

VICINITY MAP
NOT TO SCALE

GENERAL NOTES

- Bearings are New Mexico State Plane Grid Bearings Central Zone - NAD 83
- Distances are ground.
- Distances along curved lines are arc lengths.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ().
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- U.C.L.S. Log Number 2009331332
- City of Albuquerque Zone Atlas Page: J-16-Z

SUBDIVISION DATA

Total number of existing Lots: 6
Total number of new Lots created: 1
Gross Subdivision acreage: 0.3883 acres

SHEET INDEX

SHEET 1 - General Notes, Approvals, Surveyor Certification
SHEET 2 - Legal Description, Acknowledgement
SHEET 3 - Existing Tract and Easements

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

1016058-43208
1016058-43209
Express Wheels Inc / B3 Partnership
On 3/19/2010
Bernalillo County Treasurer Date

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- Public Service Company of New Mexico for installation, maintenance, and service of underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical service.
- New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- QWest Corporation for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to ground pedestals and closures.
- Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DISCLAIMER

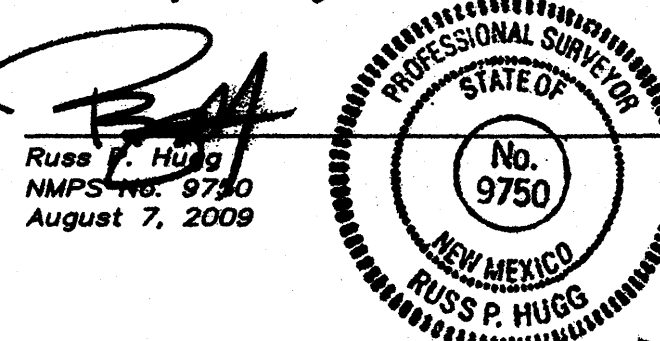
In approving this plat, Public Service Company of New Mexico and New Mexico Gas Company did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive nor release any easement or easement rights to which it may be entitled.

PURPOSE OF PLAT:

The Purpose of this plat is to combine Lots 1 thru 5 and the Easterly 1' foot of Lot 6 into one (1) lot and grant the Public Access Easement as shown hereon.

SURVEYOR'S CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my direct supervision; that it meets the Standards for Land Surveys in the State of New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.



PLAT OF LOT 1-A BLOCK 12 - BUSINESS SECTION

McDUFFIE PLACE - UNIT NO. 3

(BEING A REPLAT OF LOTS 1 THRU 5 AND THE EASTERLY 1' FOOT OF LOT 6, BLOCK 12- BUSINESS SECTION, McDUFFIE PLACE- UNIT NO. 3)

SITUATE WITHIN
SECTION 15, TOWNSHIP 10 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
AUGUST, 2009

PROJECT NUMBER: 1007951

Application Number: DRB 070277

PLAT APPROVAL

Utility Approvals:

<i>Fernando Vigil</i> Public Service Company of New Mexico	8-18-09 Date
<i>Jim Hulse</i> New Mexico Gas Company	8/17/2009 Date
<i>Greg Hunt</i> QWest Corporation	8-18-09 Date
<i>Robert Roberts</i> Comcast	8-18-09 Date

City Approvals:

<i>PHB Hart</i> City Surveyor Department of Municipal Development	8-17-09 Date
NA Real Property Division	Date
NA Environmental Health Department	Date
<i>SCS DRS</i> Traffic Engineering, Transportation Division	03/17/10 Date
<i>Allan Porter</i> ABCWUA	03/17/10 Date
<i>Christine Sandora</i> Parks and Recreation Department	3/17/10 Date
<i>Bradley L. Bingham</i> AMA/CA	3/17/10 Date
<i>Bradley L. Bingham</i> City Engineer	3/17/10 Date
<i>Bob Clark</i> DRB Chairperson, Planning Department	3/19/10 Date

DOCH 2010023300

03/19/2010 02:16 PM Page: 1 of 3
City: PLAT R-317-00 S-2010C P: 0034 M. Toulous Olivero, Bernalillo Co.

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HYDROLOGY
SECTION

SHEET 1 OF 3

SURVOTEK

Consulting Surveyors
9364 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366
Fax: 505-897-3377

PLAT OF
LOT 1-A
BLOCK 12 - BUSINESS SECTION
McDUFFIE PLACE - UNIT NO. 3
(BEING A REPLAT OF LOTS 1 THRU 5 AND THE EASTERLY 1' FOOT OF LOT 6,
BLOCK 12- BUSINESS SECTION, McDUFFIE PLACE- UNIT NO. 3)

SITUATE WITHIN
SECTION 15, TOWNSHIP 10 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

AUGUST, 2009

LEGAL DESCRIPTION

That certain parcel of land situate within Section 15, Township 10 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being and comprising all of Lots One (1) thru Five (5) and the Easterly One (1') foot of Lot 6, Block 12- Business Section McDuffie Place- Unit No. 3 as the same are shown and designated on the plat entitled "SUBDIVISION OF BLOCK 12- BUSINESS SECTION McDUFFIE PLACE- UNIT NO. 3, AN ADDITION TO THE CITY OF ALBUQUERQUE- NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico on April 1, 1950 in Plat Book B1, page 30 more particularly described using New Mexico State Plane grid bearings (NAD 83) and ground distances as follows:

BEGINNING at the Southeast corner of the parcel herein described (a concrete nail and brass disc stamped "L.S. 11770" found in place) said point being a point on the Westerly right of way line of Carlisle Boulevard N.E. and the Southeast corner of said Lot One (1) whence the Albuquerque Control Survey Monument "11-J16" bears S 01° 35' 32" E, 797.48 feet distant; Thence,

S 89° 37' 19" W, 125.64 feet along the Southerly line of said Lots One (1) thru Six (6) to the Southwest corner of the parcel herein described (a 1" iron pipe with tag stamped "L.S. 11770" found in place); Thence,

N 00° 27' 13" W, 135.66 feet to the Northwest corner of the parcel herein described (a concrete nail and brass disc stamped "L.S. 11770" found in place) said point being a point on the Southerly right of way line of Constitution Avenue N.E.; Thence Northeasterly and Southeasterly along said Southerly right of way line of Constitution Avenue N.E. for the following two (2) courses:

N 89° 19' 32" E, 95.82 feet to a point of curvature (a concrete nail and brass disc stamped "L.S. 11770" found in place); Thence,

Southeasterly, 47.32 feet on the arc of a curve to the right (said curve having a radius of 30.00 feet, a central angle of 90° 22' 51" and a chord which bears S 45° 29' 03" E, 42.57 feet) to a point of tangency on the Westerly right of way line of Carlisle Boulevard N.E. (a concrete nail and brass disc stamped "L.S. 11770" found in place); Thence,

S 00° 17' 37" E, 106.11 feet along said Westerly right of way line of Carlisle Boulevard N.E. to the Southeast corner and point of beginning of the parcel herein described.

Said parcel contains 0.3883 acres, more or less

FREE CONSENT AND DEDICATION

SURVEYED and REPLATTED and now comprising, PLAT OF LOT 1-A, BLOCK 12- BUSINESS SECTION McDUFFIE PLACE- UNIT NO. 3 (BEING A REPLAT OF LOTS 1 THRU 5 AND THE EASTERLY 1' FOOT OF LOT 6, BLOCK 12- BUSINESS SECTION, McDUFFIE PLACE- UNIT NO. 3) SITUATE WITHIN SECTION 15, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby grant the public access easement as shown hereon. Said owner(s) and proprietor(s) do hereby warrant that they hold among them, complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER(S)

Smith's Food & Drug Centers, Inc.
an Ohio Corporation

By: Steven M. Sorensen, Vice President
of Corporate Development for Smith's
Food & Drug Centers, Inc.

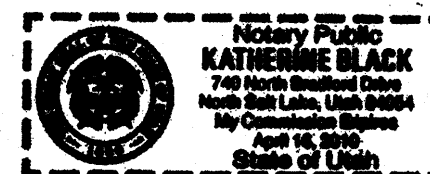
ACKNOWLEDGMENT

STATE OF Utah
COUNTY OF Salt Lake SS

This instrument was acknowledged before me on this 15th day
of August, 2009, by Steven M. Sorensen

Katherine Black
Notary Public

April 16, 2010
My commission expires



DOCUMENTS USED IN THE PREPARATION OF THIS SURVEY:

- Plat entitled "SUBDIVISION OF BLOCK 12- BUSINESS SECTION McDUFFIE PLACE- UNIT NO. 3, AN ADDITION TO THE CITY OF ALBUQUERQUE- NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico on April 1, 1950 in Plat Book B1, page 30.
- Title ReportS prepared for this property by Stewart Title Guaranty Company Commitment for Title Insurance File No. 90110620L, dated January 30, 2009 and File No. 90200170L, dated February 3, 2009.
- Warranty Deed filed in the office of the County Clerk of Bernalillo County, New Mexico on July 29, 1970 in Volume D880, Folio 10.
- Unrecorded ALTA /ACSM Land Title Survey performed by Robert A. Watt, New Mexico Professional Surveyor Number 11770, dated May 12, 2009.

SOLAR NOTE:

No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat.

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HYDROLOGY
SECTION



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tyPLAT R:\$17.00 B: 2010C P: 0034 M. Toulous Olivera, Bernalillo Co.

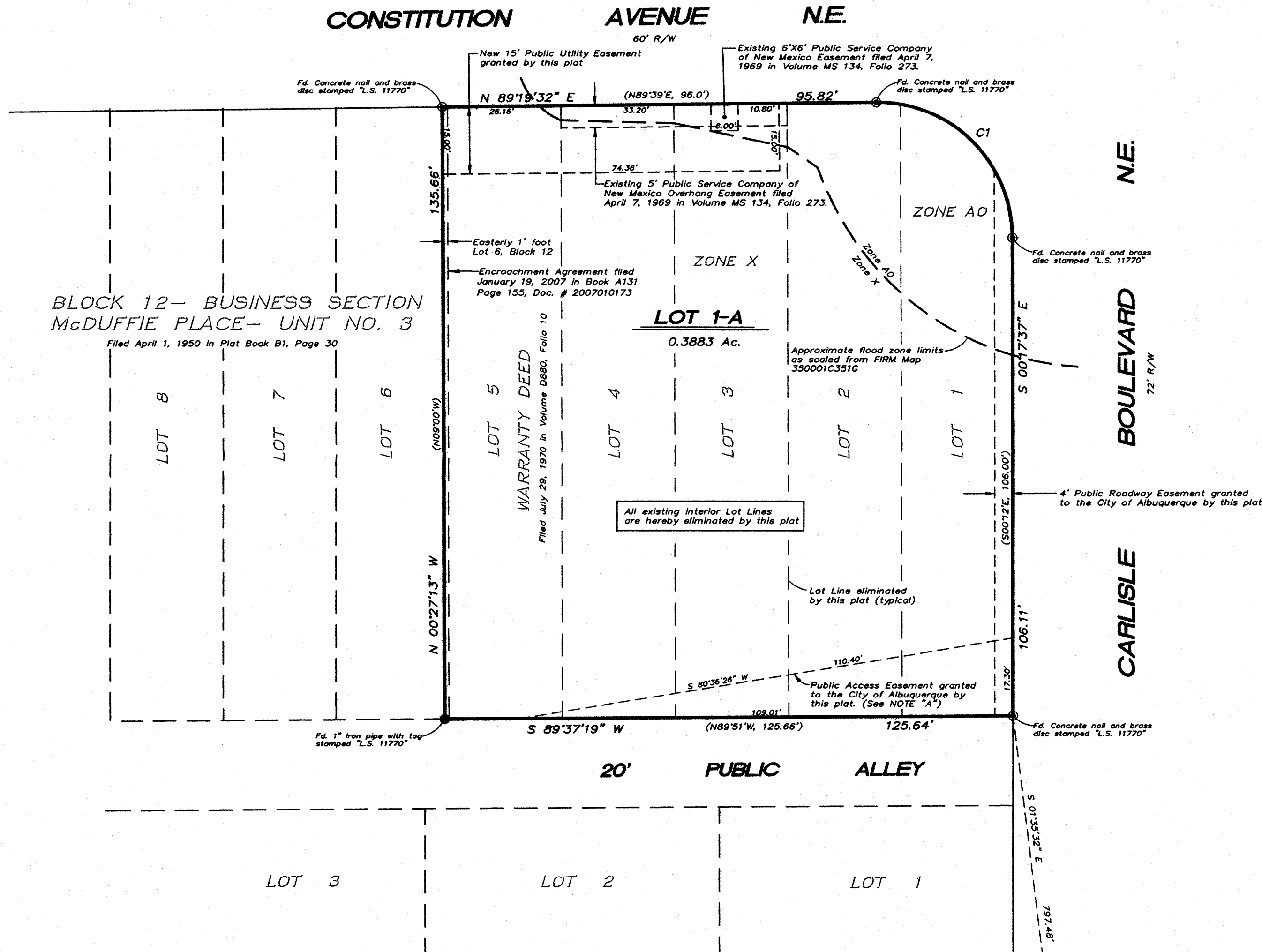
SHEET 2 OF 3

SURV TEK, INC.

Consulting Surveyors
6984 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Phone: 505-897-3366
Fax: 505-897-3377

PLAT OF
LOT 1-A
BLOCK 12 - BUSINESS SECTION
McDUFFIE PLACE - UNIT NO. 3
 (BEING A REPLAT OF LOTS 1 THRU 5 AND THE EASTERLY 1' FOOT OF LOT 6,
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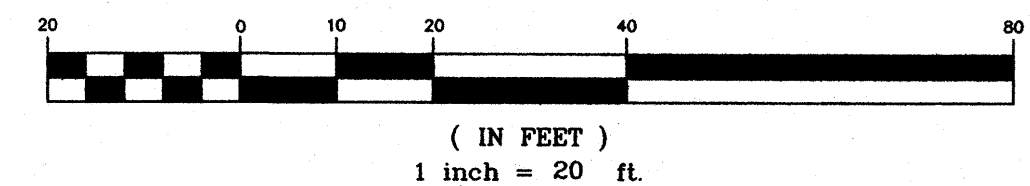
SITUATE WITHIN
SECTION 15, TOWNSHIP 10 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
 AUGUST, 2009



EASEMENT NOTE "A"
 Public Access Easement granted to the City of Albuquerque for the benefit of Lot 1-A. Maintenance of said easement to be the responsibility of the owner(s) of said Lot 1-A.

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	47.32'	30.00'	30.20'	42.57'	S45°29'03"E	90°22'51"

GRAPHIC SCALE



Albuquerque Control Survey Monument "11-J16"
 New Mexico State Plane Coordinates, Central Zone (NAD83) as published:
 Northing = 1,488,998.275
 Easting = 1,534,440.544
 Ground to grid factor = 0.999668657
 Delta Alpha = -00°12'13.22"
 Elevation = 5186.808 (NAVD 1988)

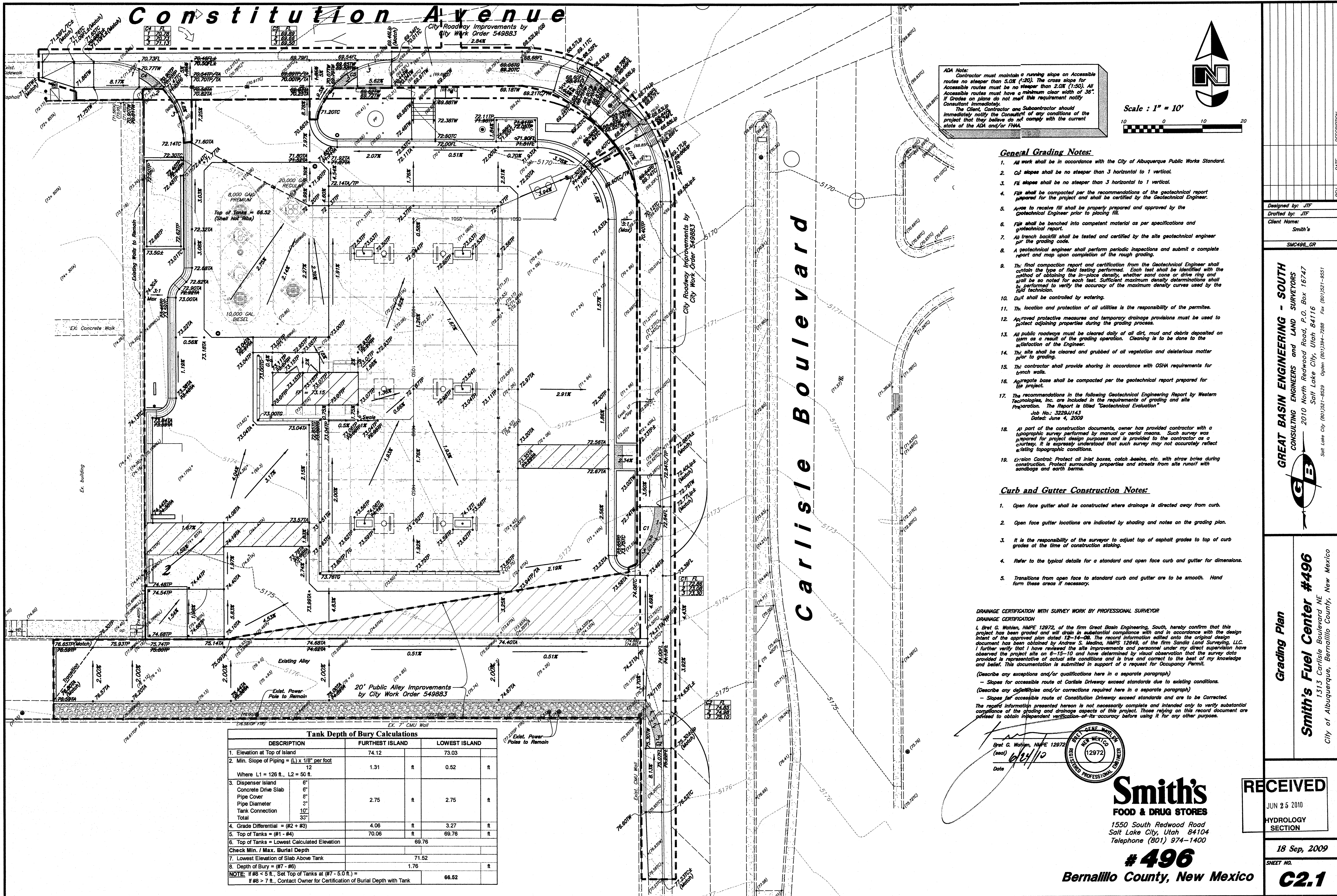
DOCH 2010023300
 03/19/2010 02:16 PM Page: 3 of 3
 CityPLAT R:17.00 B: 2010C P: 0034 M. Toulous Oliveira, Bernalillo Co.

SHEET 3 OF 3

SURV TEK, INC.

Consulting Surveyors
 9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
 Phone: 505-897-3366 Fax: 505-897-3377

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 HYDROLOGY SECTION



Tank Depth of Bury Calculations			
DESCRIPTION	FURTHEST ISLAND	LOWEST ISLAND	
1. Elevation at Top of Island	74.12	73.03	
2. Min. Slope of Piping = (L) x 1/8" per foot			
Where L1 = 126 ft., L2 = 50 ft.	1.31	0.52	ft
3. Dispenser Island			
Concrete Drive Slab	6"		
Pipe Cover	6"		
Pipe Diameter	3"	2.75	ft
Tank Connection	10"		
Total	33"		
4. Grade Differential = (#2 + #3)	4.06	3.27	ft
5. Top of Tanks = (#1 - #4)	70.06	69.76	ft
6. Top of Tanks = Lowest Calculated Elevation		69.76	ft
Check Min. / Max. Burial Depth			
7. Lowest Elevation of Slab Above Tank		71.52	
8. Depth of Bury = (#7 - #6)		1.76	ft
NOTE: If #8 < 5 ft., Set Top of Tanks at (#7 - 5.0 ft.) =			
If #8 > 7 ft., Contact Owner for Certification of Burial Depth with Tank			
		66.52	

ADA Note:
Contractor must maintain a running slope on Accessible routes no steeper than 5.0% (1:20). The cross slope for Accessible routes must be no steeper than 2.0% (1:50). All Accessible routes must have a minimum clear width of 36". If Grades on plans do not meet this requirement, notify Consultant immediately.
The Client, Contractor and Subcontractor should immediately notify the Consultant of any conditions of the project that they believe do not comply with the current state of the ADA and/or FHWA.

General Grading Notes:

- All work shall be in accordance with the City of Albuquerque Public Works Standard.
- Cut slopes shall be no steeper than 3 horizontal to 1 vertical.
- Fill slopes shall be no steeper than 3 horizontal to 1 vertical.
- Fill shall be compacted per the recommendations of the geotechnical report prepared for the project and shall be certified by the Geotechnical Engineer.
- Areas to receive fill shall be properly prepared and approved by the Geotechnical Engineer prior to placing fill.
- Fill shall be banded into competent material as per specifications and geotechnical report.
- All trench backfill shall be tested and certified by the site geotechnical engineer per the grading code.
- A geotechnical engineer shall perform periodic inspections and submit a complete report and map upon completion of the rough grading.
- The final compaction report and certification from the Geotechnical Engineer shall contain the type of field testing performed. Each test shall be identified with the method of obtaining the in-place density, whether sand cone or drive ring and shall be so noted for each test. Sufficient maximum density determinations shall be performed to verify the accuracy of the maximum density curves used by the field technician.
- Drift shall be controlled by watering.
- The location and protection of all utilities is the responsibility of the permittee.
- Approved protective measures and temporary drainage provisions must be used to protect adjoining properties during the grading process.
- All public roadways must be cleared daily of all dirt, mud and debris deposited on them as a result of the grading operation. Cleaning is to be done to the satisfaction of the Engineer.
- The site shall be cleared and grubbed of all vegetation and deleterious matter prior to grading.
- The contractor shall provide shoring in accordance with OSHA requirements for trench walls.
- Aggregate base shall be compacted per the geotechnical report prepared for the project.
- The recommendations in the following Geotechnical Engineering Report by Western Technologies, Inc. are included in the requirements of grading and site Preparation. The Report is titled "Geotechnical Evaluation"
Job No. 3229J143
Dated: June 4, 2009
- As part of the construction documents, owner has provided contractor with a topographic survey performed by manual or aerial means. Such survey was prepared for project design purposes and is provided to the contractor as a courtesy. It is expressly understood that such survey may not accurately reflect existing topographic conditions.
- Erosion Control: Protect all inlet boxes, catch basins, etc. with straw bales during construction. Protect surrounding properties and streets from site runoff with sandbags and earth berms.

Curb and Gutter Construction Notes:

- Open face gutter shall be constructed where drainage is directed away from curb.
- Open face gutter locations are indicated by shading and notes on the grading plan.
- It is the responsibility of the surveyor to adjust top of asphalt grades to top of curb grades at the time of construction staking.
- Refer to the typical details for a standard and open face curb and gutter for dimensions.
- Transitions from open face to standard curb and gutter are to be smooth. Hand form these areas if necessary.

DRAINAGE CERTIFICATION WITH SURVEY WORK BY PROFESSIONAL SURVEYOR
I, Bret G. Wahlen, N.M.P.E. 12972, of the firm Great Basin Engineering - South, hereby confirm that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 12-14-08. The record information added onto the original design document has been obtained by Andrew S. Medina, N.M.P.S. 12648, of the firm Sandia Land Surveying, LLC. I further verify that I have reviewed the site improvements and personnel under my direct supervision have observed the project site on 6-15-10 and have determined by visual observation that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This documentation is submitted in support of a request for Occupancy Permit.
(Describe any exceptions and/or qualifications here in a separate paragraph)
- Slopes for accessible route at Carlisle Driveway exceed standards due to existing conditions.
(Describe any deficiencies and/or corrections required here in a separate paragraph)
- Slopes for accessible route at Constitution Driveway exceed standards and are to be corrected.
The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Bret G. Wahlen, N.M.P.E. 12972
(seal)
Date 6/24/10

Smith's
FOOD & DRUG STORES
1550 South Redwood Road
Salt Lake City, Utah 84104
Telephone (801) 974-1400
#496
Bernalillo County, New Mexico

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18 Sep, 2009
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C2.1

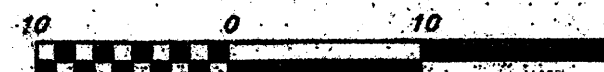
GREAT BASIN ENGINEERING - SOUTH
CONSULTING ENGINEERS and LAND SURVEYORS
2010 North Redwood Road, P.O. Box 16747
Salt Lake City, Utah 84116
Salt Lake City (801) 551-8529 Ogden (801) 944-7888 Fax (801) 551-8531
Grading Plan
Smith's Fuel Center #496
1313 Carlisle Boulevard NE
City of Albuquerque, Bernalillo County, New Mexico

Constitution Avenue

City Roadway Improvements by
City Work Order 549883

ADA Note:
Contractor must maintain a running slope on accessible routes no steeper than 5.0% (1:20). The cross slope for accessible routes must be no steeper than 2.0% (1:50). All accessible routes must have a minimum clear width of 36". If grades as plans do not meet this requirement, notify Consultant immediately.
The Client, Contractor and Subcontractor should immediately notify the Consultant of any conditions of the project that they believe do not comply with the current state of the ADA and/or FHWA.

Scale: 1" = 10'



General Grading Notes:

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- Cut slopes shall be no steeper than 3 horizontal to 1 vertical.
- Fill slopes shall be no steeper than 3 horizontal to 1 vertical.
- Fills shall be compacted per the recommendations of the geotechnical report prepared for the project and shall be certified by the Geotechnical Engineer.
- Areas to receive fill shall be properly prepared and approved by the Geotechnical Engineer prior to placing fill.
- Fills shall be benched into competent material on per specifications and geotechnical report.
- All trench backfill shall be tested and certified by the site geotechnical engineer per the grading plan.
- A geotechnical engineer shall perform periodic inspections and submit a complete report and map upon completion of the rough grading.
- The final composition report and certification from the Geotechnical Engineer shall contain the type of field testing performed. Each test shall be identified with the method of obtaining the in-place density, whether sand cone or drive ring and shall be so noted for each test. Sufficient maximum density determinations shall be performed to verify the accuracy of the maximum density curves used by the field technician.
- Dust shall be controlled by watering.
- The location and protection of all utilities is the responsibility of the permittee.
- Approved protective measures and temporary drainage provisions must be used to protect adjoining properties during the grading process.
- All public roadways must be cleared daily of all dirt, mud and debris deposited on them as a result of the grading operation. Cleaning is to be done to the satisfaction of the Engineer.
- The site shall be cleared and grubbed of all vegetation and deleterious matter prior to grading.
- The contractor shall provide shoring in accordance with OSHA requirements for trench walls.
- Aggregate base shall be compacted per the geotechnical report prepared for the project.
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Job No: 3222A/143
Dated: June 4, 2009
- As part of the construction documents, owner has provided contractor with a topographic survey performed by manual or aerial means. Such survey was prepared for project design purposes and is provided to the contractor as a courtesy. It is expressly understood that such survey may not accurately reflect existing topographic conditions.
- Erosion Control: Protect all inlet boxes, catch basins, etc. with strip boxes during construction. Protect surrounding properties and streets from site runoff with sandbags and earth berms.

Curb and Gutter Construction Notes:

- Open face gutter shall be constructed where drainage is directed away from curb.
- Open face gutter locations are indicated by shading and notes on the grading plan.
- It is the responsibility of the surveyor to adjust top of asphalt grades to top of curb grades at the time of construction staking.
- Refer to the typical details for a standard and open face curb and gutter for dimensions.
- Transitions from open face to standard curb and gutter are to be smooth. Hand form these areas if necessary.

20' Public Alley Improvements by City Work Order 549883

SANDIA LAND SURVEYING, LLC
15 CASH TOWNSHIPS
PLACITAS, NM 87043
505-867-1241

SURVEYOR'S CERTIFICATE
I, Andrew S. Medina, a duly qualified Licensed Professional Surveyor under the laws of the State of New Mexico, do hereby certify that the "as-built" information shown on these drawings was obtained from field construction and "as-built" surveys performed by me or under my supervision that the "as-built" information shown on these drawings was added by me or under my supervision; and that this "as-built" information is true and correct to the best of my knowledge and belief. I am not responsible for any of the design, concepts, calculations, engineering, or intent of the record drawings.

OSML 6-16-10
Andrew S. Medina, NMS 12649
Date

Carlisle Boulevard

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JUN 25 2010
HYDROLOGY
SECTION

New Mexico One Call, Inc.
NMOC
Professional Resources for Damage Prevention
1-800-321-ALERT

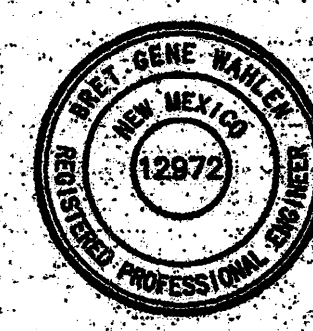
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Telephone (801) 974-1400

#496

Bernalillo County, New Mexico

GREAT BASIN ENGINEERING - SOUTH
CONSULTING ENGINEERS AND LAND SURVEYORS
2010 North Redwood Road, P.O. Box 16747
Salt Lake City, Utah 84116
Tel: (801) 461-8888 Fax: (801) 461-8881

Grading Plan
Smith's Fuel Center #496
1513 Carlisle Boulevard NE
City of Albuquerque, Bernalillo County, New Mexico

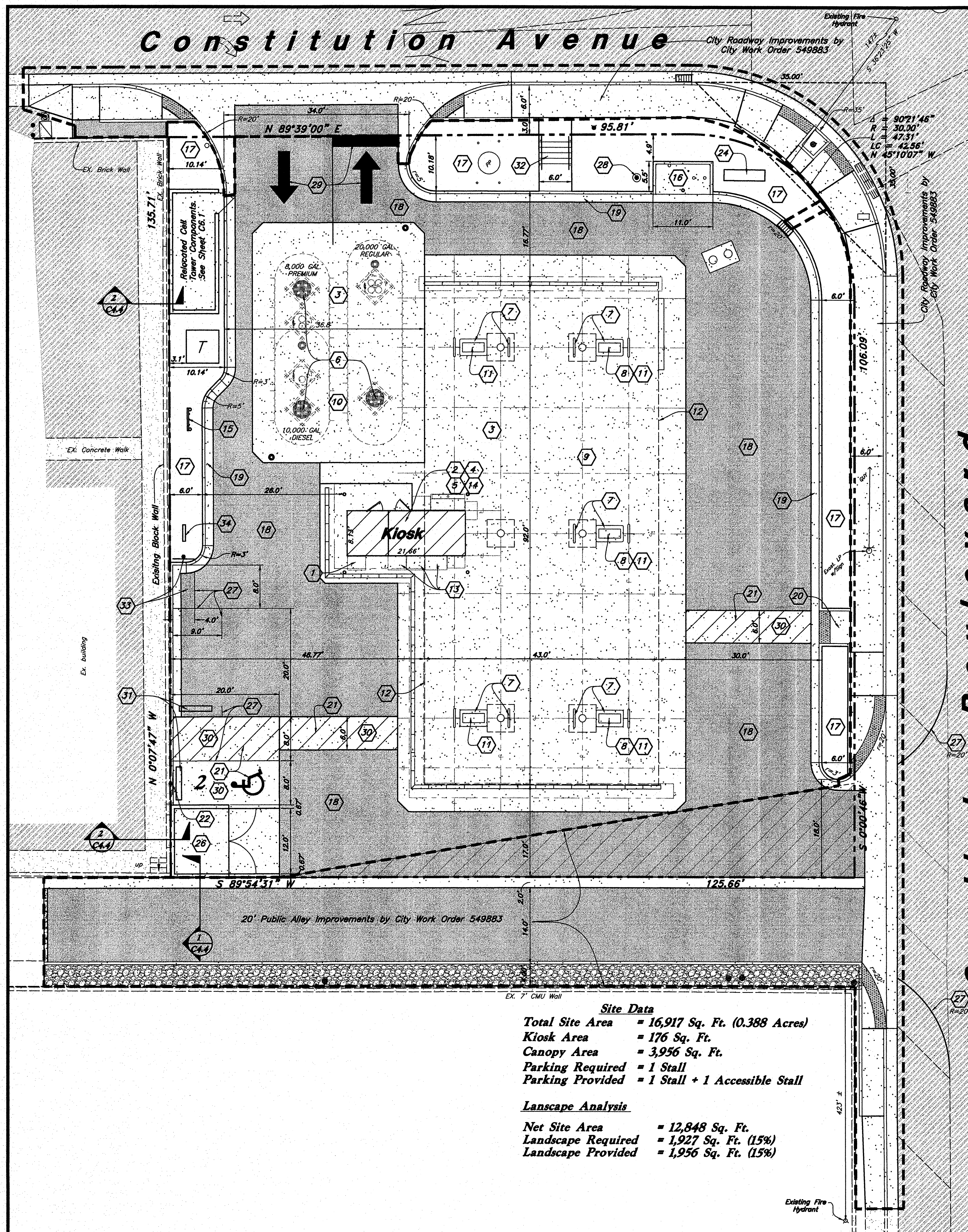


18 Sep. 2009

SHEET NO.

C2.1

C1.1



Site Data
 Total Site Area = 16,917 Sq. Ft. (0.388 Acres)
 Kiosk Area = 176 Sq. Ft.
 Canopy Area = 3,956 Sq. Ft.
 Parking Required = 1 Stall
 Parking Provided = 1 Stall + 1 Accessible Stall

Landscape Analysis
 Net Site Area = 12,848 Sq. Ft.
 Landscape Required = 1,927 Sq. Ft. (15%)
 Landscape Provided = 1,956 Sq. Ft. (15%)

General Site Notes:

- All dimensions are to back of curb unless otherwise noted.
- Should discrepancies be found between the civil and architectural drawings, the civil plans shall govern.
- Contractor shall paint the canopy collection boxes white to match the decking color.
- Install a 2"x4" by 2'-3" long knockout in the top of the footings for the conduit. Typical for all columns with conduit. (See Utility Plan)

Site Construction Notes

- Construct level concrete pad for outside storage unit. Supply, assemble and install outside storage unit. Unit shall be stiffened and anchored. (Rubbermaid #3746 52 cubic vertical storage unit)
- Install roof penetration in kiosk and weather proof for speaker/camera wire installation.
- Contractor shall have all concrete slabs cleaned and sealed. Coordinate with Owner's Sub-Consultant (White Mountain, Mike Letts 801-547-9278).
- Caulk and Paint as Necessary to Touch up Exterior Panels of Kiosk
- Provide a water tight seal between the kiosk foundation and canopy slab.
- Clean and paint the tank manhole covers. Paint fuel designations at the drop tubes with the correct color and name.
 All paints specified are Sherwin Williams Industrial Enamel B542 Series. When painting manholes, the rim of the manhole that is embedded in the concrete should be painted along with the manhole lid.
 Regular Unleaded SW4089, Pure White with a Black cross.
 Premium Unleaded SW4081, Safety Red with a White cross.
 Diesel SW4084, Safety Yellow
- Paint all bollards and island forms with Contractor supplied Imron Paint.
- Install a diesel tee, plug, and fittings in the MPD sumps in those islands containing diesel.
- Construct 6" Thick Concrete Canopy Drive Slab w/ Fiber Mesh (See Architectural Plans for Section)
- Construct 8" Thick Concrete Tank Pad w/ Fiber Mesh & Rebar Reinforcing. (See Architectural Plans for Section)
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- Overhead Canopy System Supplied and Installed by others. General Contractor to install Footings, per Ventaire Drawings, Conduits, & Conductors. (See Arch. Plans)
- Vending Machines (typ)
- General Contractor to Const. Floor and Foundation then Place Prefabricated Kiosk
- Const. Remote Tank Vent Riser (See Architectural Plans).
- Const. Air / Water / Phone Pad. 5'x10'x6" (12/10/4.2/4.2)
- Landscaping
- Const. 4" Asphalt Paving over 8" Aggregate Base Course (2/4.1)
- Const. 24" Concrete Curb and Gutter (1/4.1)
- Const. ADA Accessible Curb Ramp (4/4.1)
- Const. ADA Accessible Striping
- Const. ADA Accessible Sign (9/4.2)
- Not Used
- Proposed Pylon Sign Location (By Separate Permit)
- Not Used
- Const. Dumpster Enclosure (16/4.2)
- Const. 4" Paint Stripes (Color: White)
- Const. Light Pole (See Site Electrical Plans)
- Const. Asphalt Markings per MUTCD
- Const. 6" Concrete Paving (3/4.1)
- Const. Concrete Wheel Stop
- Const. 6" Conc. Sidewalk, Stairs & Railings (31/4.4)
- Const. Motorcycle Parking Space & Sign (30/4.4)
- Const. Bicycle Rack (31/4.4)

Contractor NOTES:

- New Communication Equipment to be installed Prior to Shut Down of Existing Communication Equipment and Construction of the Fuel Center. Coordinate with T-Mobile.

TRAFFIC CIRCULATION LAYOUT APPROVED

Signed: [Signature] Date: 12/17/09

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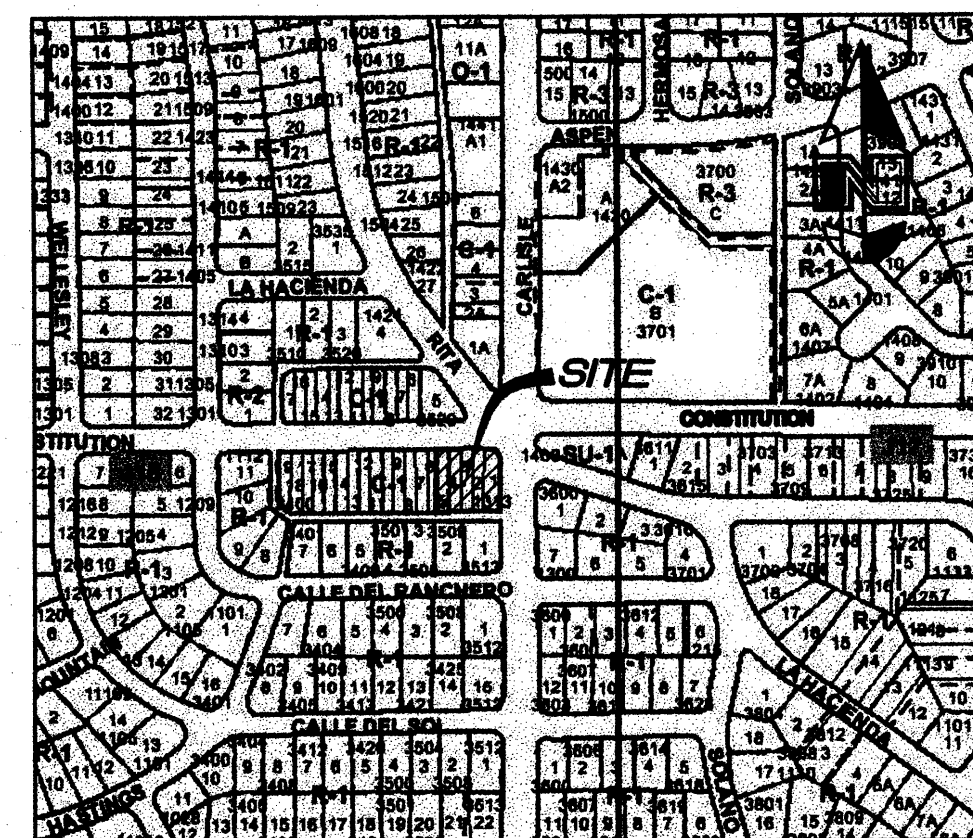
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Private Engineer's Notice to Contractors

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Survey Control Note:

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Zone Atlas Page: J-16-Z

Legend

- Proposed Asphalt
- Existing Asphalt
- Proposed Concrete
- Existing Improvements
- Proposed Improvements
- Existing Inlet Box
- Proposed Inlet Box
- Exist. Catch Basin
- Catch Basin
- Proposed Manhole
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- Fire Hydrant
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- Existing Light Pole
- Proposed Light Pole
- Property Line
- Detail Number
- Sheet Number

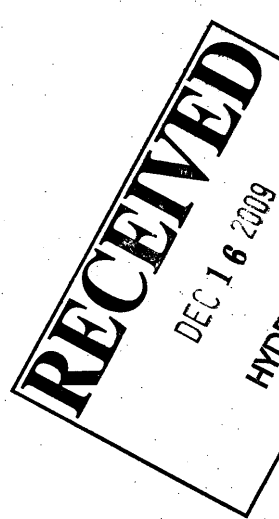
Legal Description

Lots 1-5 and the Easterly 1 foot of Lot 6 of Unit no. 3, Block 12-Business Section of the McDuffie Place Subdivision.

ADA Note:

Contractor must maintain a running slope on Accessible routes no steeper than 5.0% (1:20). The cross slope for Accessible routes must be no steeper than 2.0% (1:50). All Accessible routes must have a minimum clear width of 36". If Grades on plans do not meet this requirement notify Consultant immediately.

The Client, Contractor and Subcontractor should immediately notify the Consultant of any conditions of the project that they believe do not comply with the current state of the ADA and/or FHAA.



Smith's
 FOOD & DRUG STORES

1550 South Redwood Road
 Salt Lake City, Utah 84104
 Telephone (801) 974-1400

#496

Bernalillo County, New Mexico

GREAT BASIN ENGINEERING - SOUTH

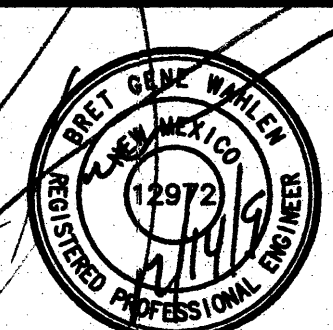
CONSULTING ENGINEERS AND LAND SURVEYORS

2010 North Redwood Road, P.O. Box 16747
 Salt Lake City, Utah 84116
 Fax (801) 551-9551

Site Plan

Smith's Fuel Center #496

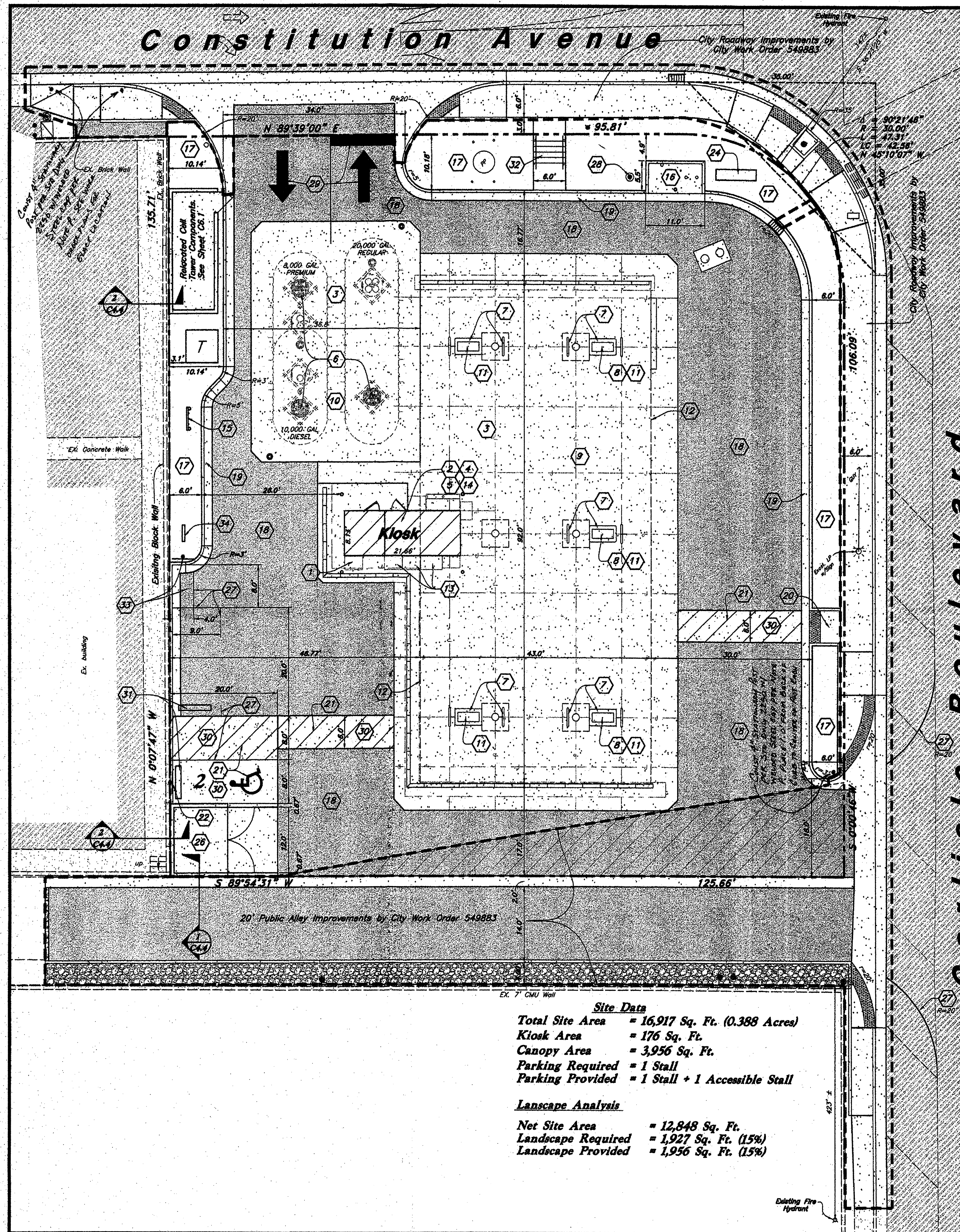
1313 Carlisle Boulevard NE
 City of Albuquerque, Bernalillo County, New Mexico



18 Sep, 2009

SHEET NO.

C1.1



Site Data

Total Site Area = 16,917 Sq. Ft. (0.388 Acres)

Kiosk Area = 176 Sq. Ft.

Canopy Area = 3,956 Sq. Ft.

Parking Required = 1 Stall

Parking Provided = 1 Stall + 1 Accessible Stall

Landscape Analysis

Net Site Area = 12,848 Sq. Ft.

Landscape Required = 1,927 Sq. Ft. (15%)

Landscape Provided = 1,956 Sq. Ft. (15%)

General Site Notes:

1. All dimensions are to back of curb unless otherwise noted.
2. Should discrepancies be found between the civil and architectural drawings, the civil plans shall govern.
3. Contractor shall paint the canopy collection boxes white to match the decking color.
4. Install a 2"x4" by 2'-3" long knockout in the top of the footings for the conduit. Typical for all columns with conduit. (See Utility Plan)

Site Construction Notes

- 1 Construct level concrete pad for outside storage unit. Supply, assemble and install outside storage unit. Unit shall be stiffened and anchored. (Rubbermaid #3746 52 cubic vertical storage unit)
 - 2 Install roof penetration in kiosk and weather proof for speaker/camera wire installation.
 - 3 Contractor shall have all concrete slabs cleaned and sealed. Coordinate with Owner's Sub-Consultant (White Mountain, Mike Letts 801-547-9278).
 - 4 Caulk and Paint as Necessary to Touch up Exterior Panels of Kiosk
 - 5 Provide a water tight seal between the kiosk foundation and canopy slab.
 - 6 Clean and paint the tank manhole covers. Paint fuel designations at the drop tubes with the correct color and name.
- All paints specified are Sherwin Williams Industrial Enamel B54Z Series. When painting manholes, the rim of the manhole that is embedded in the concrete should be painted along with the manhole lid.
- Regular Unleaded SW4089, Pure White with a Black cross.
Premium Unleaded SW4081, Safety Red with a White cross.
Diesel SW4084, Safety Yellow

- 7 Paint all bollards and island forms with Contractor supplied Imron Paint.
- 8 Install a diesel tee, plug, and fittings in the MPD sumps in those islands containing diesel.
- 9 Construct 6" Thick Concrete Canopy Drive Slab w/ Fiber Mesh (See Architectural Plans for Section)
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Contractor NOTES:

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TRAFFIC CIRCULATION LAYOUT APPROVED

Signed: *[Signature]* 11/17/09

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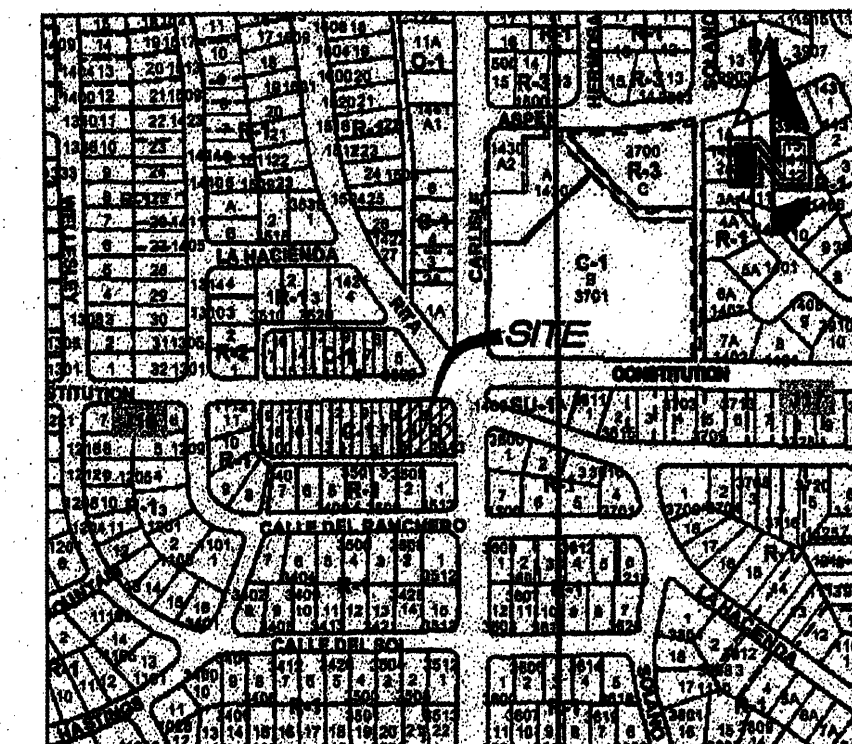
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Scale: 1" = 10'



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#496
Bernillo County, New Mexico

Designed by: ANA
Drafted by: ANA
Client Name: Smith's
SMC496_TC

GREAT BASIN ENGINEERING - SOUTH
CONSULTING ENGINEERS AND LAND SURVEYORS
2010 North Redwood Road, P.O. Box 16747
Salt Lake City, Utah 84116
Salt Lake City (801) 931-8829 Ogden (801) 394-7288 Fax (801) 931-9951

Site Plan

Smith's Fuel Center #496
1313 Carlisle Boulevard NE
City of Albuquerque, Bernalillo County, New Mexico

18 Sep, 2009

12372

C1.1