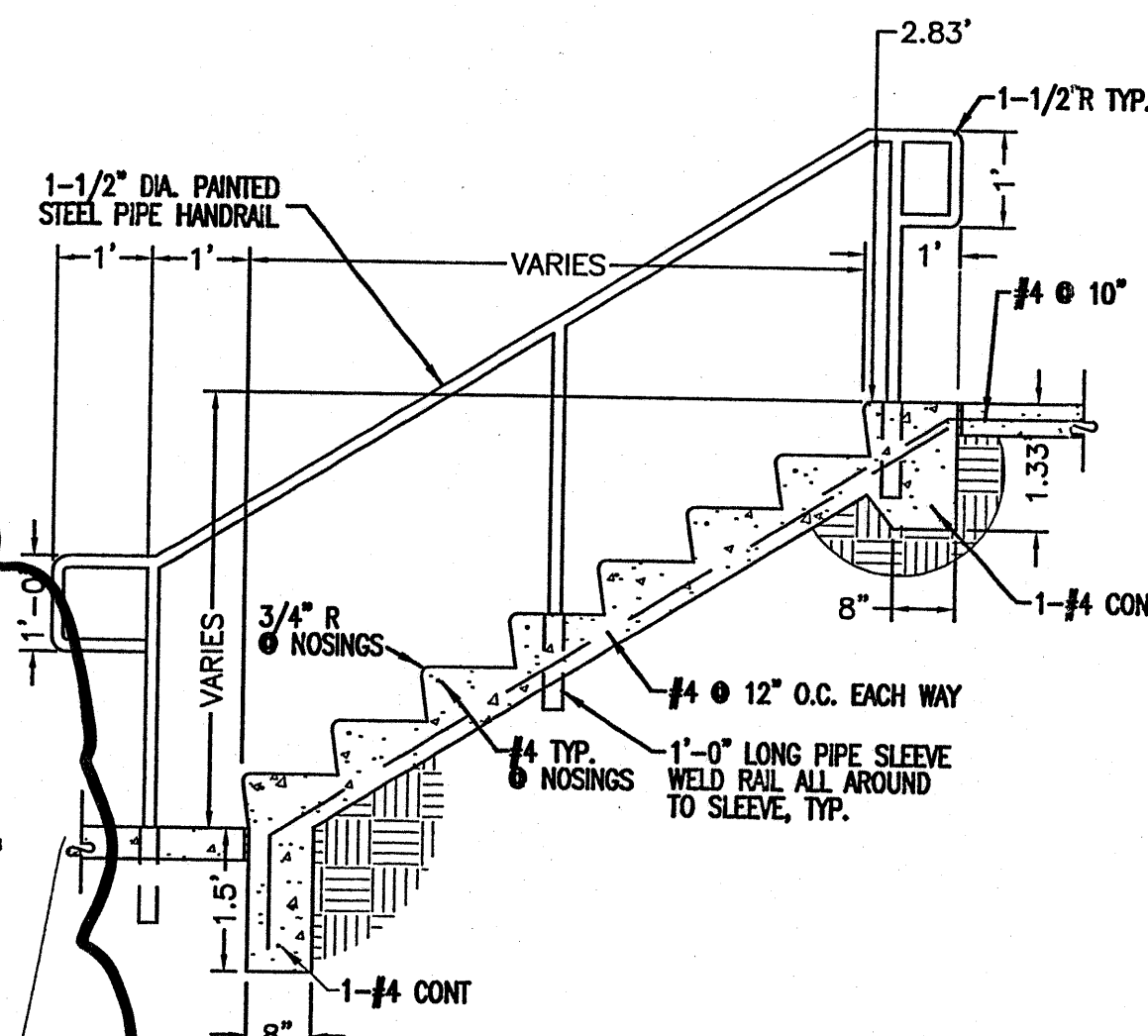
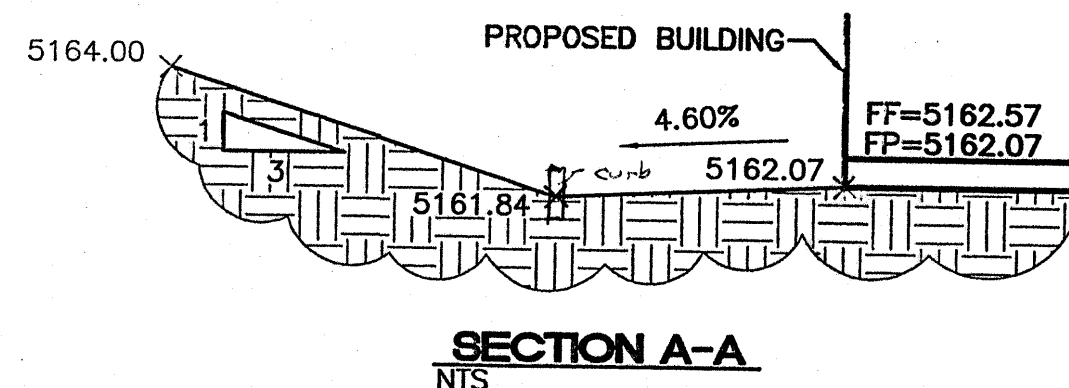


# **EROSION CONTROL NOTES:**

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



## **LEGAL DESCRIPTION**

TRACT 13 AND 14, WALTERS SUBDIVISION

## **NOTES**

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

## **LEGEND**

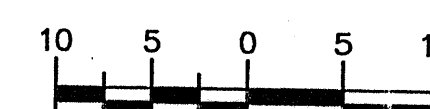
- EXISTING STORM SEWER MANHOLE
- EXISTING STORM SEWER INLET
- EXISTING STORM SEWER LINE
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- PROPOSED PERIMETER WALL
- PROPOSED RETAINING WALL
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- FLOW ARROW
- FLOW LINE
- SLOPE TIE
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION

## **ROUGH GRADING APPROVAL**

| NO.                                                                                                                                                                                                                                                                               |  | DATE    | REMARKS | BY          |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|---------|---------|-------------|
| <p><b>ENGINEER'S SEAL</b></p> <p><b>DENTIST OFFICE AT CARLISLE AND ASPEN</b></p> <p><b>GRADING AND DRAINAGE PLAN</b></p> <p><b>TIERRA WEST, LLC</b><br/>8509 JEFFERSON NE<br/>ALBUQUERQUE, NEW MEXICO 87113<br/>(505)858-3100</p> <p><b>RONALD R. BOHANNAN</b><br/>P.E. #7868</p> |  |         |         |             |
| DRAWN BY                                                                                                                                                                                                                                                                          |  | DATE    |         | SHEET #     |
| WCUJ                                                                                                                                                                                                                                                                              |  | 6-25-03 |         | 2336-GR.DWG |
| JOB #                                                                                                                                                                                                                                                                             |  | 230036  |         |             |

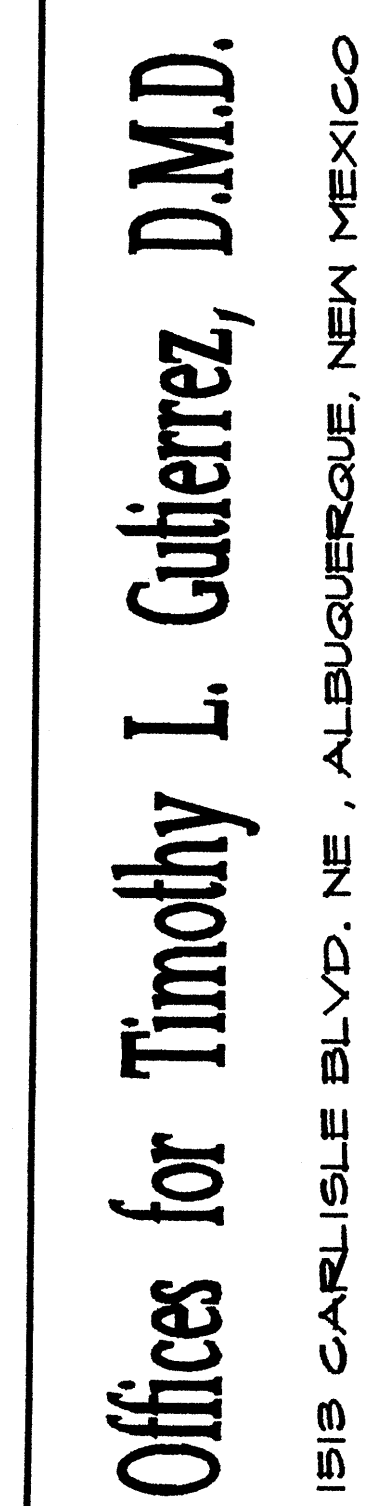
**CAUTION:**  
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

GRAPHIC SCALE



A.C.S. BENCHMARK  
"13-J16"  
E.L.=5165.33  
NAVD 1929

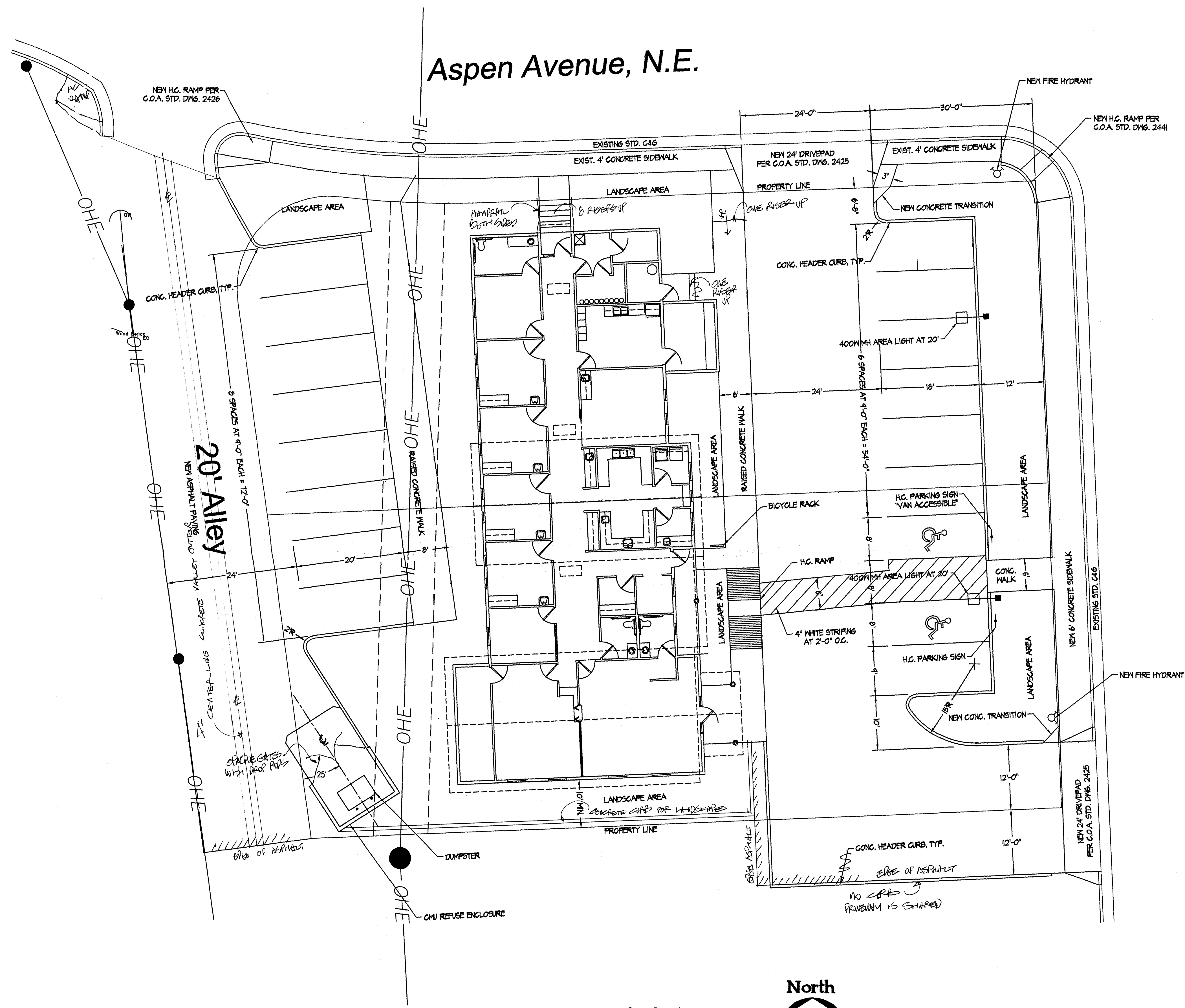




|                        |  |
|------------------------|--|
| JOB NO: 0308           |  |
| DATE: 3 SEPTEMBER 2003 |  |
| REVISIONS              |  |
|                        |  |
|                        |  |
|                        |  |
|                        |  |
|                        |  |

SHEET NO.

**C.1**



### Design Data

LEGAL DESCRIPTION: LOTS 13 & 14  
BLOCK 5A  
WOLTERS SUBDIVISION  
HAINES PARK ADDITION  
ALBUQUERQUE, NEW MEXICO

CURRENT ZONING: O-1

ZONE ATLAS PAGE: J-16-2

ADDRESS: 1513 CARLISLE BLVD. NE

APPLICABLE BUILDING CODE: UBC-1997

SEISMIC ZONE: 2B

WIND DESIGN SPEED: 75 MPH

EXPOSURE: C

TYPE OF CONSTRUCTION: V-N

FIRE SPRINKLERED: NO

OCCUPANCY: GROUP B

TOTAL BUILDING AREA: 3,840 SQ. FT.

ALLOWABLE BUILDING AREA: 8,000 SQ. FT.

NO. OF STORIES: ONE

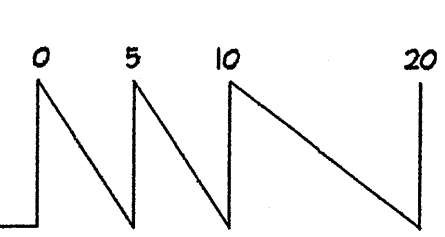
NET LEASABLE FLOOR AREA: 3,690 SQ. FT.

REQUIRED OFF-STREET PARKING:  
3,690 SQ. FT./200 = 18.5  
10% CREDIT FOR BUS SERVICE = 1.85  
SPACES REQUIRED = 17

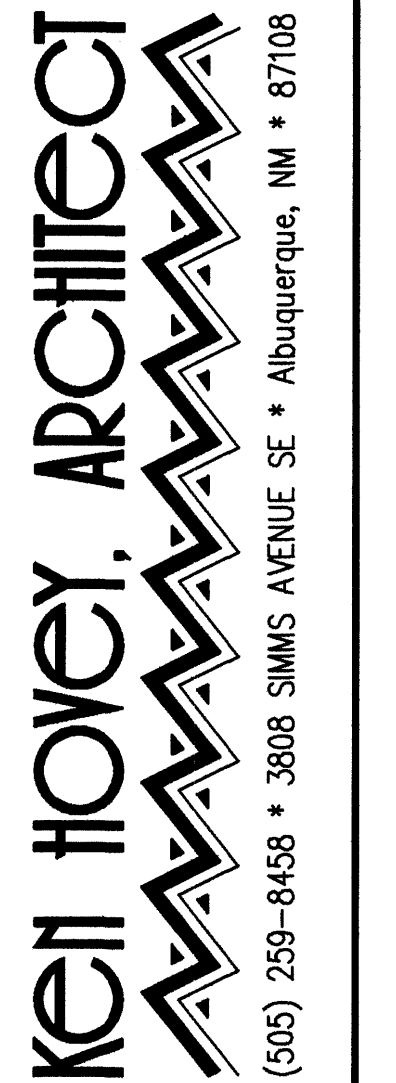
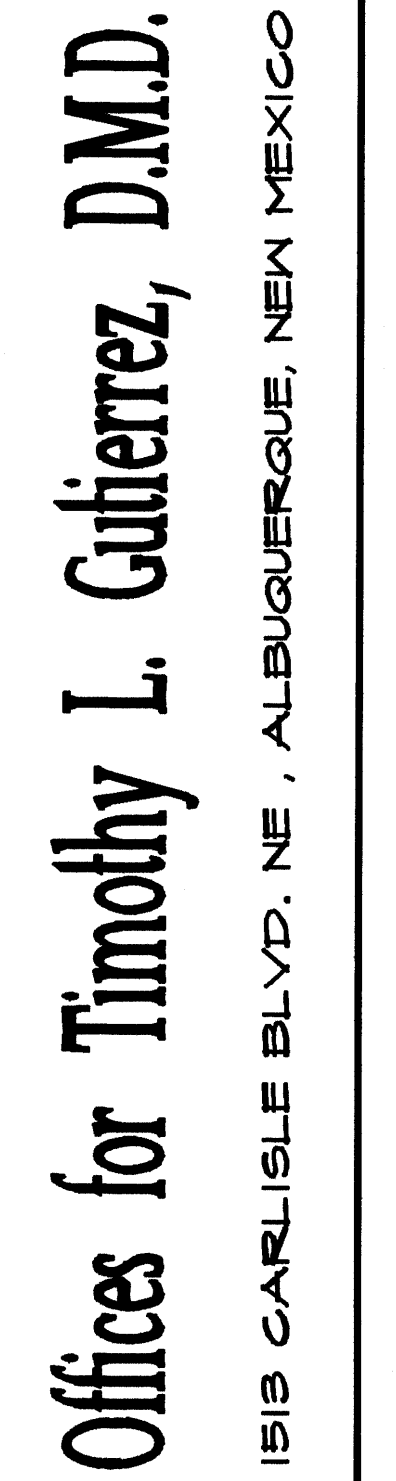
OFF-STREET PARKING PROVIDED:  
17 SPACES INCLUDING 2 HD ACCESSIBLE

**Carlisle Boulevard, N.E.**

**Site Plan**  
**Scale: 1"=10'**

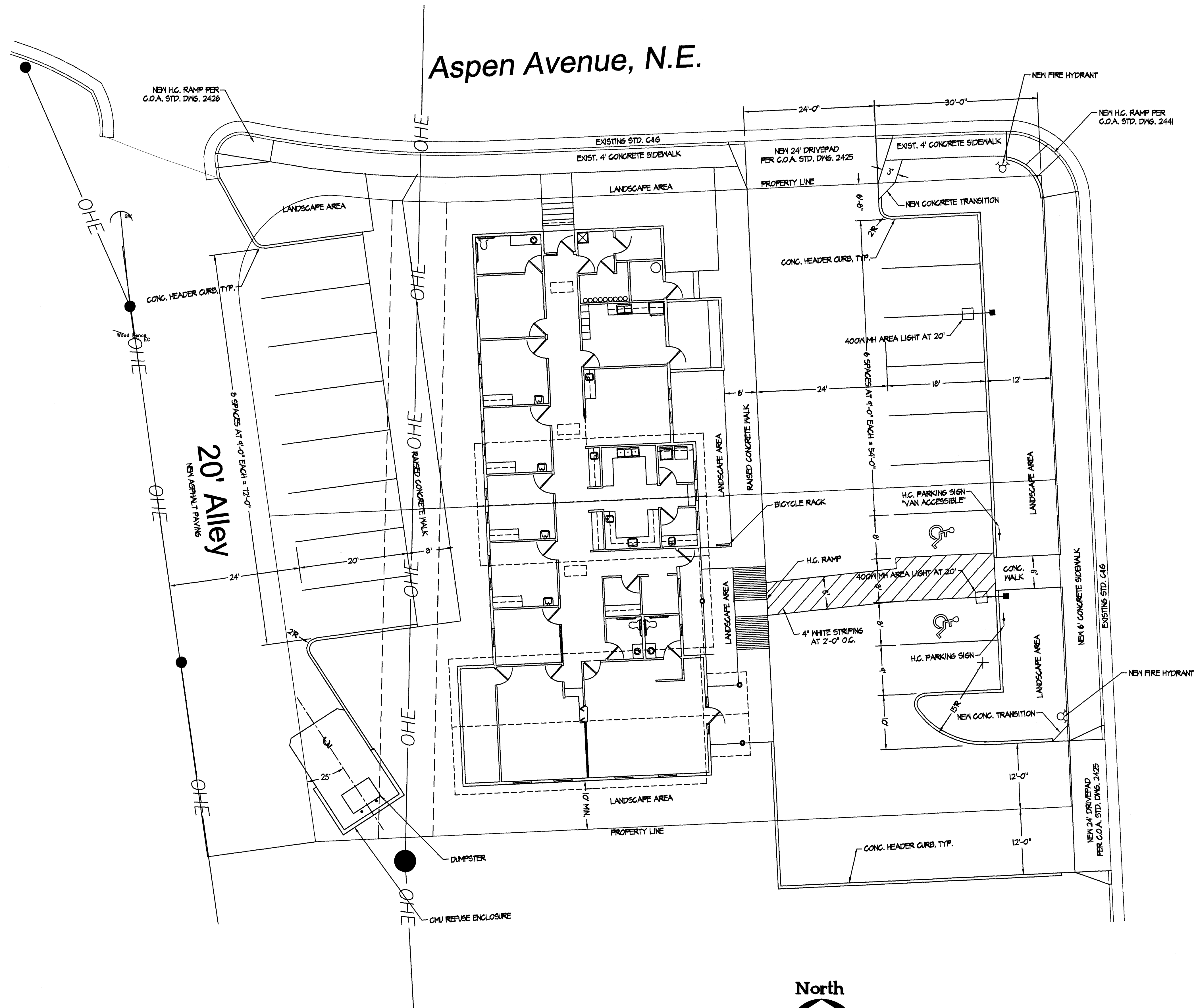






|                        |  |
|------------------------|--|
| B NO: 0308             |  |
| DATE: 3 SEPTEMBER 2003 |  |
| REVISIONS              |  |
|                        |  |
|                        |  |
|                        |  |
|                        |  |
|                        |  |

**C.1**



**Site Plan**  
**Scale: 1"=10'**

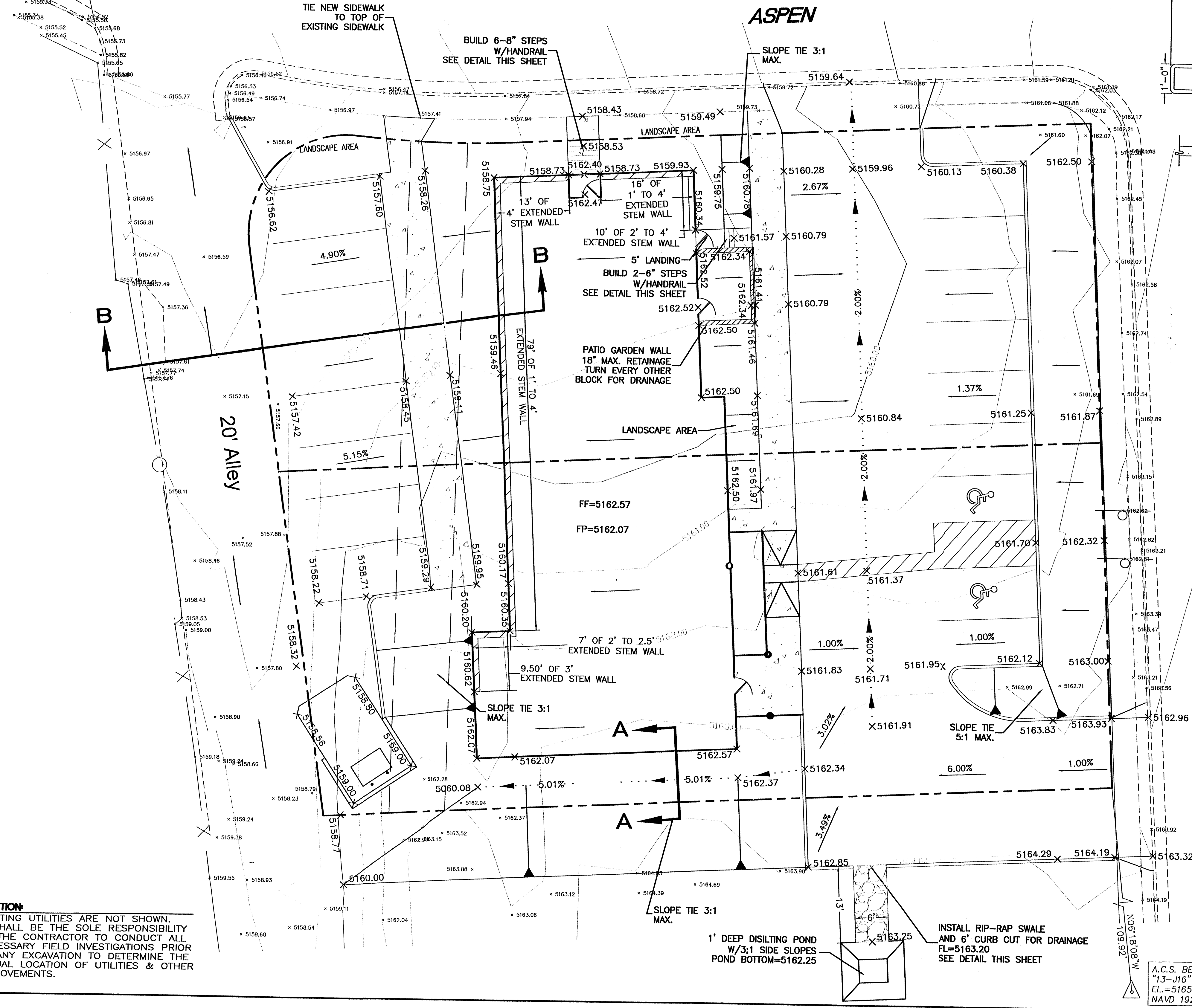
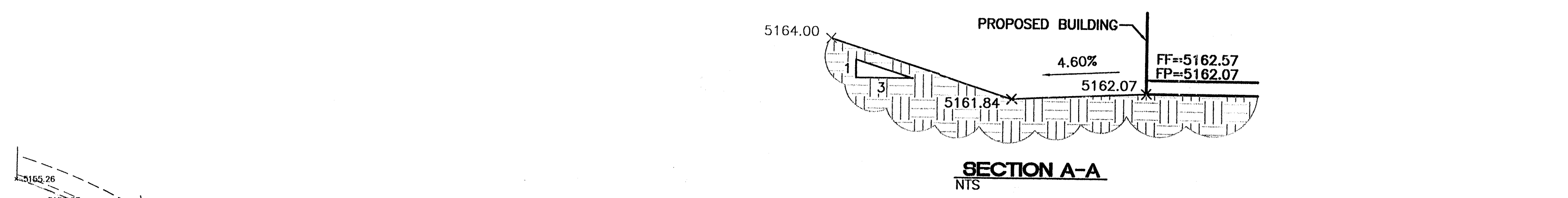
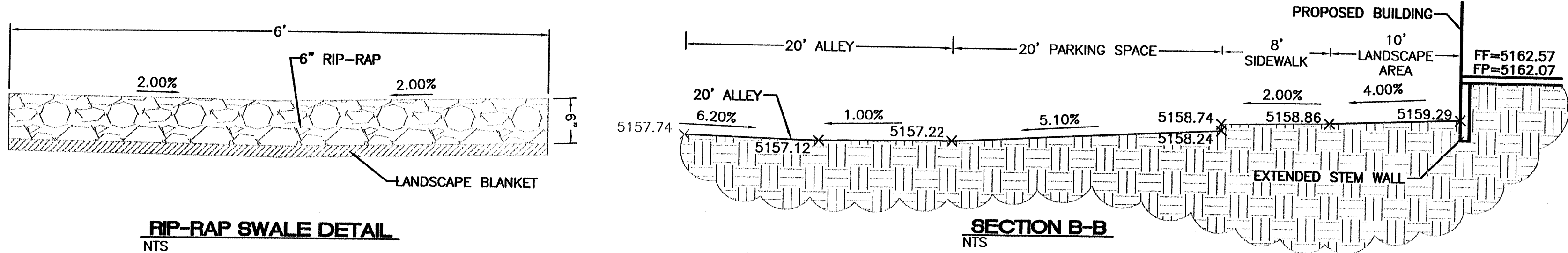
### Design Data

|                              |                                                                                                    |
|------------------------------|----------------------------------------------------------------------------------------------------|
| LEGAL DESCRIPTION:           | LOTS 13 & 14<br>BLOCK 54<br>WOLTERS SUBDIVISION<br>HAINES PARK ADDITION<br>ALBUQUERQUE, NEW MEXICO |
| CURRENT ZONING:              | O-1                                                                                                |
| ZONE ATLAS PAGE:             | J-16-2                                                                                             |
| ADDRESS:                     | 1513 CARLISLE BLVD. NE                                                                             |
| APPLICABLE BUILDING CODE:    | UBC-1997                                                                                           |
| SEISMIC ZONE:                | 2B                                                                                                 |
| WIND DESIGN SPEED:           | 75 MPH                                                                                             |
| EXPOSURE:                    | C                                                                                                  |
| TYPE OF CONSTRUCTION:        | V-N                                                                                                |
| FIRE SPRINKLERED:            | NO                                                                                                 |
| OCCUPANCY:                   | GROUP B                                                                                            |
| TOTAL BUILDING AREA:         | 3,840 SQ. FT.                                                                                      |
| ALLOWABLE BUILDING AREA:     | 8,000 SQ. FT.                                                                                      |
| NO. OF STORIES:              | ONE                                                                                                |
| NET LEASABLE FLOOR AREA:     | 3,690 SQ. FT.                                                                                      |
| REQUIRED OFF-STREET PARKING: | 3,690 SQ. FT./200 = 18.5<br>10% CREDIT FOR BUS SERVICE = 1.85<br>SPACES REQUIRED = 17              |
| OFF-STREET PARKING PROVIDED: | 17 SPACES INCLUDING 2 HC ACCESSIBLE                                                                |

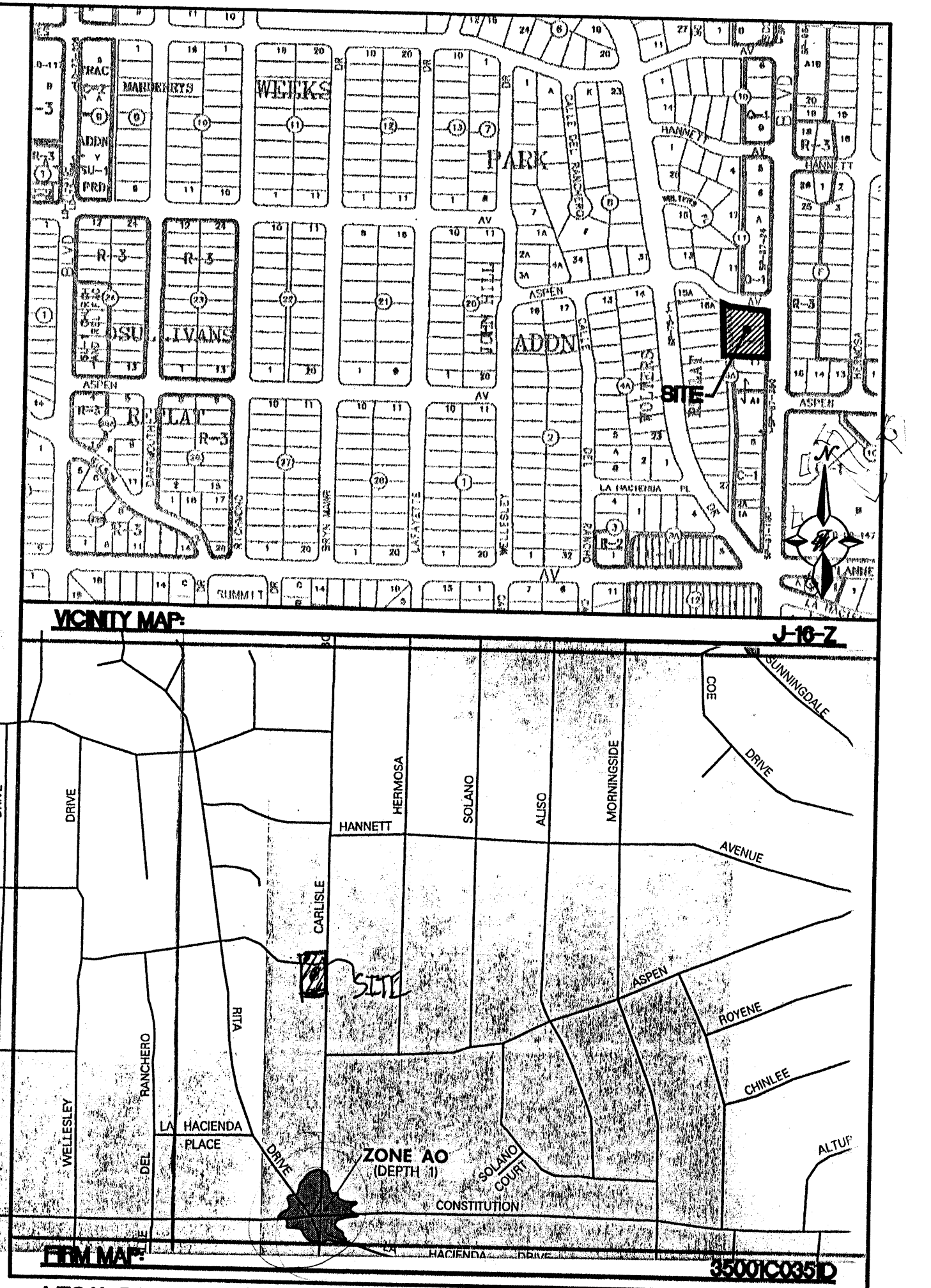
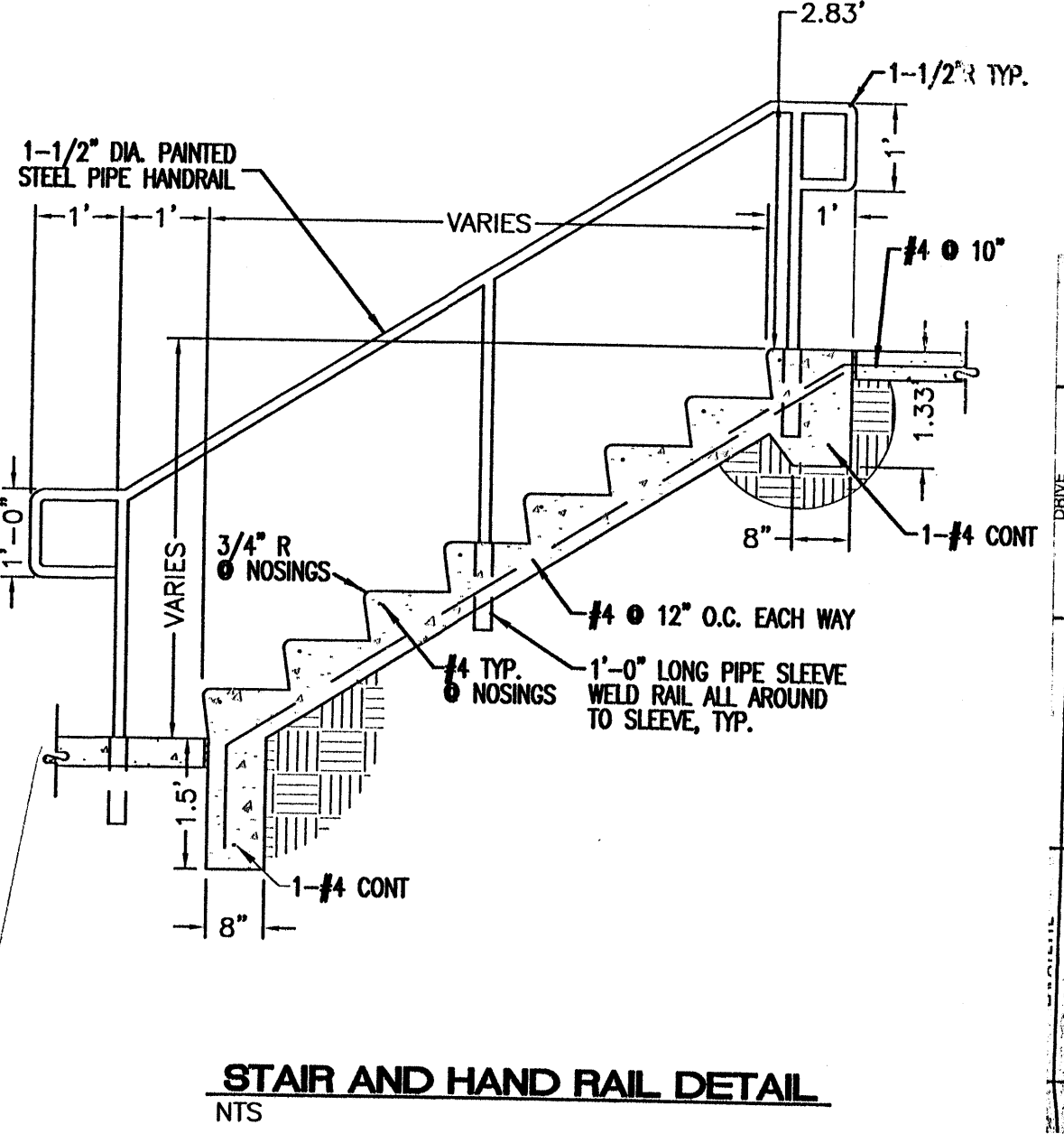
**Carlisle Boulevard, N.E.**

RECEIVED  
SEP 05 2003  
HYDROLOGY SECTION





- EROSION CONTROL NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
  - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
  - CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
  - REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
  - ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



**NOTES:**

- ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

**LEGEND**

|  |                              |
|--|------------------------------|
|  | EXISTING STORM SEWER MANHOLE |
|  | EXISTING STORM SEWER INLET   |
|  | EXISTING STORM SEWER LINE    |
|  | EXISTING CURB & GUTTER       |
|  | PROPOSED CURB & GUTTER       |
|  | BOUNDARY LINE                |
|  | EASEMENT                     |
|  | PROPOSED PERIMETER WALL      |
|  | PROPOSED RETAINING WALL      |
|  | EXISTING CONTOUR             |
|  | EXISTING INDEX CONTOUR       |
|  | FLOW ARROW                   |
|  | FLOW LINE                    |
|  | SLOPE TIE                    |
|  | EXISTING SPOT ELEVATION      |
|  | PROPOSED SPOT ELEVATION      |

**ROUGH GRADING APPROVAL** \_\_\_\_\_ DATE \_\_\_\_\_

| NO. | DATE | REMARKS | BY |
|-----|------|---------|----|
|     |      |         |    |

**REVISIONS**

| ENGINEER'S SEAL | DRAWN BY | DATE    |
|-----------------|----------|---------|
|                 | WCVJ     | 6-25-03 |

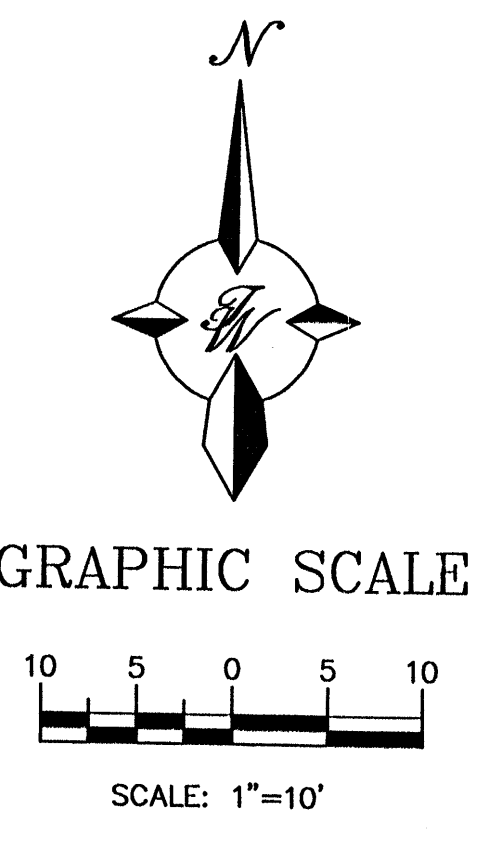
**DENTIST OFFICE AT CARLISLE AND ASPEN**

**GRADING AND DRAINAGE PLAN**

**TERRA WEST, LLC**  
8509 JEFFERSON NE  
ALBUQUERQUE, NEW MEXICO 87113  
(505)858-3100

**SECTION**

**CAUTION:**  
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.





| LINE TABLE |        |             |
|------------|--------|-------------|
| LINE       | LENGTH | BEARING     |
| L1         | 162.42 | N08°39'38"W |
| L2         | 6.97   | N08°37'11"E |
| L3         | 157.92 | N08°39'38"W |
| L4         | 45.05  | S81°20'22"W |
| L5         | 54.66  | S81°20'22"W |

# **NOTICE TO CONTRACTORS**

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 785-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR IS RESPONSIBLE TO PROVIDE UTILITY STUBS 5' FROM BUILDING
9. CONTRACTOR SHALL DETERMINE LOCATION OF ANY UNDERGROUND FACILITY IN OR NEAR WORK AREAS, INCLUDING REQUESTS TO OWNERS/OPERATORS OF SAID FACILITIES PER SECTION 62-14-5 NMSA 1978.
10. CONTRACTOR SHALL PLAN ALL EXCAVATION TO MINIMIZE INTERFERENCE OR DAMAGE OF UNDERGROUND FACILITIES.
11. CONTRACTOR SHALL PROVIDE ADVANCE TELEPHONE NOTICE OF COMMENCEMENT, EXTENT AND DURATION OF ALL EXCAVATION WORK TO THE ONE-CALL NOTIFICATION SYSTEM, OR TO OWNERS/OPERATORS OF ANY EXISTING UNDERGROUND FACILITY IN OR NEAR THE EXCAVATION AREA THAT ARE NOT MEMBERS OF THE ONE-CALL NOTIFICATION CENTER; IN ORDER THAT OWNERS/OPERATORS MAY LOCATE AND MARK UNDERGROUND FACILITY PER SECTION 62-14-5 NMSA 1978 PRIOR TO ANY COMMENCEMENT OF WORK. CONTRACTOR SHALL REQUEST REAFFIRMATION OF LOCATION EVERY TEN (10) WORKING DAYS AFTER INITIAL REQUEST.
12. CONTRACTOR SHALL MAINTAIN EIGHTEEN (18) INCHES BETWEEN EXISTING UNDERGROUND FACILITIES FOR WHICH HAVE BEEN PREVIOUSLY IDENTIFIED AND MARKED BY THE OWNERS/OPERATORS OF SAID FACILITIES. CUTTING EDGE OR POINT OF ANY MECHANICAL EXCAVATING EQUIPMENT UTILIZED IN EXCAVATION AREA WILL BE USED IN A MANNER NECESSARY TO PREVENT DAMAGE TO EXISTING UNDERGROUND FACILITIES.
13. CONTRACTOR SHALL PROVIDE SUPPORT FOR EXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA AS NECESSARY TO PREVENT DAMAGE TO SAID FACILITIES.
14. CONTRACTOR SHALL BACKFILL ALL EXCAVATIONS IN A MANNER AND WITH MATERIALS AS MAY BE NECESSARY TO PREVENT DAMAGE TO AND PROVIDE RELIABLE SUPPORT DURING AND FOLLOWING BACK FILLING ACTIVITIES FOR PREEXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA.
15. CONTRACTOR SHALL IMMEDIATELY NOTIFY BY TELEPHONE THE OWNER/OPERATOR OF ANY UNDERGROUND FACILITY WHICH MAY HAVE BEEN DAMAGED OR DISLODGED DURING EXCAVATION WORK.
16. CONTRACTOR SHALL NOT MOVE OR OBLITERATE MARKINGS MADE PURSUANT TO CHAPTER 62, ARTICLE 14 NMSA 1978, OR FABRICATE MARKINGS IN A UNMARKED LOCATION FOR THE PURPOSE OF CONCEALING OR AVOIDING LIABILITY FOR VIOLATION OF OR NONCOMPLIANCE WITH THE PROVISIONS OF CHAPTER 62, ARTICLE 11 NMSA 1978.

## **WATER SHUT-OFF PLAN**

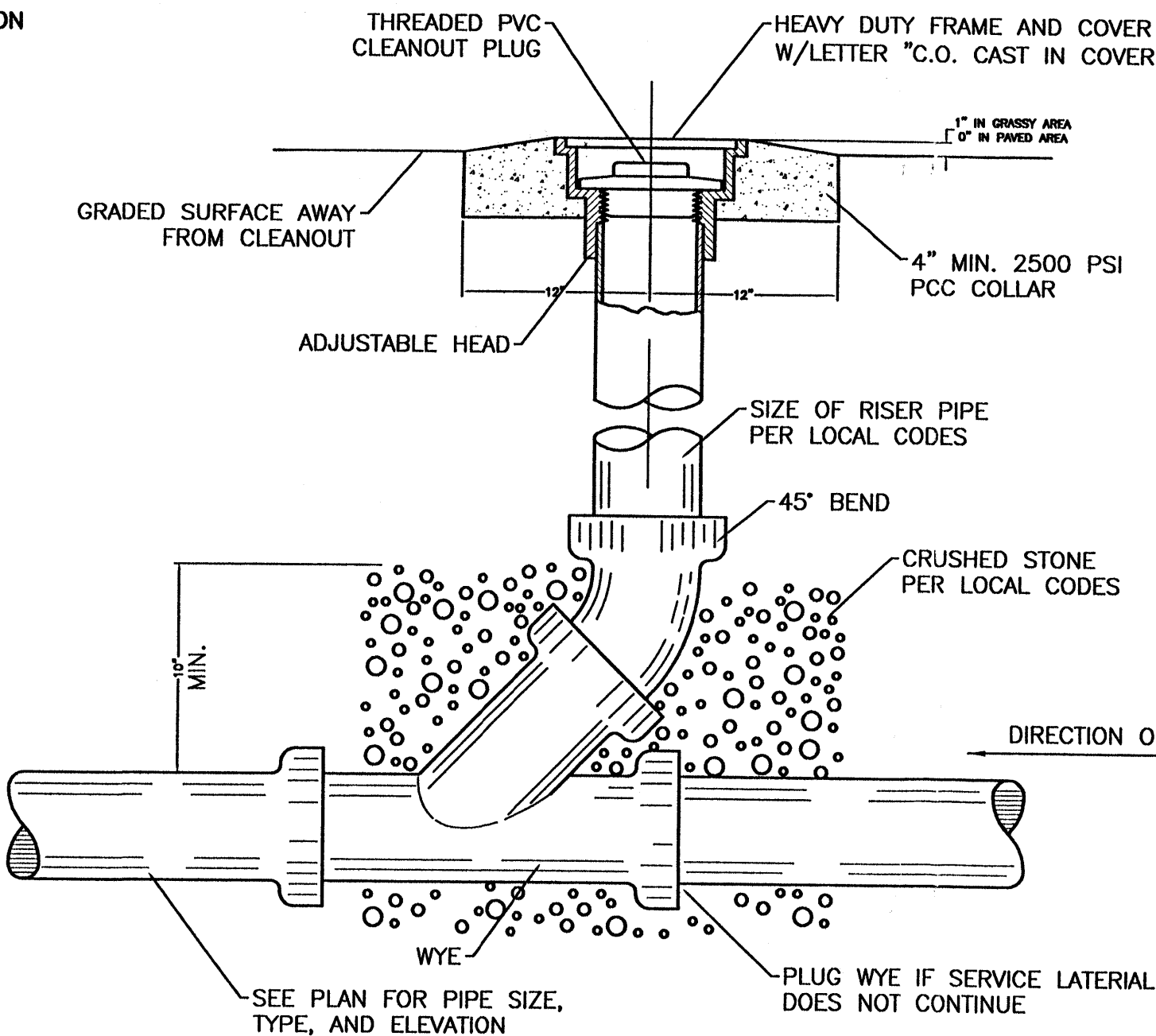
SHUT OFF VALVES #

### **NOTES:**

1. ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
2. NOTIFY CITY OF ALBUQUERQUE, WATER SYSTEMS DIVISION (PHONE 857-8200) FIVE (5) WORKING DAYS IN ADVANCE OF NEEDING EXECUTION OF THE WATER SHUT OFF PLAN
3. APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
4. SHUTOFF THE VALVES INDICATED IN THE ABOVE PLAN

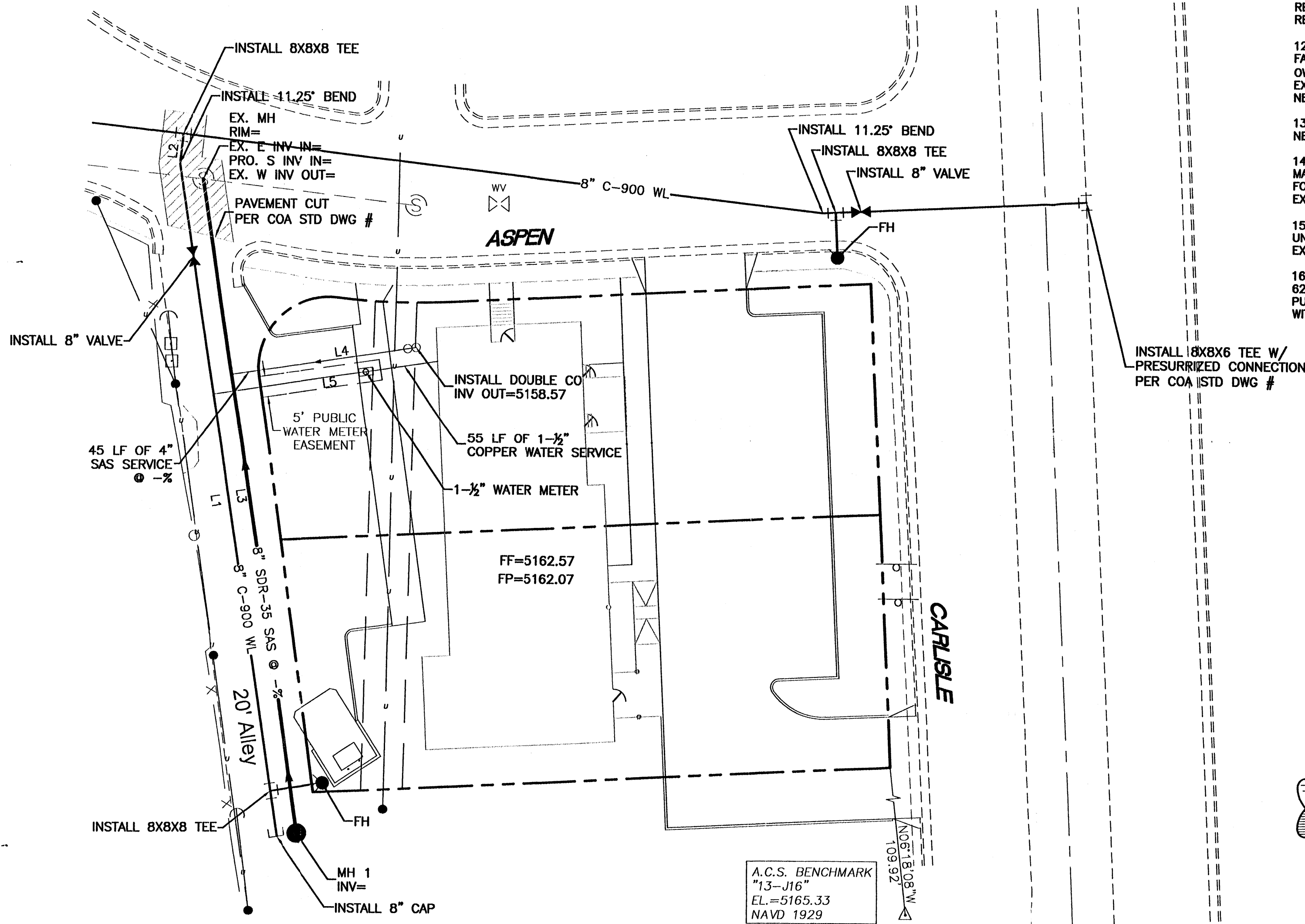
### **LEGEND**

- EXISTING SAS MANHOLE
- EXISTING SANITARY SEWER LINE
- PROPOSED SAS MANHOLE
- PROPOSED SAS CLEANOUT
- DIRECTION OF FLOW
- PROPOSED SANITARY SEWER LINE
- SANITARY SEWER SERVICE LINE
- EXISTING METER
- EXISTING VALVE W/BOX
- EXISTING FIRE HYDRANT
- EXISTING AIR RELEASE VALVE
- EXISTING REDUCER
- EXISTING WATER LINE
- PROPOSED METER
- PROPOSED VALVE W/BOX
- PROPOSED FIRE HYDRANT
- PROPOSED WATER SERVICE
- PROPOSED WATER LINE
- EXISTING FENCE
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- BOUNDARY LINE
- EXISTING BOUNDARY LINE
- EASEMENT
- RIGHT-OF-WAY
- EXISTING OVERHEAD LINE UTILITY
- PROPOSED CONDUITS

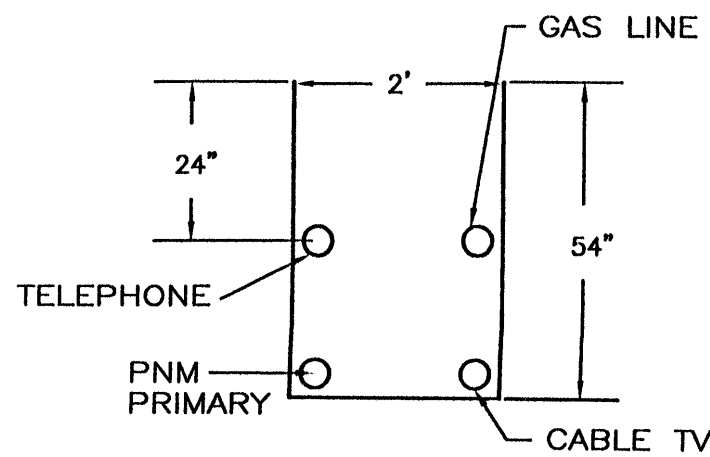


## **SANITARY SEWER CLEAN-OUT**

NTS



A.C.S. BENCHMARK  
"13-J16"  
EL.=5165.33  
NAVD 1929

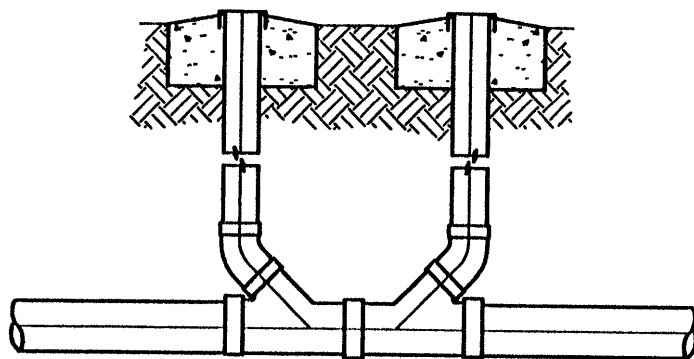


### **UTILITY TRENCH DETAIL**

NTS

### **GENERAL NOTES:**

1. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
3. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
4. ALL BLOCKING IS PER CITY OF ALBUQUERQUE STANDARD DWG. 2320.
5. ALL PIPE MATERIAL TO BE USED PER UPC.

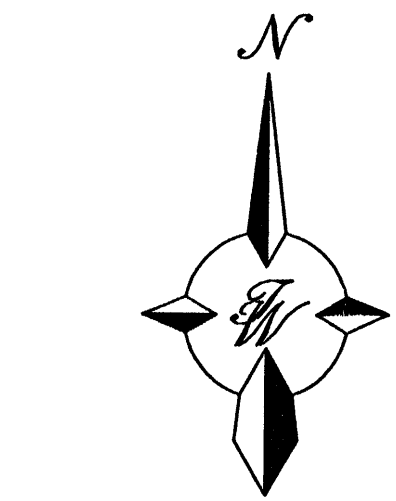


## **SANITARY SEWER DOUBLE CLEAN-OUTS**

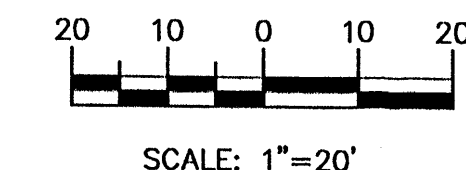
NTS

### **CAUTION:**

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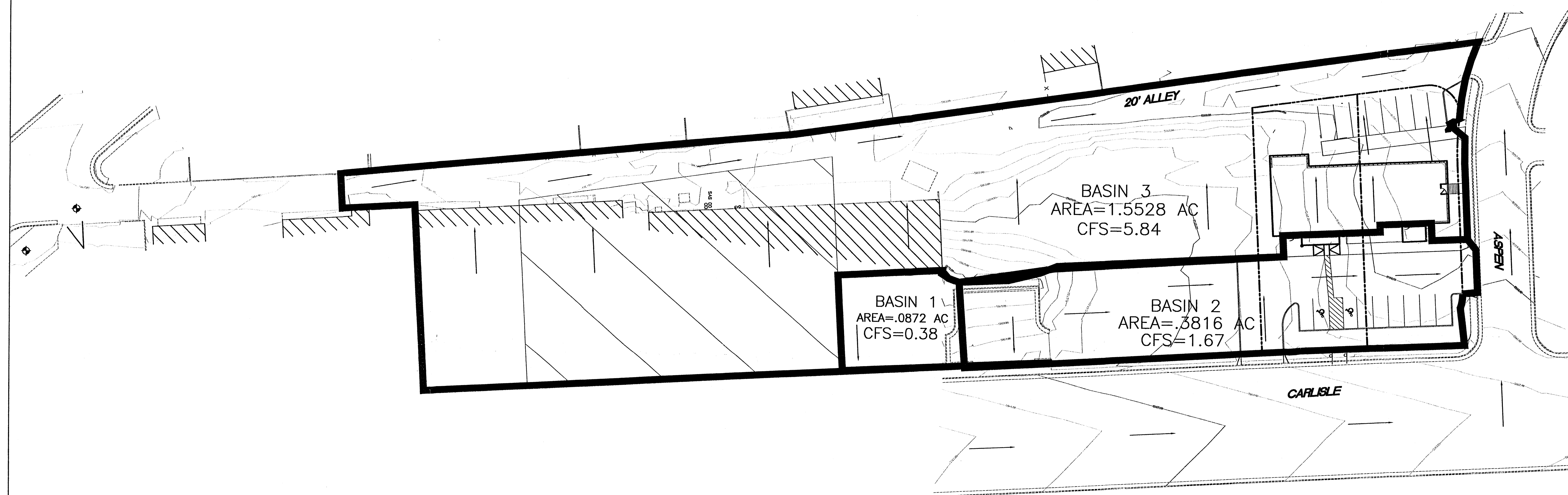


### **GRAPHIC SCALE**



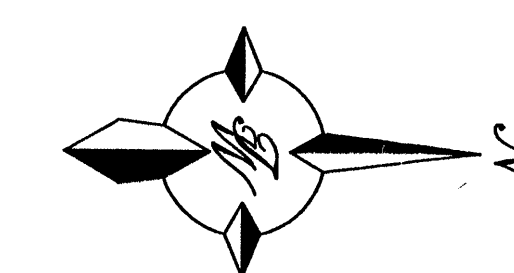
| NO.                                             | DATE | REMARKS                              | BY            |
|-------------------------------------------------|------|--------------------------------------|---------------|
| REVISIONS                                       |      |                                      |               |
| ENGINEER'S SEAL                                 |      | DENTIST OFFICE AT CARLISLE AND ASPEN | DRAWN BY WCMJ |
| DATE 6-30-03                                    |      | MASTER UTILITY PLAN                  | DATE 6-30-03  |
| 2336_MU.DWG                                     |      | TIERRA WEST, LLC                     | 2336_MU.DWG   |
| 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 |      | HYDROLOGY SECTION                    | JUL 11 2003   |
| (505)858-3100                                   |      | JOB # 230036                         |               |
| RONALD R. BOHANNAN P.E. #7868                   |      |                                      |               |



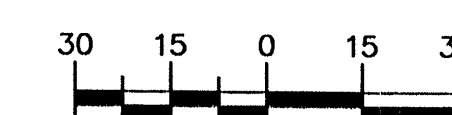


# LEGEND

|  |                              |
|--|------------------------------|
|  | EXISTING STORM SEWER MANHOLE |
|  | EXISTING STORM SEWER INLET   |
|  | EXISTING STORM SEWER LINE    |
|  | EXISTING CURB & GUTTER       |
|  | PROPOSED CURB & GUTTER       |
|  | BASIN LINE                   |
|  | EXISTING CONTOUR             |
|  | EXISTING INDEX CONTOUR       |



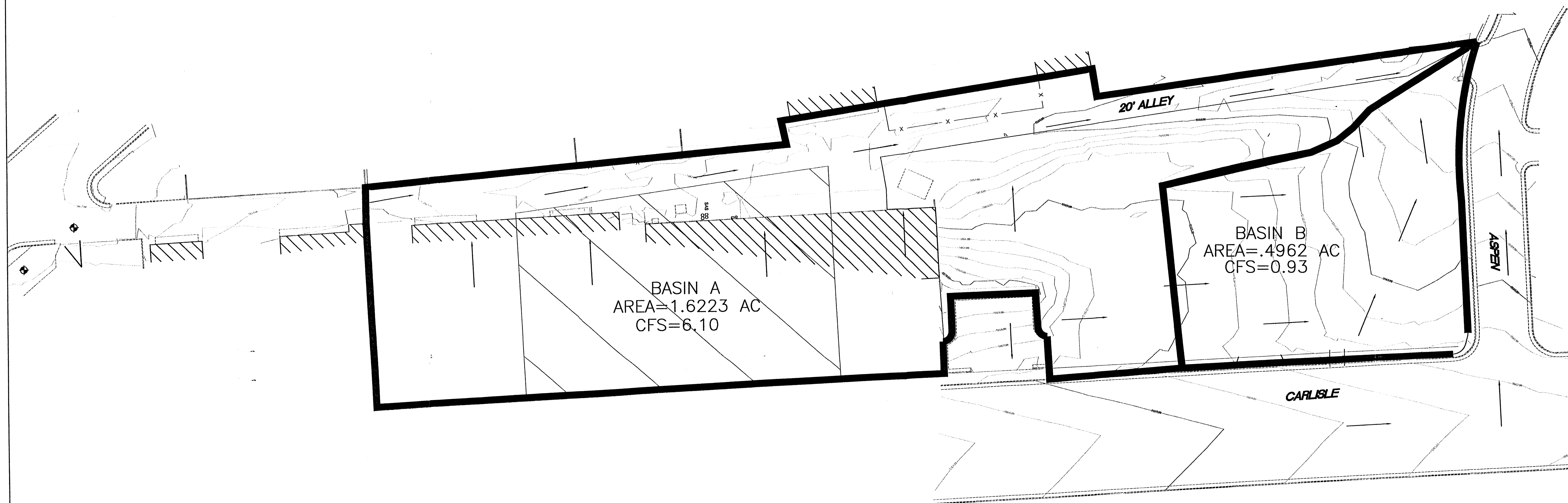
GRAPHIC SCALE



SCALE: 1"=30'

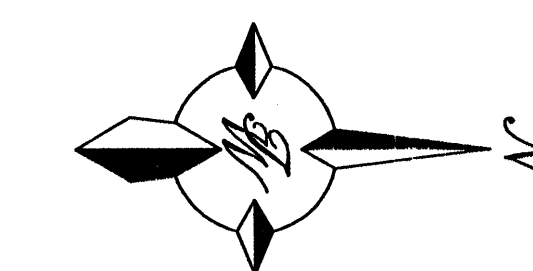
|                                  |  |                                                                                         |  |         |  |                   |  |
|----------------------------------|--|-----------------------------------------------------------------------------------------|--|---------|--|-------------------|--|
| NO.                              |  | DATE                                                                                    |  | REMARKS |  | BY                |  |
| REVISIONS                        |  |                                                                                         |  |         |  |                   |  |
| ENGINEER'S SEAL                  |  | DENTIST OFFICE AT<br>CARLISLE AND ASPEN<br>PROPOSED BASIN MAP                           |  |         |  | DRAWN BY WCUJ     |  |
|                                  |  |                                                                                         |  |         |  | DATE 6-19-03      |  |
|                                  |  |                                                                                         |  |         |  | 2336_BASIN.DWG    |  |
|                                  |  |                                                                                         |  |         |  | SHEET #           |  |
|                                  |  |                                                                                         |  |         |  | HYDROLOGY SECTION |  |
|                                  |  |                                                                                         |  |         |  | JOB # 230036      |  |
| RONALD R. BOHANNAN<br>P.E. #7868 |  | TIERRA WEST, LLC<br>8509 JEFFERSON NE<br>ALBUQUERQUE, NEW MEXICO 87113<br>(505)858-3100 |  |         |  |                   |  |



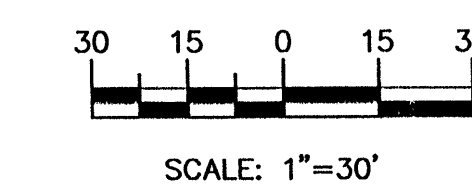


# LEGEND

|  |                              |
|--|------------------------------|
|  | EXISTING STORM SEWER MANHOLE |
|  | EXISTING STORM SEWER INLET   |
|  | EXISTING STORM SEWER LINE    |
|  | EXISTING CURB & GUTTER       |
|  | PROPOSED CURB & GUTTER       |
|  | BASIN LINE                   |
|  | EXISTING CONTOUR             |
|  | EXISTING INDEX CONTOUR       |



GRAPHIC SCALE



| NO.                              | DATE | REMARKS                                 | BY |
|----------------------------------|------|-----------------------------------------|----|
| REVISIONS                        |      |                                         |    |
| ENGINEER'S SEAL                  |      | DENTIST OFFICE AT<br>CARLISLE AND ASPEN |    |
|                                  |      | EXISTING BASIN MAP                      |    |
|                                  |      | DRAWN<br>BY WCVJ                        |    |
|                                  |      | DATE<br>6-25-03                         |    |
|                                  |      | 2336_EX_BASIN.DWG                       |    |
|                                  |      | TERRA WEST, LLC                         |    |
|                                  |      | 8509 JEFFERSON NE                       |    |
|                                  |      | ALBUQUERQUE, NEW MEXICO 87113           |    |
|                                  |      | (505)858-3100                           |    |
|                                  |      | JUL 11 2003                             |    |
|                                  |      | HYDROLOGY SECTION                       |    |
|                                  |      | JOB #<br>230036                         |    |
| RONALD R. BOHANNAN<br>P.E. #7868 |      |                                         |    |