

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

July 21, 2022

Daniel Duran
Modulus Architects
100 Sun Ave. NE, Suite 600
Albuquerque, NM 87112

Re: Champion Xpress CarWash
5101 Lomas Blvd. NE
Traffic Circulation Layout
Architect's Stamp 05-11-2022 (J17-D010)

Dear Mr. Duran,

The TCL submittal received 06-23-2022 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Champion Xpress **Building Permit #:** NA **Hydrology File #:** NA

DRB#: NA **EPC#:** NA **Work Order#:** NA

Legal Description: LOT 10-A REPLAT OF LTS 6, 7, 8, 9, 10, 11 AND THE WLY 10' OF LT 5 AND THE VACATED ALLEY IN BLK 2 DOROTHY BROWN'S CONT 30,788 SQ FT M/L

City Address: 5101 Lomas Blvd NE, Albuquerque, NM, 87110

Applicant: Modulus Architects & Land use planning **Contact:** 505-338-1499

Address: 100 Sun Ave, NE. Suite 600, Albuquerque, NM, 87109

Phone#: 505-338-1499 **Fax#:** **E-mail:** dduran@modulusarchitects.com

Other Contact: **Contact:**

Address:

Phone#: **Fax#:** **E-mail:**

TYPE OF DEVELOPMENT: ☒ PLAT (# of lots) ☐ RESIDENCE ☐ DRB SITE ☐ ADMIN SITE

IS THIS A RESUBMITTAL? ☒ Yes ☐ No

DEPARTMENT ☒ TRANSPORTATION ☐ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY)
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY)

DATE SUBMITTED: 6/22/2022 **By:** Daniel Duran

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED:

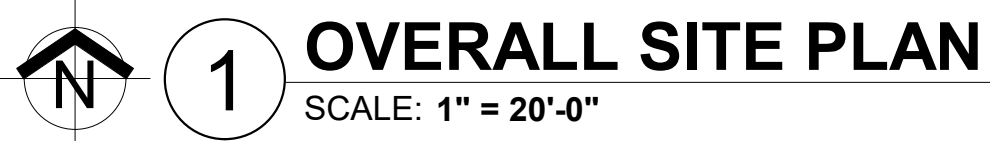
FEE PAID:

GENERAL NOTES:

1. PATCH ASPHALT AS NECESSARY
2. REFER TO 4/4, G5, G6 FOR DETAILS. NOT ALL DETAILS MAY APPLY TO THIS PROJECT
3. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER TO COA STANDARD DRAWINGS 2430 & 2415A
4. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS.
5. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
6. 4'-0" SIDE WALK (COA STANDARD DWG 3430 & 2415A) TO THE WHOLE FRONTAGE SIGN ASPHALT EXISTENTS AS A PATHWAY (NOT ALLOWED TO BE USED AS SIDE WALK).

KEYED NOTES:

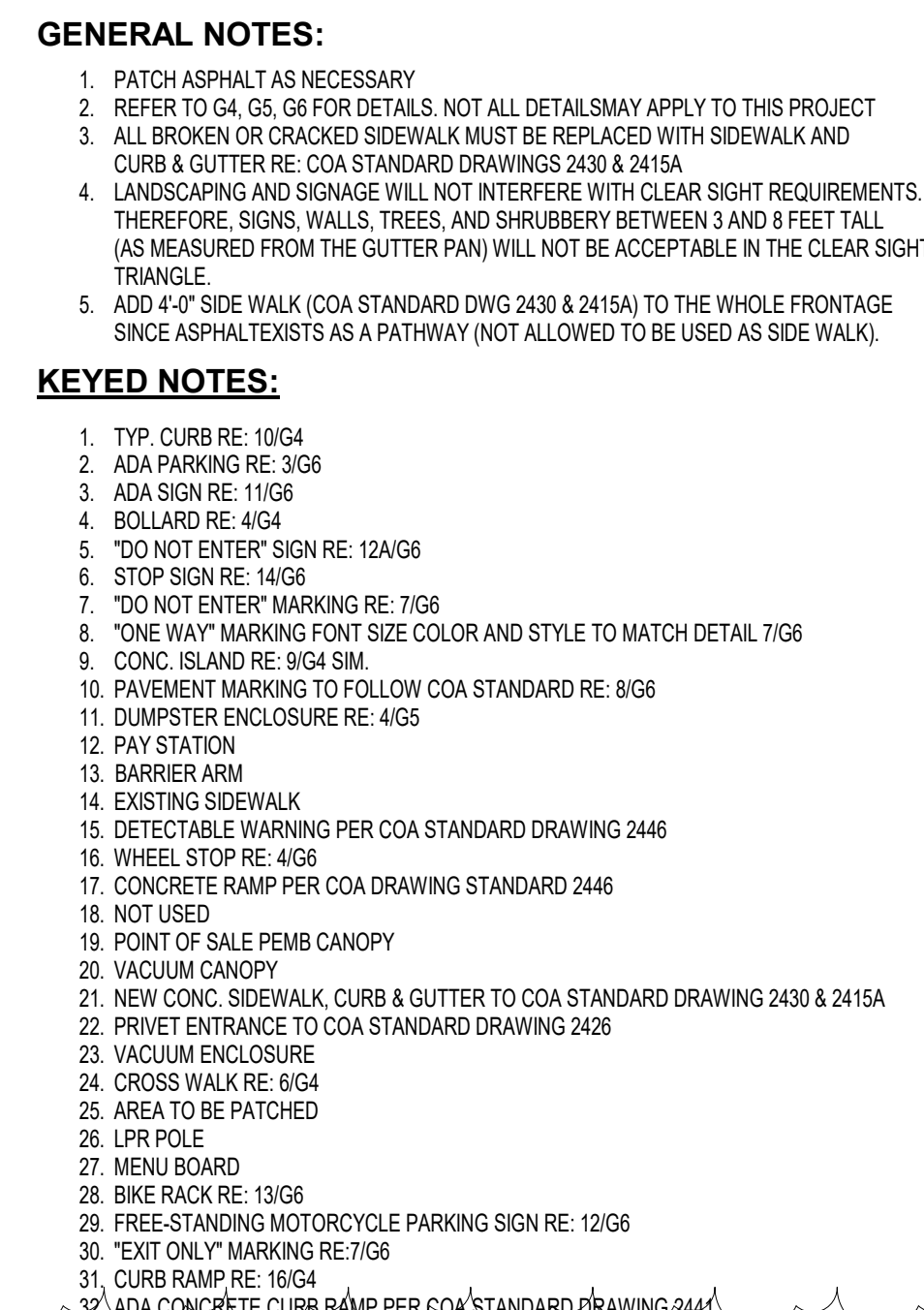
1. TYP. CURB RE: 10/G4
2. ADA PARKING RE: 3/G6
3. ADA SIGN RE: 11/G6
4. BOLLARD RE: 4/G4
5. "DO NOT ENTER" SIGN RE: 12/VG6
6. STOP SIGN RE: 14/G6
7. "DO NOT ENTER" MARKING RE: 7/G6
8. "ONE WAY" MARKING: FONT SIZE, COLOR AND STYLE TO MATCH DETAIL 7/G6
9. CONC. ISLAND RE: 9/G4 SM
10. PAVEMENT MARKING TO FOLLOW COA STANDARD RE: 8/G6
11. DUMPSTER ENCLOSURE RE: 4/G5
12. PAY STATION
13. BARRIER ARM
14. EXISTING SIDEWALK
15. DETECTABLE WARNING PER COA STANDARD DRAWING 2446
16. WHEEL STOP RE: 4/G6
17. CONCRETE RAMP PER COA DRAWING STANDARD 2446
18. NOT USED
19. POINT OF SALE PEMB CANOPY
20. VACUUM CANOPY
21. NEW CONC. SIDEWALK, CURB & GUTTER TO COA STANDARD DRAWING 2430 & 2415A
22. PRIVET ENTRANCE TO COA STANDARD DRAWING 2426
23. VACUUM ENCLOSURE
24. CONC WALK RE: 6/G4
25. AREA TO BE PATCHED
26. LPP POLE
27. MENU BOARD
28. BIKE RACK RE: 13/G6
29. FREE-STANDING MOTORCYCLE PARKING SIGN RE: 12/G6
30. "EXIT ONLY" MARKING RE: 7/G6
31. CURB RAMP RE: 16/G4
32. ADA CONCRETE CURB RAMP PER COA STANDARD DRAWING 2441



MODULUS ARCHITECTS

100 SUN AVENUE NE SUITE 600
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498
TOLL FREE 1-866-224-2161

[illegible]



PARKING CALCULATIONS

SPACES REQUIRED:

CAR WASH: 2 SPACES PER 1,000 S.F.
157 SF = 2 SPACES

BICYCLE: 3 SPACES OR 10% OF REQUIRED OFF-STREET PARKING SPACES
2 SPACES * .10= 0.2

MOTORCYCLE: 1 SPACE PER 1-25 PARKING SPACES
2 SPACES = 1 SPACE

SPACES PROVIDED:

TOTAL CAR WASH: 3 SPACES

TOTAL BICYCLE SPACES: 3 SPACES

TOTAL MOTORCYCLE SPACES: 1 SPACES

GRAND TOTAL SPACES: 7 SPACES

CONSTRUCTION DOCUMENTS

PROJECT TITLE

CHAMPION XPRESS CARWASH



5101 IOMAS BLVD NE ALBUQUERQUE, NM 87110

PROJECT MANAGER	JOB NO.	DRAWN BY:
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Project	Net Present Value
Project A	100,000
Project B	150,000
Project C	200,000
Project D	250,000
Project E	300,000
Project F	350,000
Project G	400,000
Project H	450,000
Project I	500,000
Project J	550,000
Project K	600,000
Project L	650,000
Project M	700,000
Project N	750,000
Project O	800,000
Project P	850,000
Project Q	900,000
Project R	950,000
Project S	1,000,000
Project T	1,050,000
Project U	1,100,000
Project V	1,150,000
Project W	1,200,000
Project X	1,250,000
Project Y	1,300,000
Project Z	1,350,000
Project AA	1,400,000
Project AB	1,450,000
Project AC	1,500,000
Project AD	1,550,000
Project AE	1,600,000
Project AF	1,650,000
Project AG	1,700,000
Project AH	1,750,000
Project AI	1,800,000
Project AJ	1,850,000
Project AK	1,900,000
Project AL	1,950,000
Project AM	2,000,000
Project AN	2,050,000
Project AO	2,100,000
Project AP	2,150,000
Project AQ	2,200,000
Project AR	2,250,000
Project AS	2,300,000
Project AT	2,350,000
Project AU	2,400,000
Project AV	2,450,000
Project AW	2,500,000
Project AX	2,550,000
Project AY	2,600,000
Project AZ	2,650,000
Project BA	2,700,000
Project BB	2,750,000
Project BC	2,800,000
Project BD	2,850,000
Project BE	2,900,000
Project BF	2,950,000
Project BG	3,000,000
Project BH	3,050,000
Project BI	3,100,000
Project BJ	3,150,000
Project BK	3,200,000
Project BL	3,250,000
Project BM	3,300,000
Project BN	3,350,000
Project BO	3,400,000
Project BP	3,450,000
Project BQ	3,500,000
Project BR	3,550,000
Project BS	3,600,000
Project BT	3,650,000
Project BU	3,700,000
Project BV	3,750,000
Project BW	3,800,000
Project BX	3,850,000
Project BY	3,900,000
Project BZ	3,950,000
Project CA	4,000,000
Project CB	4,050,000
Project CC	4,100,000
Project CD	4,150,000
Project CE	4,200,000
Project CF	4,250,000
Project CG	4,300,000
Project CH	4,350,000
Project CI	4,400,000
Project CJ	4,450,000
Project CK	4,500,000
Project CL	4,550,000
Project CM	4,600,000
Project CN	4,650,000
Project CO	4,700,000
Project CP	4,750,000
Project CQ	4,800,000
Project CR	4,850,000
Project CS	4,900,000
Project CT	4,950,000
Project CU	5,000,000
Project CV	5,050,000
Project CW	5,100,000
Project CX	5,150,000
Project CY	5,200,000
Project CZ	5,250,000
Project DA	5,300,000
Project DB	5,350,000
Project DC	5,400,000
Project DD	5,450,000
Project DE	5,500,000
Project DF	5,550,000
Project DG	5,600,000
Project DH	5,650,000
Project DI	5,700,000
Project DJ	5,750,000
Project DK	5,800,000
Project DL	5,850,000
Project DM	5,900,000
Project DN	5,950,000
Project DO	6,000,000
Project DP	6,050,000
Project DQ	6,100,000
Project DR	6,150,000
Project DS	6,200,000
Project DT	6,250,000
Project DU	6,300,000
Project DV	6,350,000
Project DW	6,400,000
Project DX	6,450,000
Project DY	6,500,000
Project DZ	6,550,000
Project EA	6,600,000
Project EB	6,650,000
Project EC	6,700,000
Project ED	6,750,000
Project EE	6,800,000
Project EF	6,850,000
Project EG</	

SHEET TITLE	NUMBER
ABOLITION OF THE CITY OF AN	

ARCHITECTURAL SITE PLAN

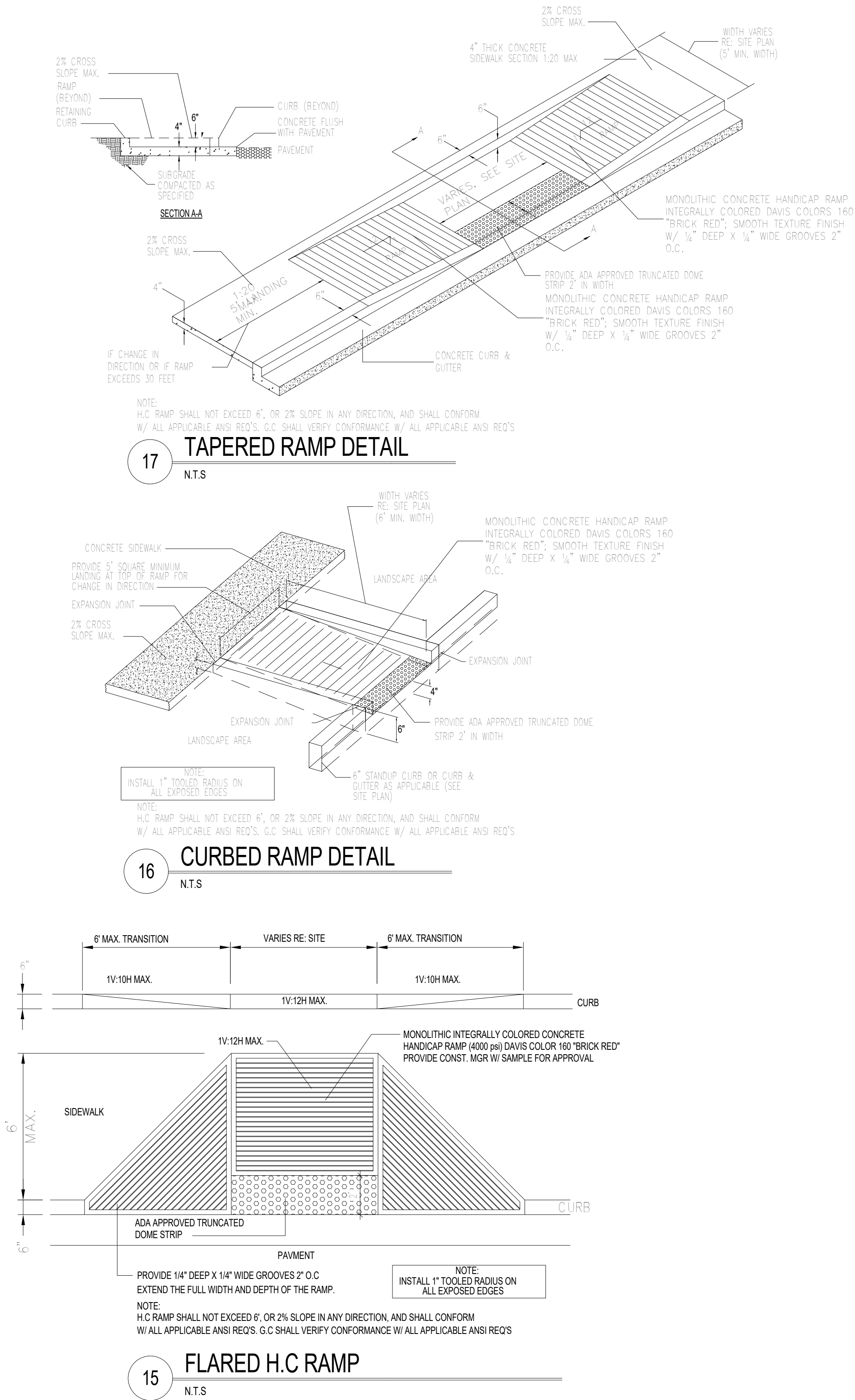


MODULUS ARCHITECTS

100 SUN AVENUE NE SUITE 600
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498
TOLL FREE 1-866-224-2161

REV	DATE	BY	REVISION
1	5/20/2022		CITY COMMENTS & COORD.
2	6/22/2022		CITY COMMENTS & COORD

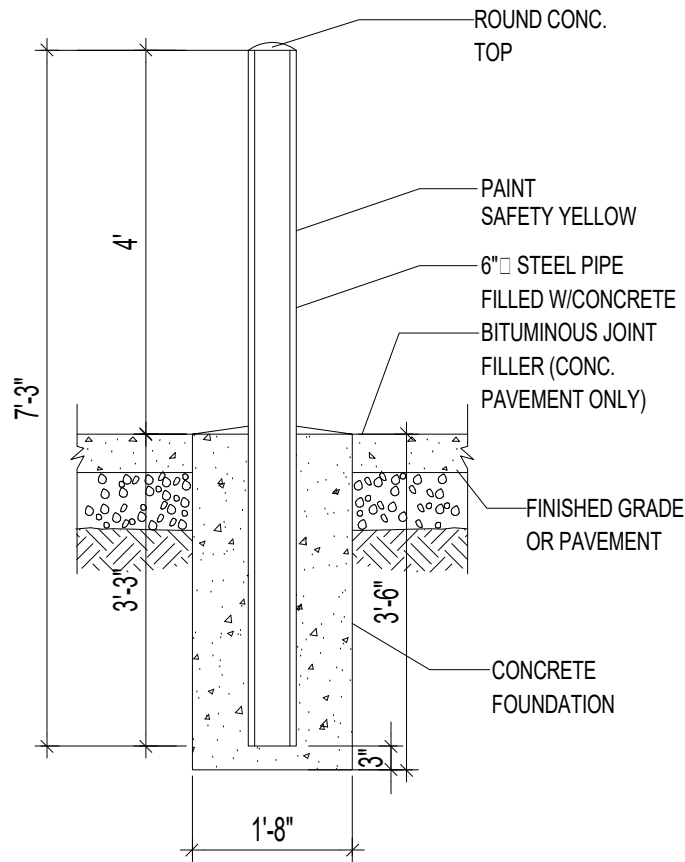
DATE 5/11/2022	SHEET G3A
SCALE:	



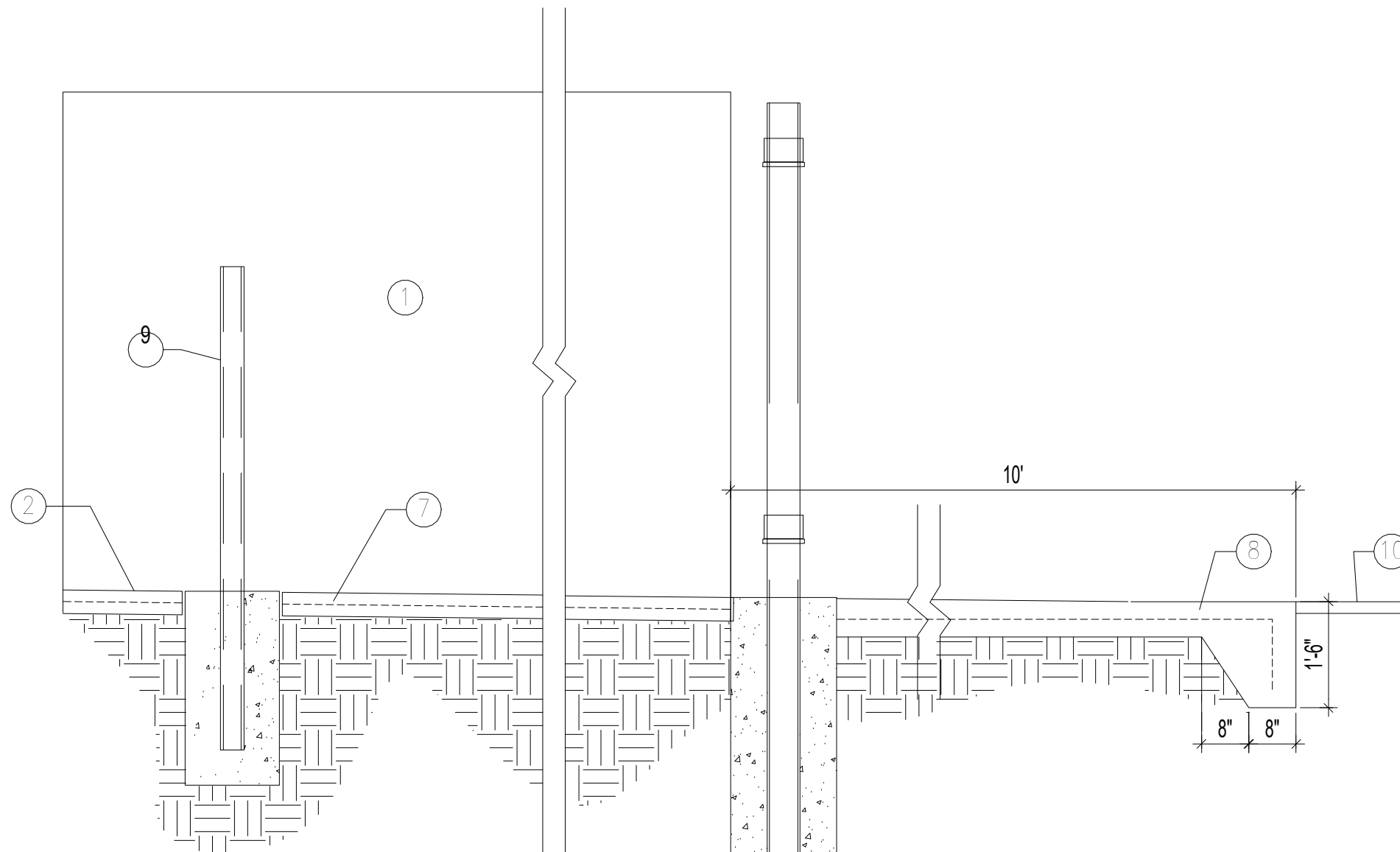
TRAFFIC CIRCULATION
LAYOUT APPROVED

Ernest Arriaga
Signed

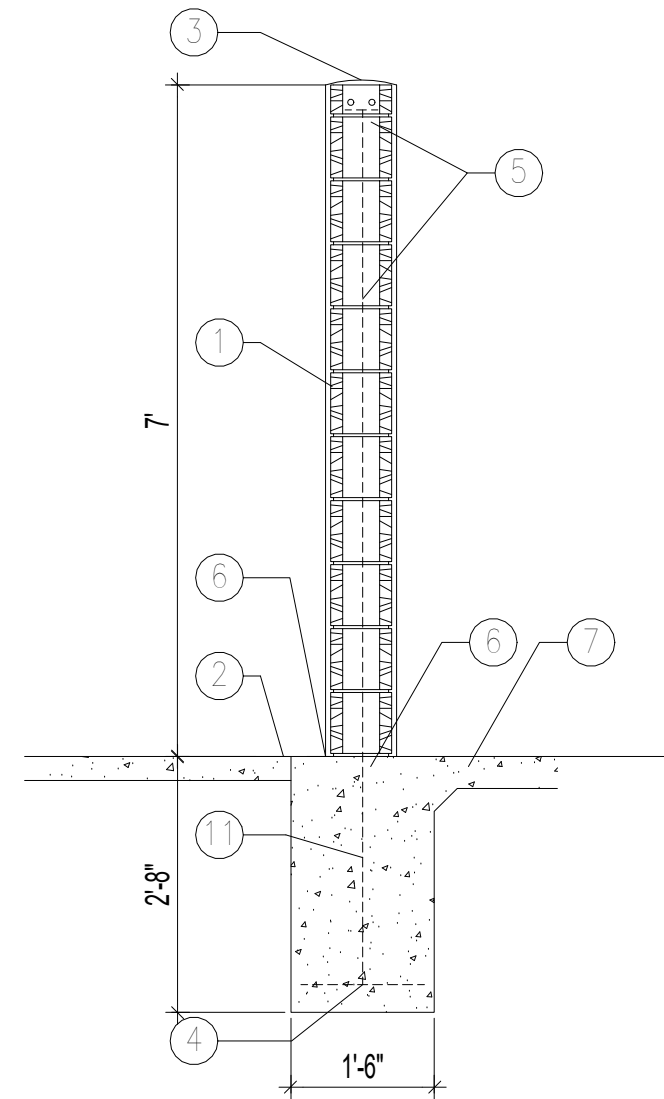
7/21/2022
Date



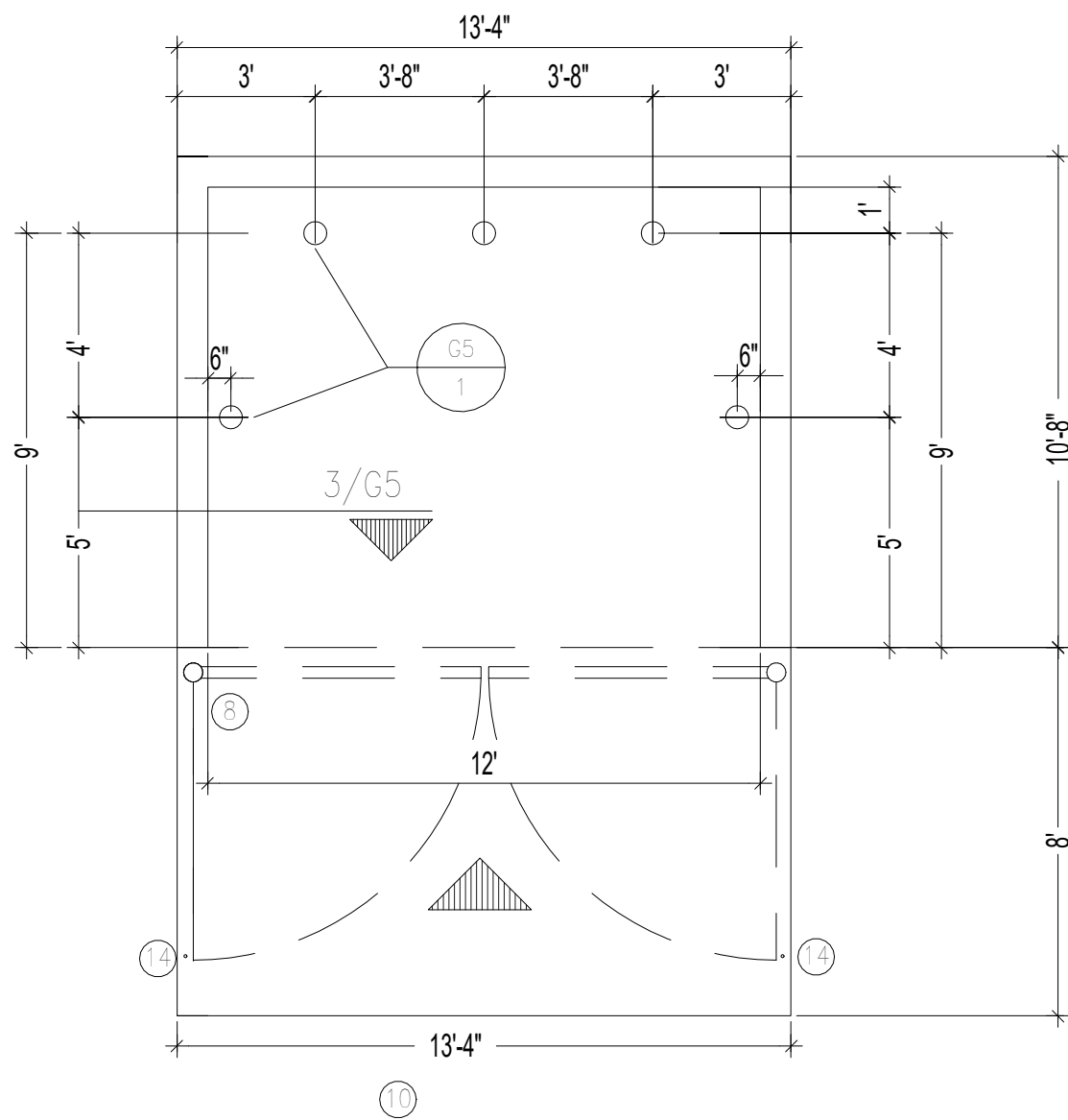
1 BOLLARD DETAIL
N.T.S.



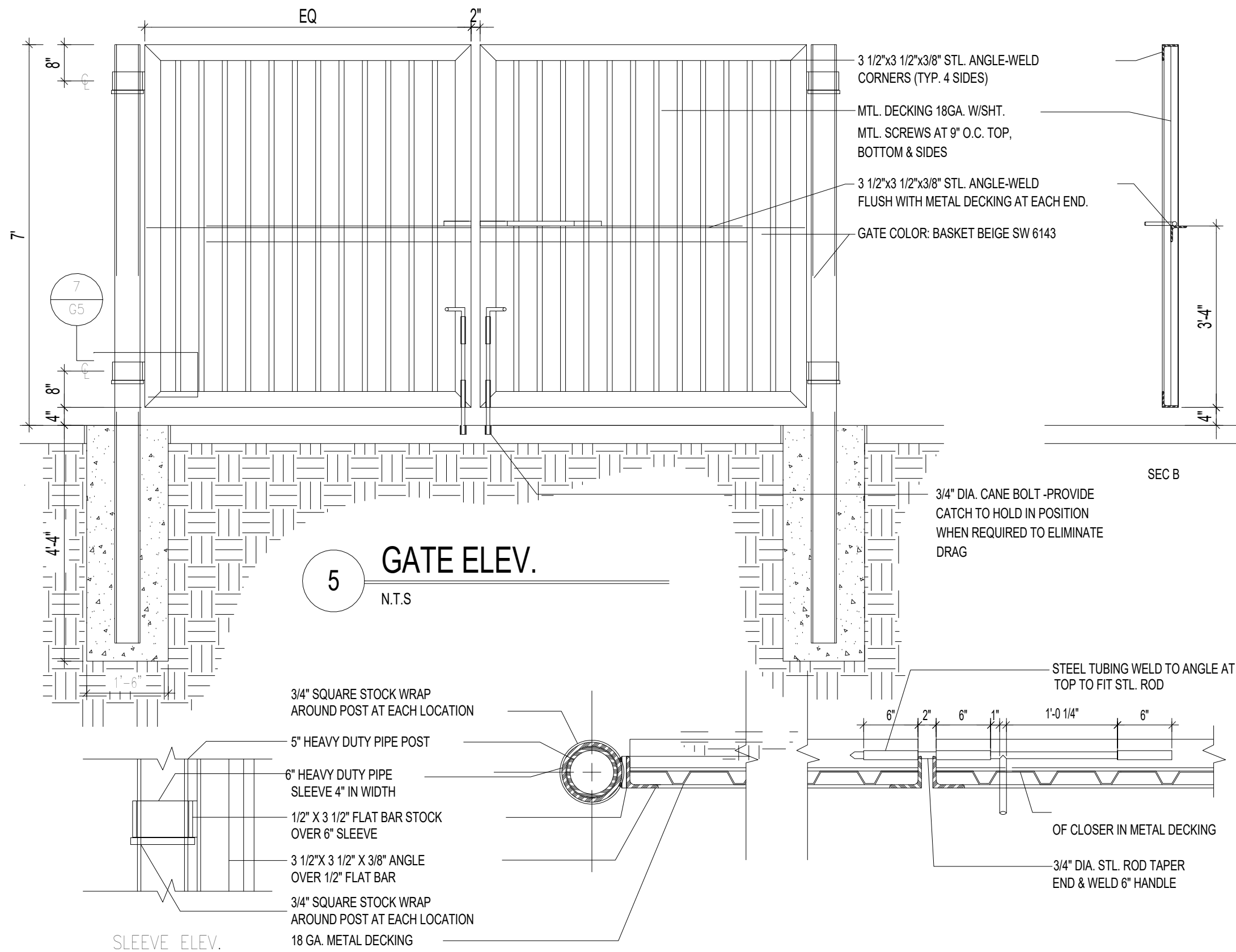
2 DUMPSTER SEC.
N.T.S.



3 DUMPSTER SEC.
N.T.S.



4 DUMPSTER PLAN
N.T.S.



5 GATE ELEV.
N.T.S.

SLEEVE ELEV.

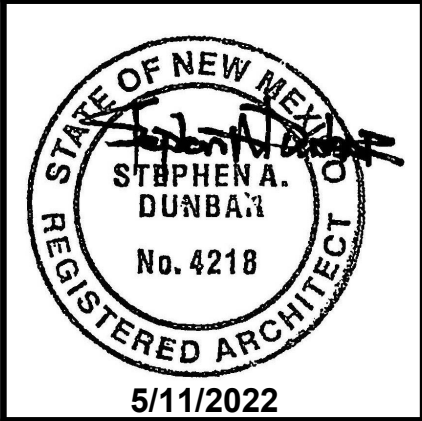
7 GATE POST/SLIDE BOLT DETAIL
N.T.S.

- KEYED NOTES
- 1 8" CMU WALL WITH 2 COAT SYN. STUCCO SYSTEM. COLOR TO MATCH BLDG. BASE.
 - 2 FINISH GRADE.
 - 3 SLOPE STUCCO CAP.
 - 4 #4 BARS CONT. @ BOTTOM OF FOOTING #4 @ 16" O.C. ACROSS BOTTOM OF FOOTING.
 - 5 2-#5 BARS @ TOP KNOCK-OUT BLOCK BOND BEAM. CONTINUOUS: #5 BARS @ 32" O.C. VERTICAL. GROUT REINFORCED CELLS, DURA-WALL @ 16" O.C. HORIZONTAL.
 - 6 1/2" EXPANSION JOINT MATERIAL.
 - 7 6" CONCRETE SLAB 4000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 WWM.
 - 8 6" CONCRETE APRON 4000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 WWM W/ TURNDOWN EDGE.
 - 9 6" CONCRETE FILLED PIPE IN 16" DIA. X 2'-6" DEEP CONC. FOOTING. PAINT TO MATCH STUCCO FINISH.
 - 10 ASPHALT PAVING.
 - 11 GROUT ALL CELLS SOLID BELOW GRADE. TYPICAL.
 - 12 2" VENT TO 4" ABOVE TOP OF ENCLOSURE WALL. PROVIDE BREATHABLE VENT CAP.
 - 13 CATCH BASIN ZURN Z-697 6" X 20" SANI-FLO CATCH BASIN. FABRICATED #16 GAGE TYPE 304 STAINLESS STEEL. BASIN WITH BOLTED FLANGED CONNECTION COMPLETE WITH FLANGE GASKET. PROVIDE SPECIAL DUTY, CLASS "E" 2-862-DGE, DUCTILE IRON SLOTTED GRATE, AND SEDIMENT BASKET.
 - 14 PROVIDE PIN HOLE TO CATCH CANE BOLT IN OPEN POSITION.

6 ENCLOSURE NOTES
N.T.S.

CONSTRUCTION DOCUMENTS

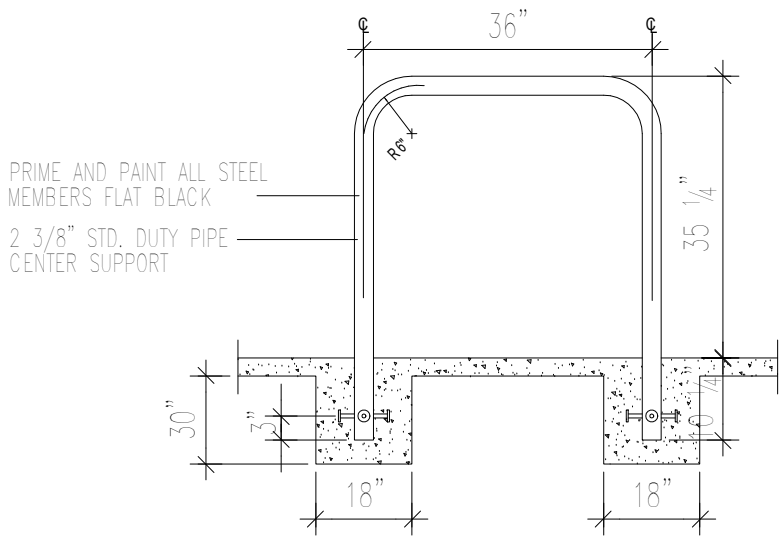
PROJECT TITLE CHAMPION XPRESS CARWASH	PROJECT MANAGER 5101 LOMAS BLVD NE ALBUQUERQUE, NM, 87110	JOB NO. PROJECT Number	DRAWN BY: 5101 LOMAS BLVD NE ALBUQUERQUE, NM, 87110
DATE 5/11/2022	SCALE:	SHEET G5	SHEET TITLE SITE DETAILS



MODULUS ARCHITECTS

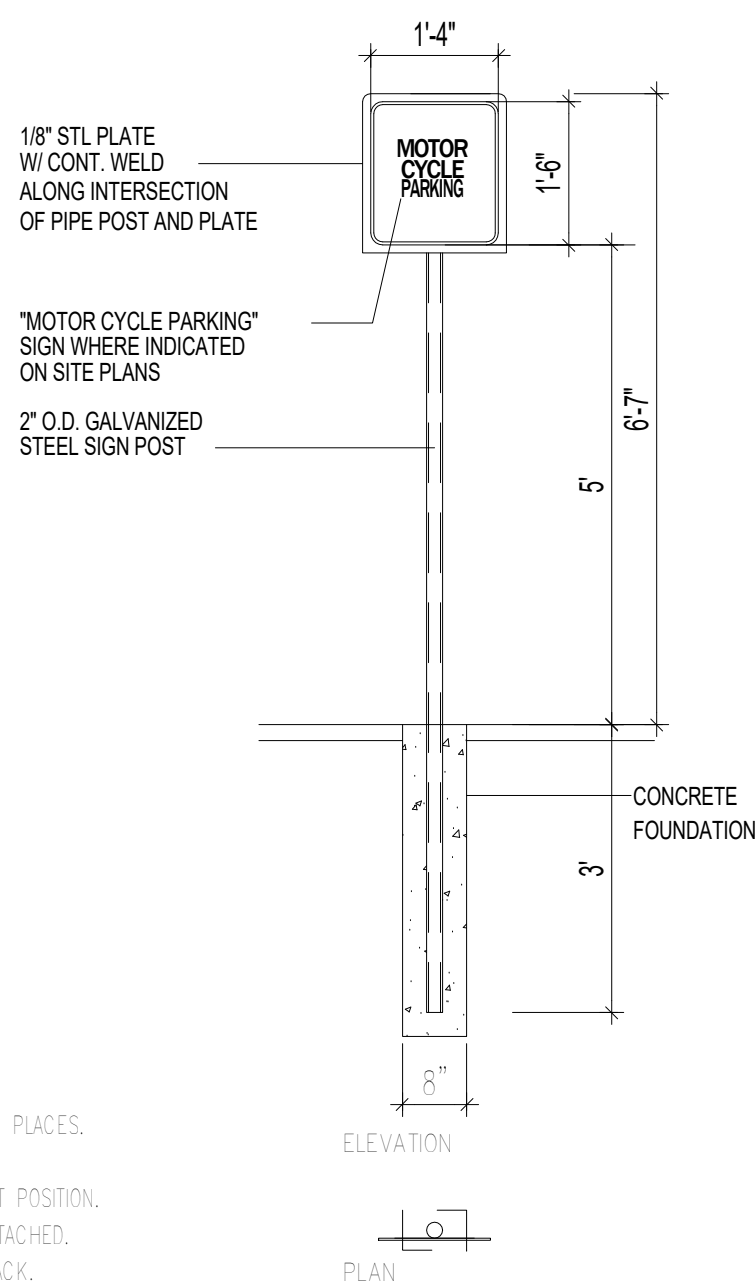
100 SUN AVENUE NE SUITE 600
ALBUQUERQUE, NEW MEXICO 871109
PHONE (505) 338-1499 FAX (505) 338-1498
TOLL FREE 1-866-224-2161

REV	DATE	BY	REVISION

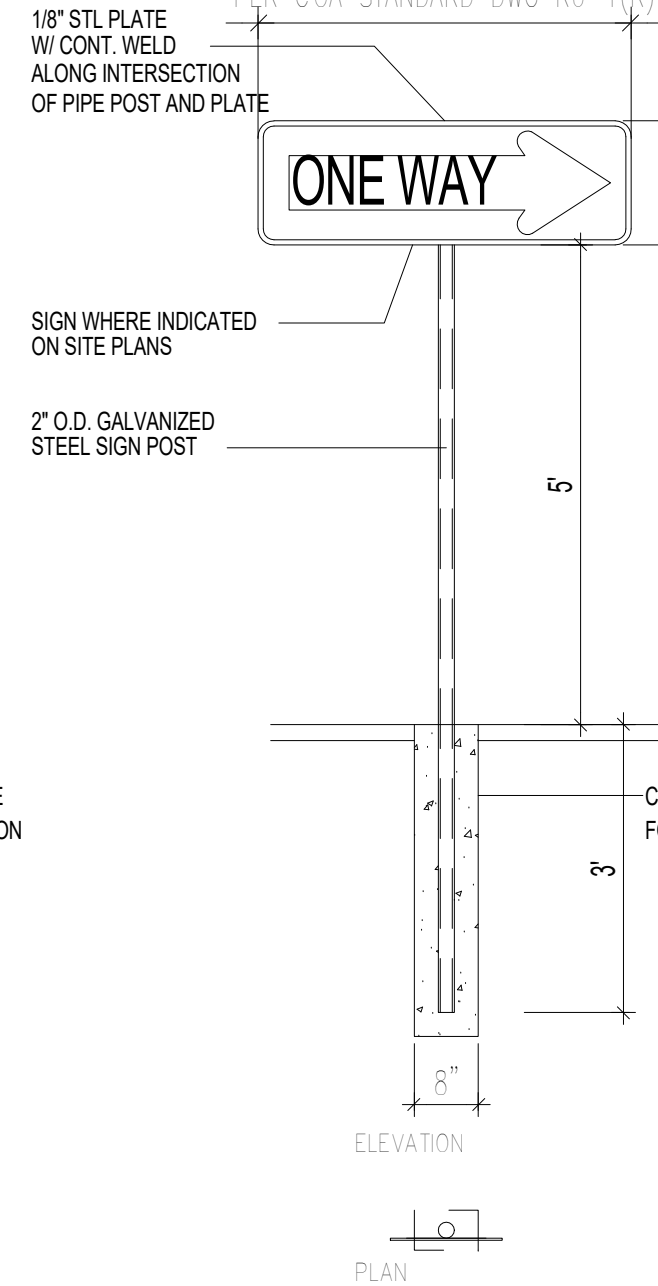


NOTE:
BICYCLE RACK SHALL BE DESIGN ACCORDING TO THE FOLLOWING GUIDELINES:
A. THE RACK SHALL BE MINIMUM 30" TALL AND 18" WIDE.
B. THE BICYCLE FRAME SHALL BE SUPPORTED HORIZONTALLY AT 2 OR MORE PLACES.
C. COMB/TOASTER RACKS ARE NOT ALLOWED.
D. THE RACK SHALL BE DESIGNED TO SUPPORT THE BICYCLE IN AN UPRIGHT POSITION.
E. THE RACK ALLOWS VARYING BICYCLE FRAME SIZES AND STYLES TO BE ATTACHED.
F. THE USER IS NOT REQUIRED TO LIFT THE BICYCLE ONTO THE BICYCLE RACK.
G. EACH BICYCLE PARKING SPACE IS ACCESSIBLE WITHOUT MOVING ANOTHER BICYCLE.

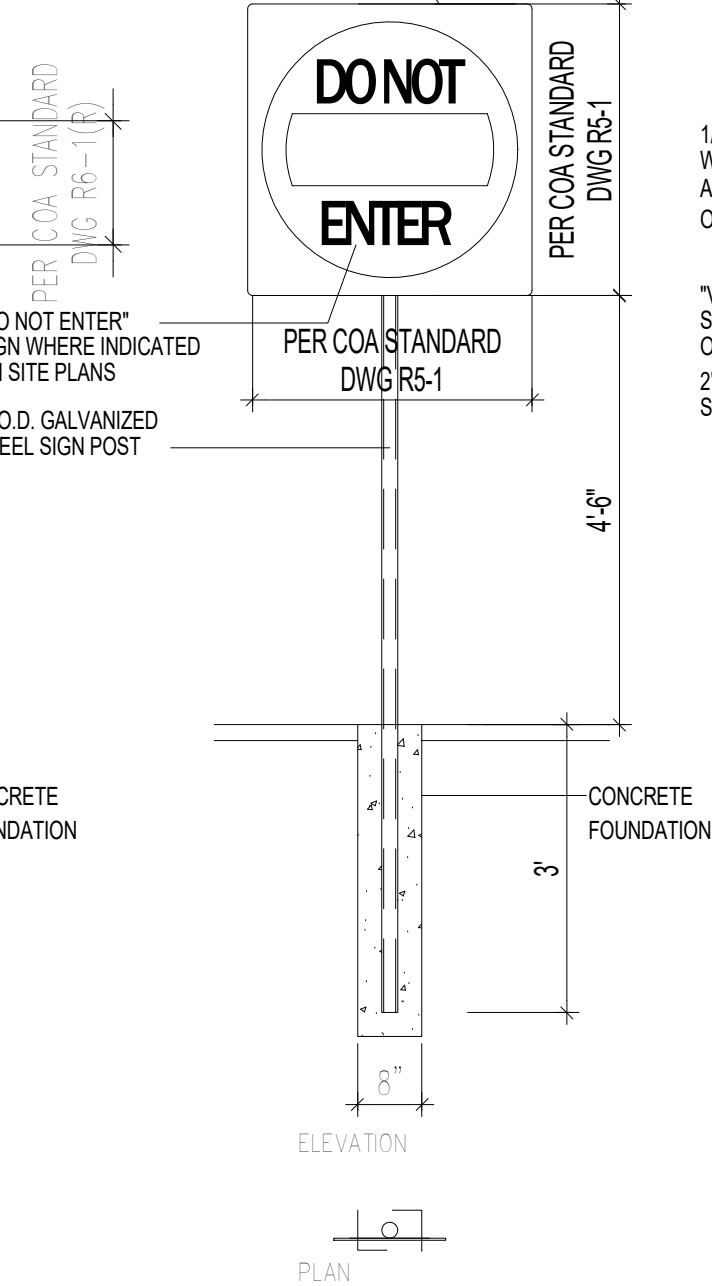
13 BIKE RACK
N.T.S.



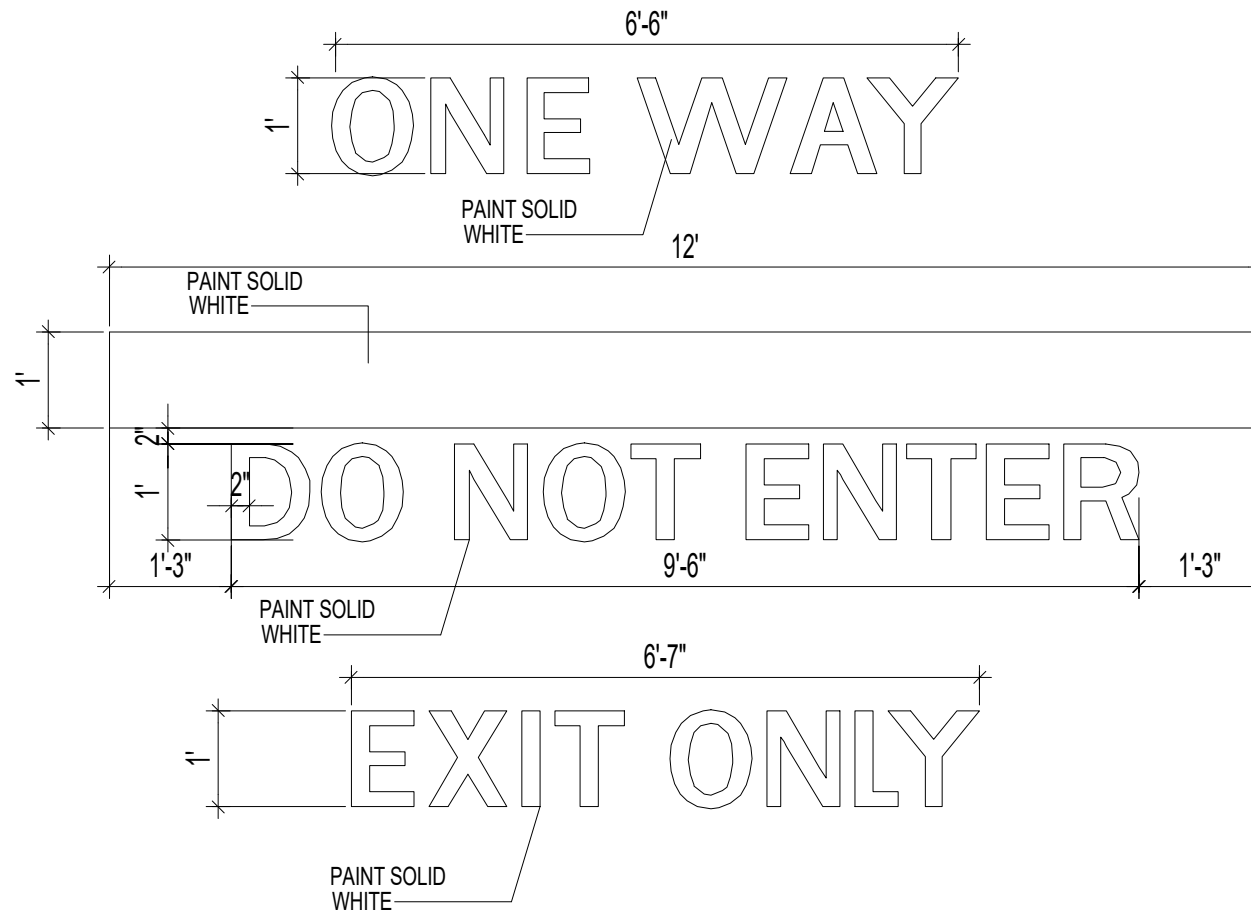
12 MISC. SIGNAGE
N.T.S.



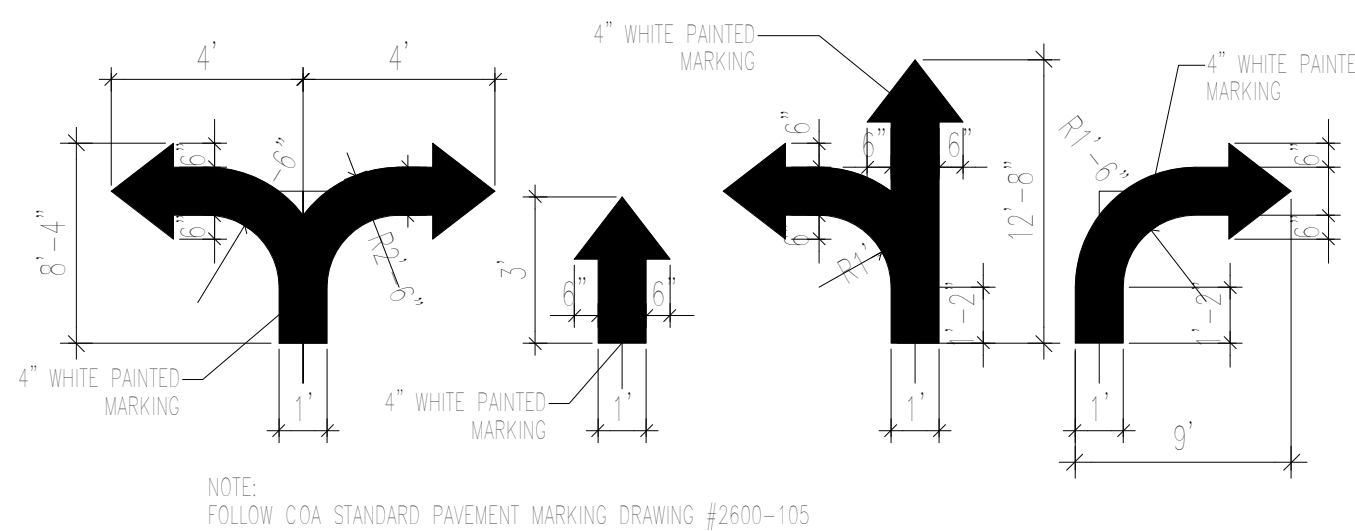
12A MISC. SIGNAGE
N.T.S.



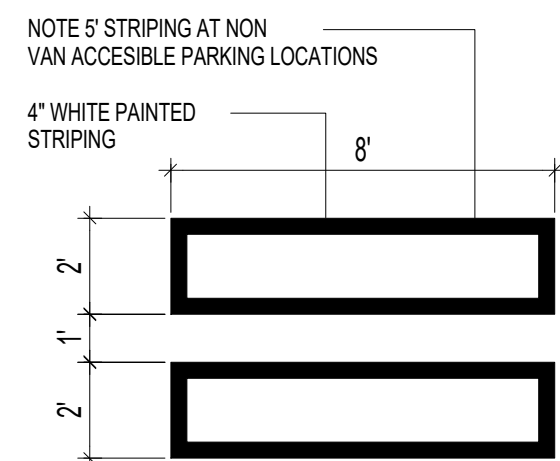
11 H.C SIGNAGE
N.T.S.



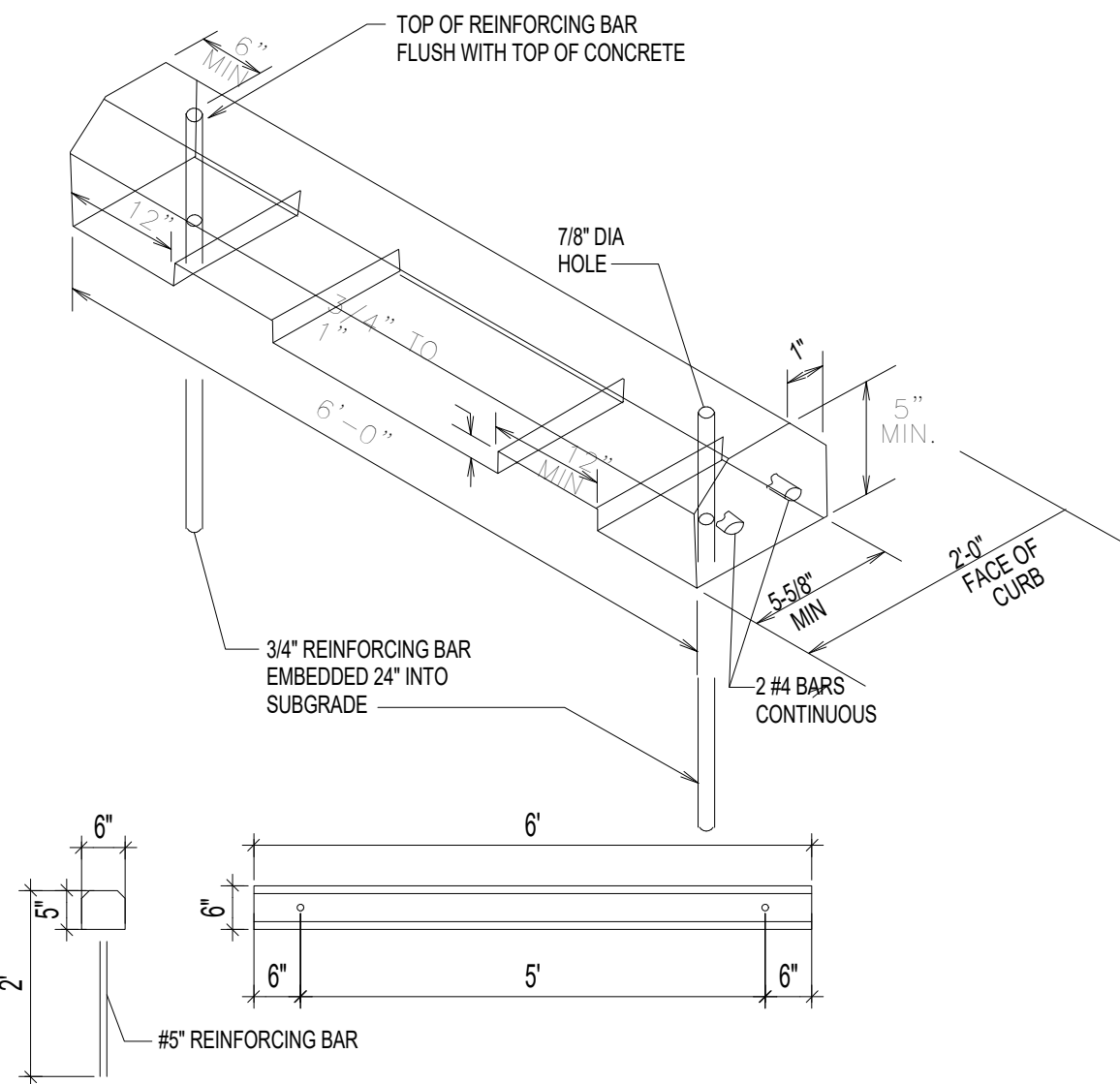
7 SITE DIRECTIONAL PAINT DETAIL
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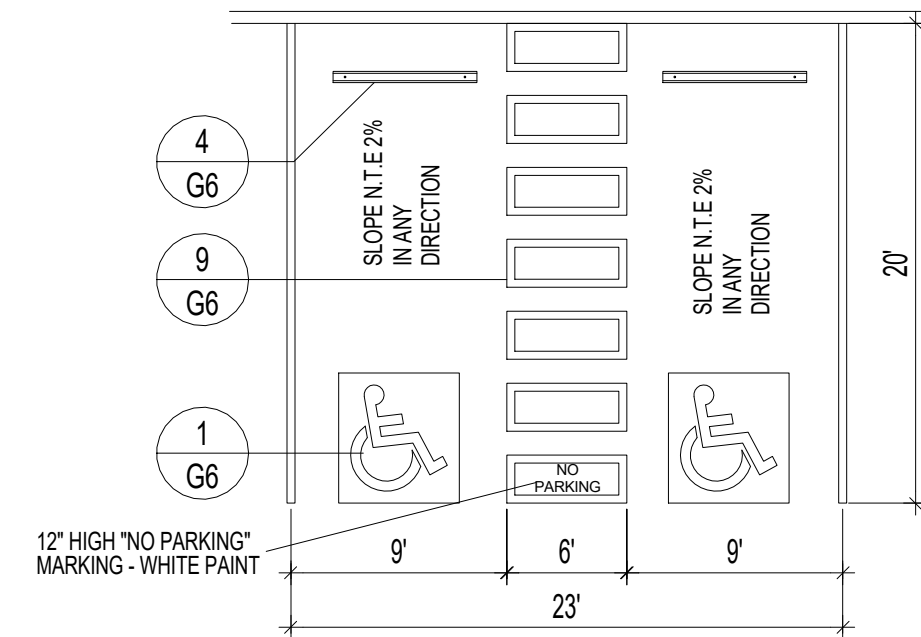
8 SITE DIRECTIONAL PAINT DETAIL
N.T.S.



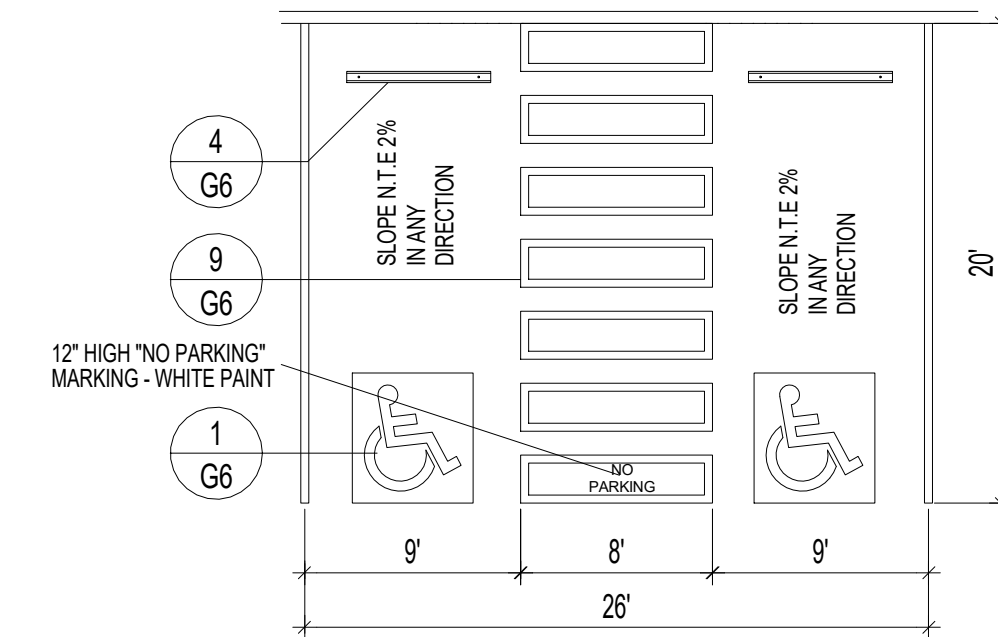
9 H.C PARKING-WALK PAINT DETAIL
N.T.S.



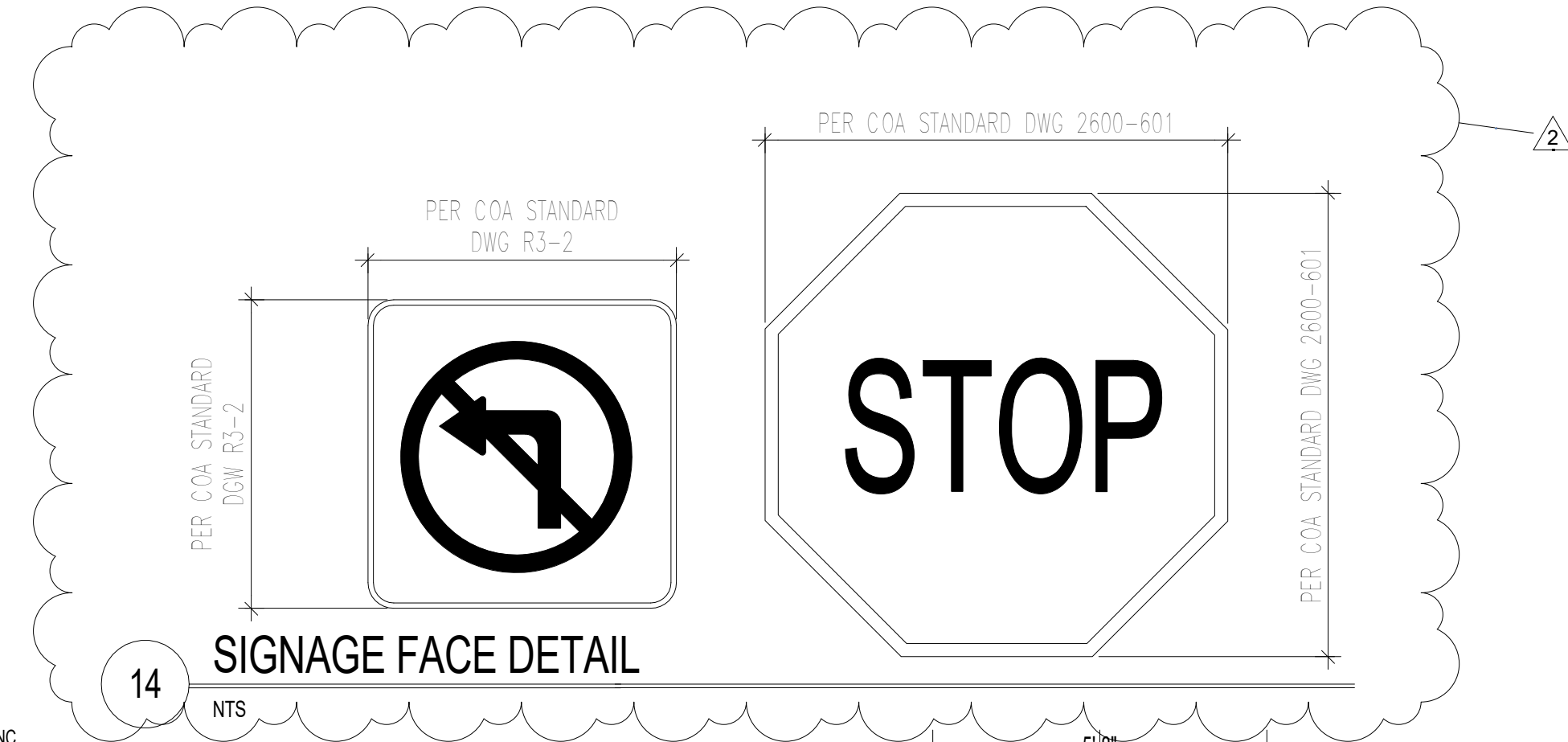
4 WHEEL STOP
N.T.S.



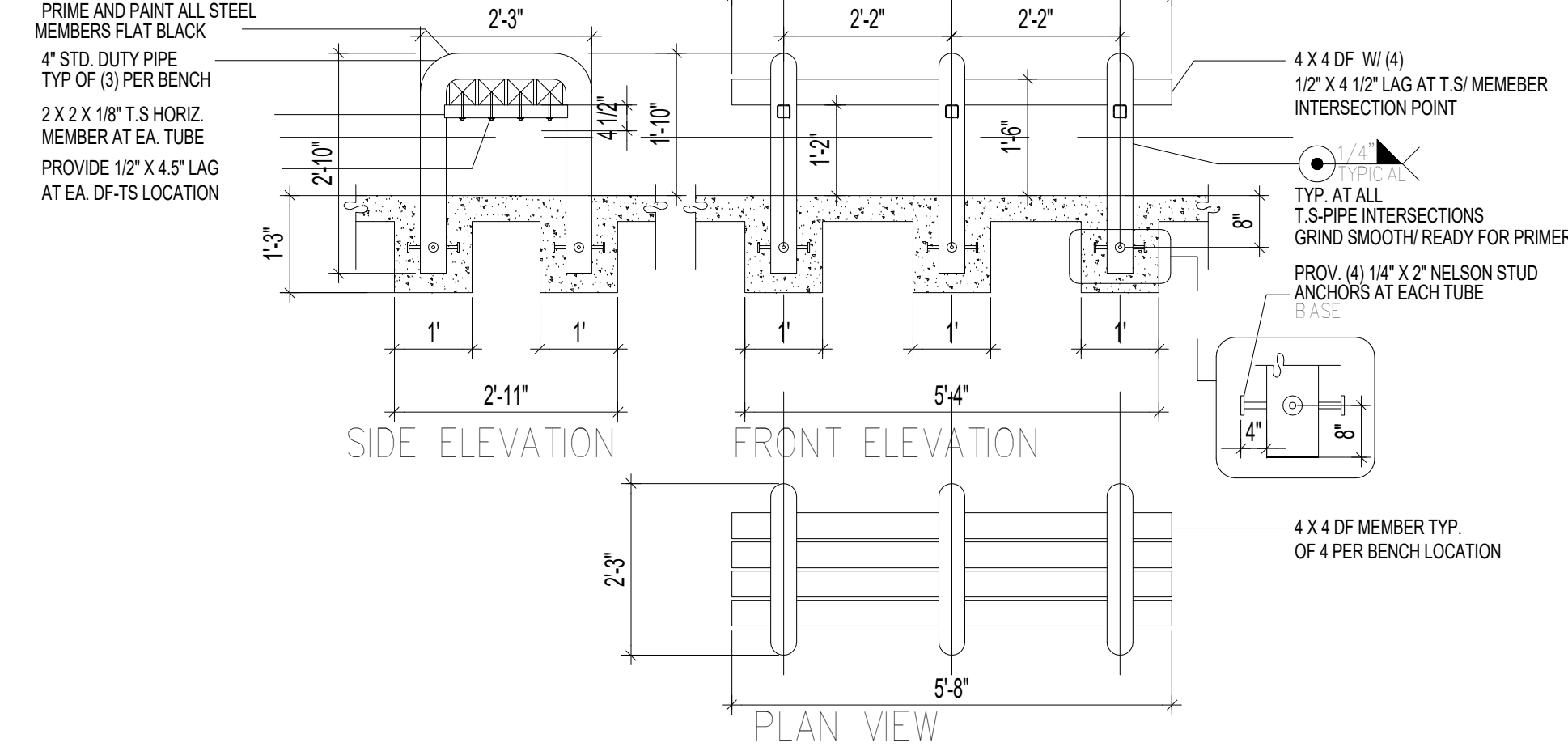
3 H.C PARKING PLAN DETAIL
N.T.S.



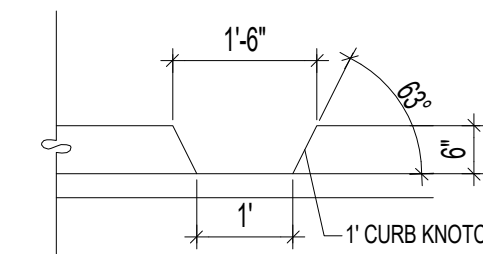
2 H.C PARKING PLAN DETAIL (VAN ACCESSIBLE)
N.T.S.



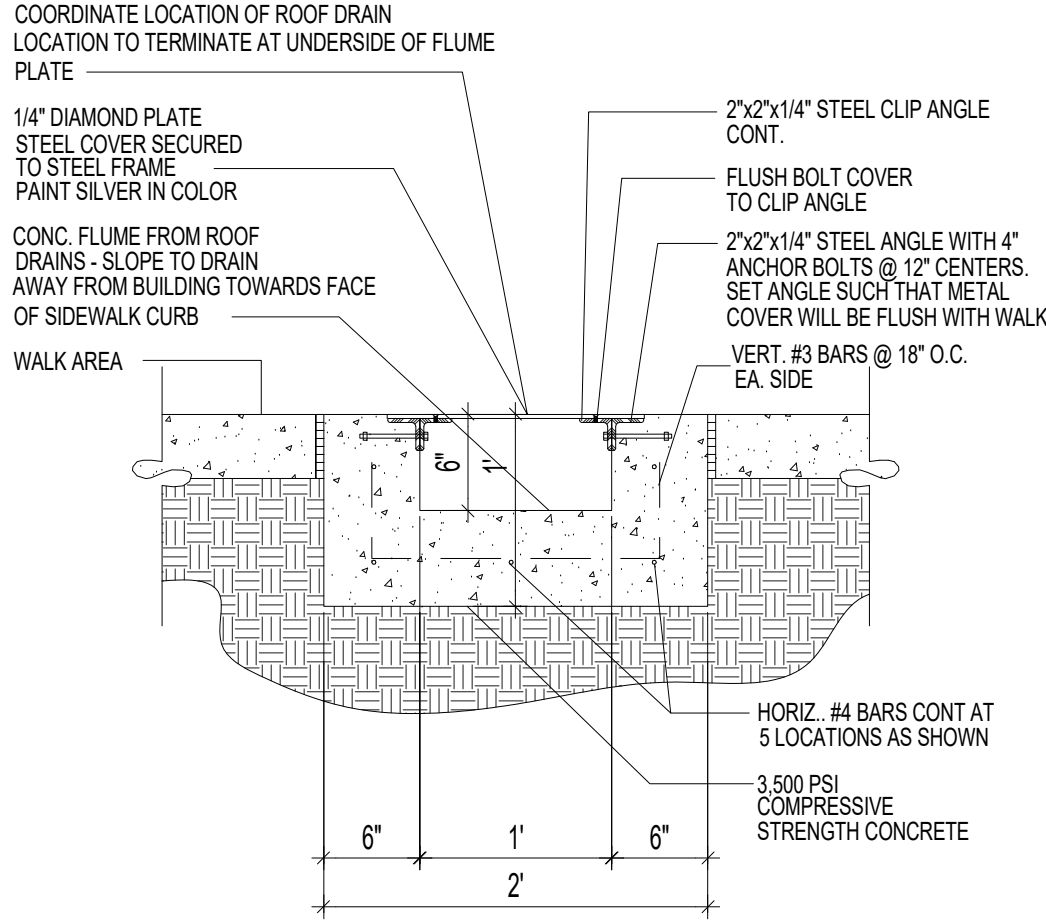
14 SIGNAGE FACE DETAIL
N.T.S.



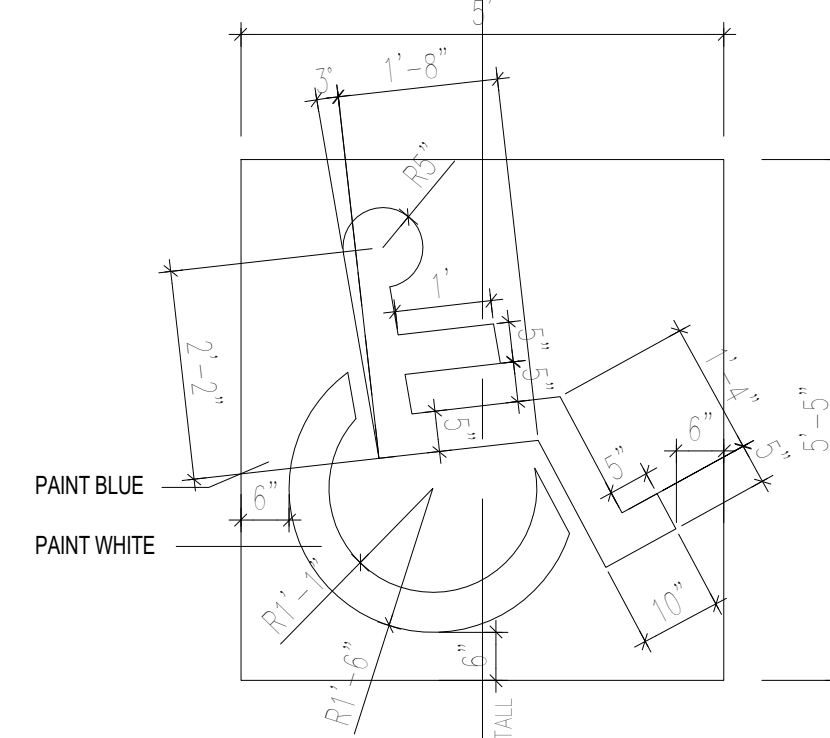
10 BENCH DETAIL
N.T.S.



6 CURB NOTCH
N.T.S.



5 CONCRETE FLUME DETAIL
N.T.S.



1 H.C SIGNAGE
N.T.S.

CONSTRUCTION DOCUMENTS

PROJECT TITLE
CHAMPION XPRESS CARWASH

5101 LOMAS BLVD NE ALBUQUERQUE, NM, 87110

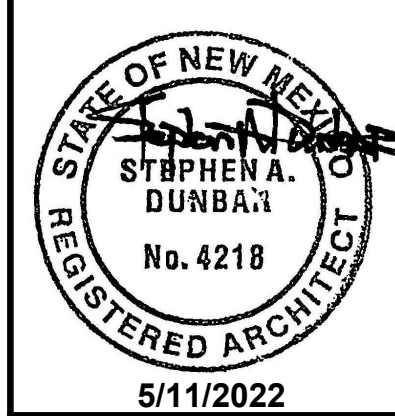
PROJECT MANAGER
JOB NO.
PROJECT
Number

DRAWN BY:
SHEET TITLE
G6

DATE
5/11/2022

SCALE:

SHEET
G6



MODULUS ARCHITECTS

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