

# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services**

May 29, 2015

Mr. Stephen Dunbar  
Modulus Architects  
220 Copper NW  
Albuquerque, NM

**Re: Starbucks**  
**4407 Lomas Blvd, NE**  
**Traffic Circulation Layout**  
Engineer's/Architect's Stamp dated 5-29-15 (J17-D012)

Dear Mr. Dunbar,

The TCL submittal received 5-29-15 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Racquel M. Michel, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

c: File  
CO Clerk



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: STARBUCKS Building Permit #: \_\_\_\_\_ City Drainage #: J17-0012

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: TRACT A-1 Joseph L. Dailey's SUBDIVISION

City Address: 4907 Iomas Blvd N.E.

Engineering Firm: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Owner: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Architect: MODULUS ARCHITECTS Contact: \_\_\_\_\_

Address: 270 COPPER AVE STE 350

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Surveyor: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Contractor: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

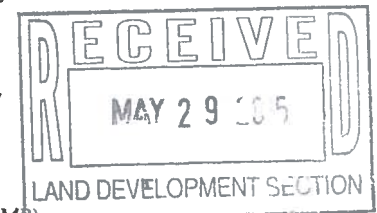
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY)

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY)



WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_

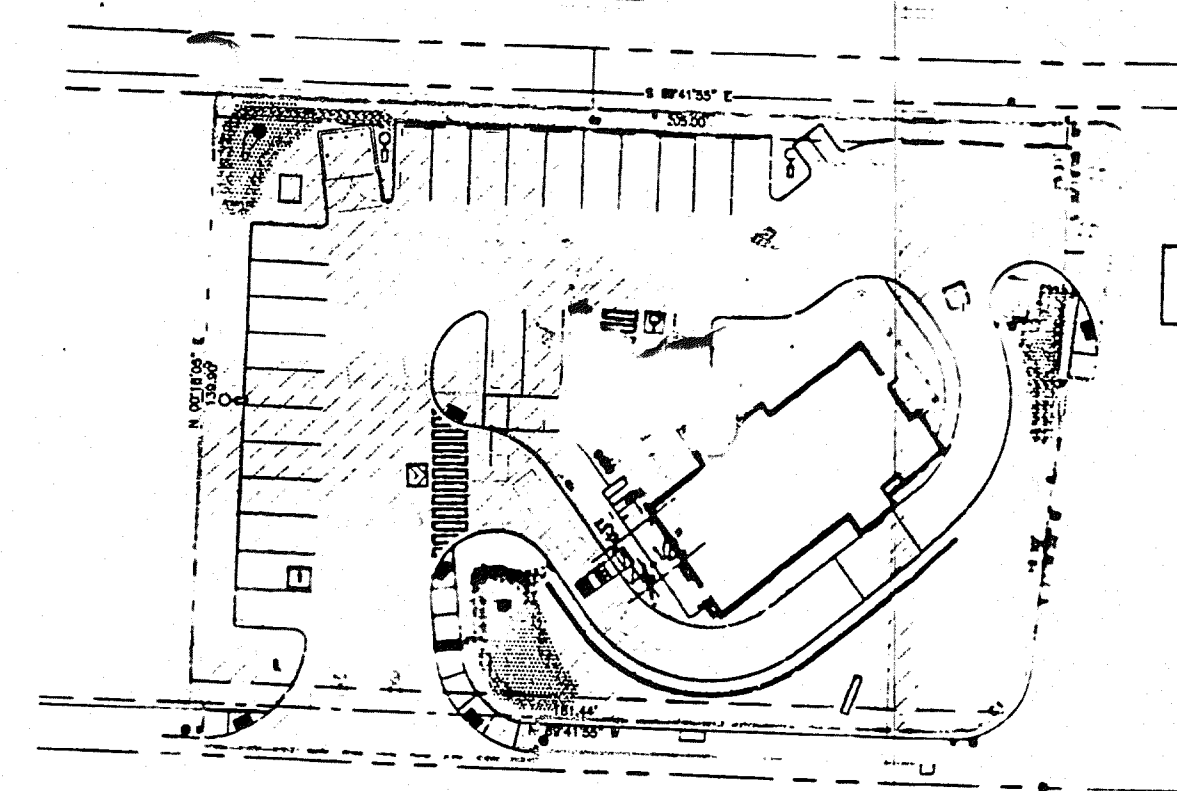
Yes \_\_\_\_\_ No \_\_\_\_\_ Copy Provided

DATE SUBMITTED: 5/29/15 By: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

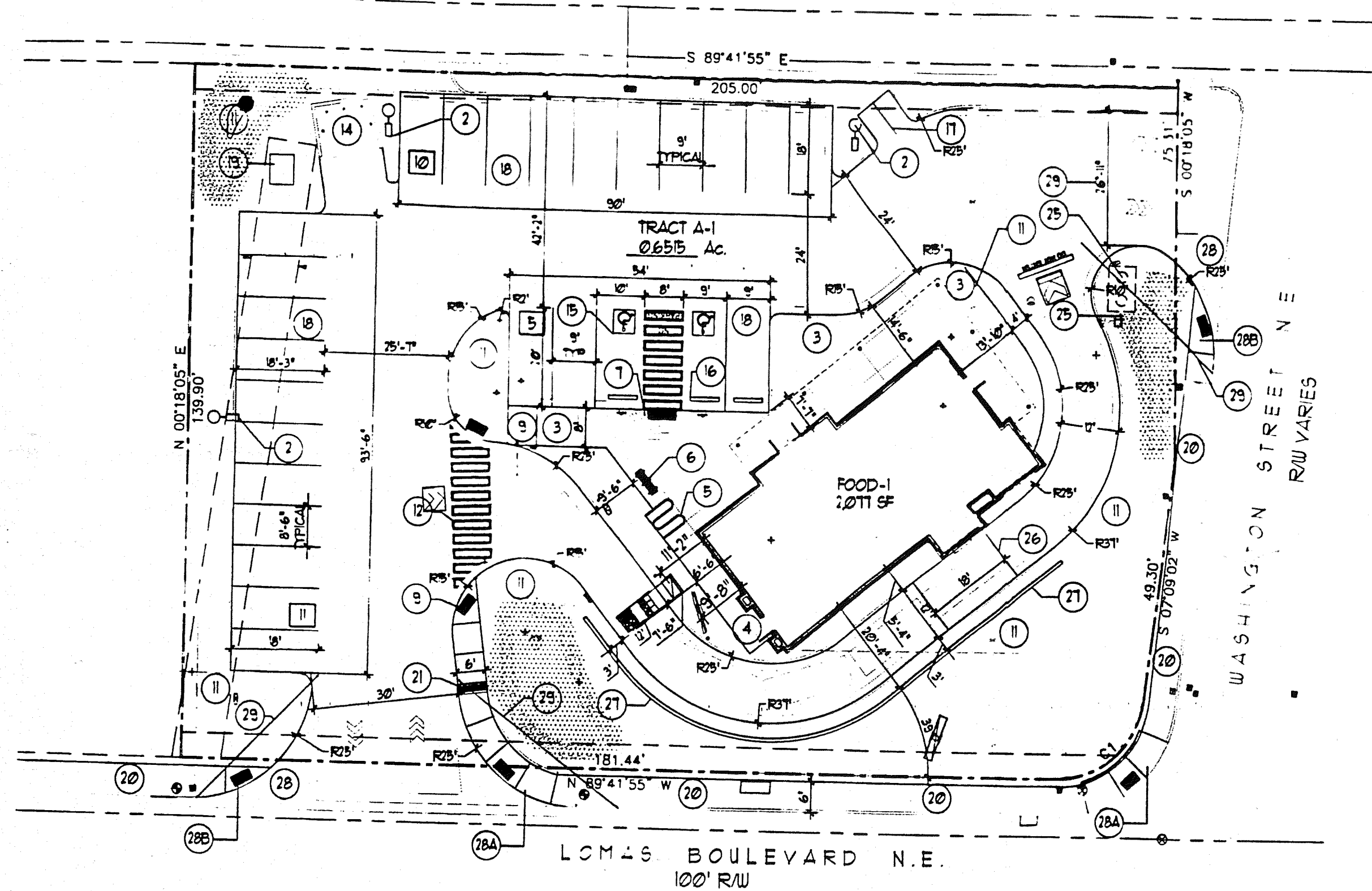




PLAN PHASE DIAGRAM

SCALE: 1"=40'

DASHED LINE INDICATES WORK PHASE AREA



SITE PLAN FOR BUILDING PERMIT

SCALE: 1"=40'



REV-2 TENANT SITE EQUIPMENT OVERLAY

TRAFFIC CIRCULATION LAYOUT APPROVED

*[Signature]* 5/29/15  
Signed Date

Public Infrastructure shown on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

SITE DATA TABLE	FOOD-1
LEGAL DESCRIPTION	
TRACT A-1	
JOSEPH L. DAILEY'S SUBDIVISION	
PROPOSED USES:	FOOD-1
LOT AREAS:	655 AC OR 28,379 SF
EXISTING ZONING:	C-2
BUILDING SIZE:	2,030 SF
TOTAL PARKING REQ:	2,030/100 = 20 REQ SPACES
TOTAL PARKING PROVIDED:	26 SPACES
HC PROVIDED:	2 HC (INCLUDING 2 VAN ACCESSIBLE)
HC REQUIRED:	2 HC SPACES
BIKE SPACES PROVIDED:	5 BIKE SPACES
BIKE SPACES REQUIRED:	2 BIKE SPACES
MOTORCYCLE SPACES PROVIDED:	2 BIKE SPACES
MOTORCYCLE SPACES REQUIRED:	1 BIKE SPACES

KEYED NOTE:

- 8' OR AS NOTED WITHIN SITE PLAN PEDESTRIAN CROSSWALK RE: DETAIL 6/A11
  - LIGHT POLE LOCATION RE: DETAIL 3/A11
  - CONC. SIDEWALK ADJACENT BLDG RE: DET 8/A11 RE: SITE PLAN FOR JOINT LAYOUT
  - CONC. SIDEWALK ADJACENT BLDG RE: DET 7/A11 RE: SITE PLAN FOR JOINT LAYOUT
  - INDICATES BIKE RACK LOCATION (3 BIKE CAPACITY) RE: DETAIL 13/A12
  - BENCH LOCATION RE: DETAIL 10/A12
  - HANDICAP RAMP RE: 15/A11
  - HANDICAP RAMP RE: 16/A11
  - HANDICAP RAMP RE: 5/A11
  - HANDICAP RAMP RE: 17/A11
  - INDICATES LANDSCAPE PLANTING AREA G.C. TO PROVIDE/COORDINATE REQ. SLEEVING FOR EA. WELL LOCATION RE: LANDSCAPE PLAN FOR INFO
  - DRIVE AISLE PAINT DETAIL RE: DET 9/A12
  - 6" HIGH CONC. ISLAND RE: SITE GRADING PLAN FOR INFO
  - REFUSE ENCLOSURE RE: DETAIL 4/A13
  - HC PARKING STALL RE: DET 2/A12
  - HC PARKING STALL RE: DET 3/A12
  - WHEELSTOP RE: DET 4/A12
  - INDICATES PROPOSED MOTORCYCLE PARKING STALL LOCATION RE: SITE PLAN FOR LOCATIONS. RE: DET. 1/A12
  - PAINTED STRIPPING/SIGNING AS INDICATED ON SITE PLAN ALL STANDARD PARKING STALL STRIPPING SHALL BE WHITE
  - PROPOSED TRANSFORMER LOCATION
  - EXISTING SIDEWALK TO REMAIN
  - CONCRETE FLUME DETAIL RE: DETAIL 6/A12 FOR INFO
  - NOT USED
  - NOT USED
  - BOLLARD PAINTED SAFETY YELLOW RE: DET. 1/A13
  - 1500 GALLON CONC. TRAFFIC RATED GREASE INTERCEPTOR LOCATION RE: DET. 11/A13
  - 3500 PSI 6" CONCRETE DRIVE PAD AREA REINFORCED WITH 4" AT 12" O.C. EA. WAY
  - 8" CMU GARDEN WALL RE: DET/ 12/A13
  - INDICATES NEW DRIVE CUT AND HC RAMPS PER CITY STANDARD DETAIL 7/425
  - INDICATES NEW ADA RAMP PER CITY STANDARD DETAIL 7/440-2441
  - INDICATES NEW ADA RAMP PER CITY STANDARD DETAIL 7/426
  - INDICATES CLEAR SITE TRIANGLE NOTE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH THE CLEAR SITE REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FOOT TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA
- NOTE: WORK WITHIN PUBLIC ROW REQUIRES A WORK ORDER WITH DRC APPROVED PLANS

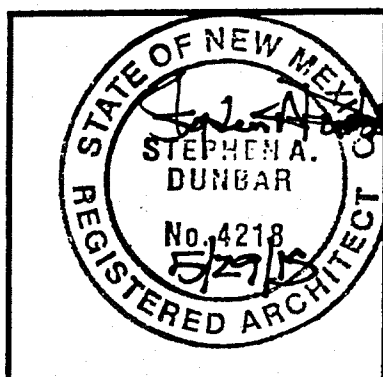
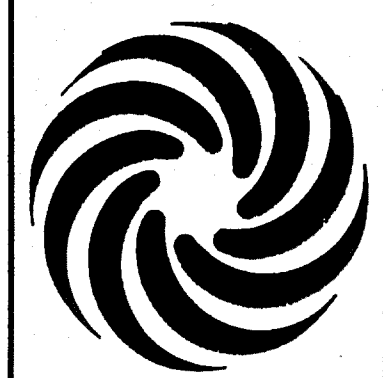
REVISION

BY

DATE

REV

**MODULUS ARCHITECTS**  
220 COPPER AVE. N.W. SUITE 350  
ALBUQUERQUE, NEW MEXICO 87102  
PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE  
STARBUCKS  
4801 LOMAS BLVD. N.E.  
ALBUQUERQUE NEW MEXICO

PROJECT MANAGER  
STEPHEN DUNBAR, AIA

JOB NO.  
XXXXX

DRAWN BY  
JS

SHEET TITLE  
SITE PLAN FOR BUILDING PERMIT

DATE  
3/16/15

SCALE  
AS NOTED

SHEET  
BPI

