



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Public Works Department
Transportation Development Services Section***

April 30, 2002

Nick PirkI for Jorge De La Torre, Registered Architect
2400 Louisiana N.E.
Albuquerque, NM 87110

Re: Certification Submittal for Final Building Certificate of Occupancy for
N.M. Aids Services, [J17 / D025]
634 Manzano N.E.
Architect's Stamp Dated 04/30/02

Dear Mr. PirkI:

The TCL / Letter of Certification submitted on April 30, 2002 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to Building and Safety and final C.O. has been logged in by Vicki Chavez in the Building Safety Section downstairs.

Sincerely,

Mike Zamora, Commercial Plan Checker
Development and Building Services
Planning Department

c: Engineer
Hydrology file
Mike Zamora

DRAINAGE INFORMATION SHEET
(REV. 11/01/2001)

J-17/D25

PROJECT TITLE: N.M. AIDS SERVICES

DRB #: _____ EPC#: _____

ZONE MAP/DRG. FILE #: 9007

WORK ORDER#: _____

LEGAL DESCRIPTION: _____

CITY ADDRESS: 634 Manzano NE

ENGINEERING FIRM: WALLA ENGINEERING

ADDRESS: 6100 INDIAN SCHOOL # 210

CITY, STATE: ALBUQUERQUE NM

CONTACT: MIKE WALLA

PHONE: 881-3008

ZIP CODE: 87110

OWNER: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

ARCHITECT: DE LA TORRE BLDG 3 #110

ADDRESS: 2402 LOUISIANA

CITY, STATE: ALBUQ. NM

CONTACT: NICK PERKL

PHONE: 883-7918

ZIP CODE: 87110

SURVEYOR: WAY JOHN

ADDRESS: _____

CITY, STATE: ALBUQ NM

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CONTRACTOR: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

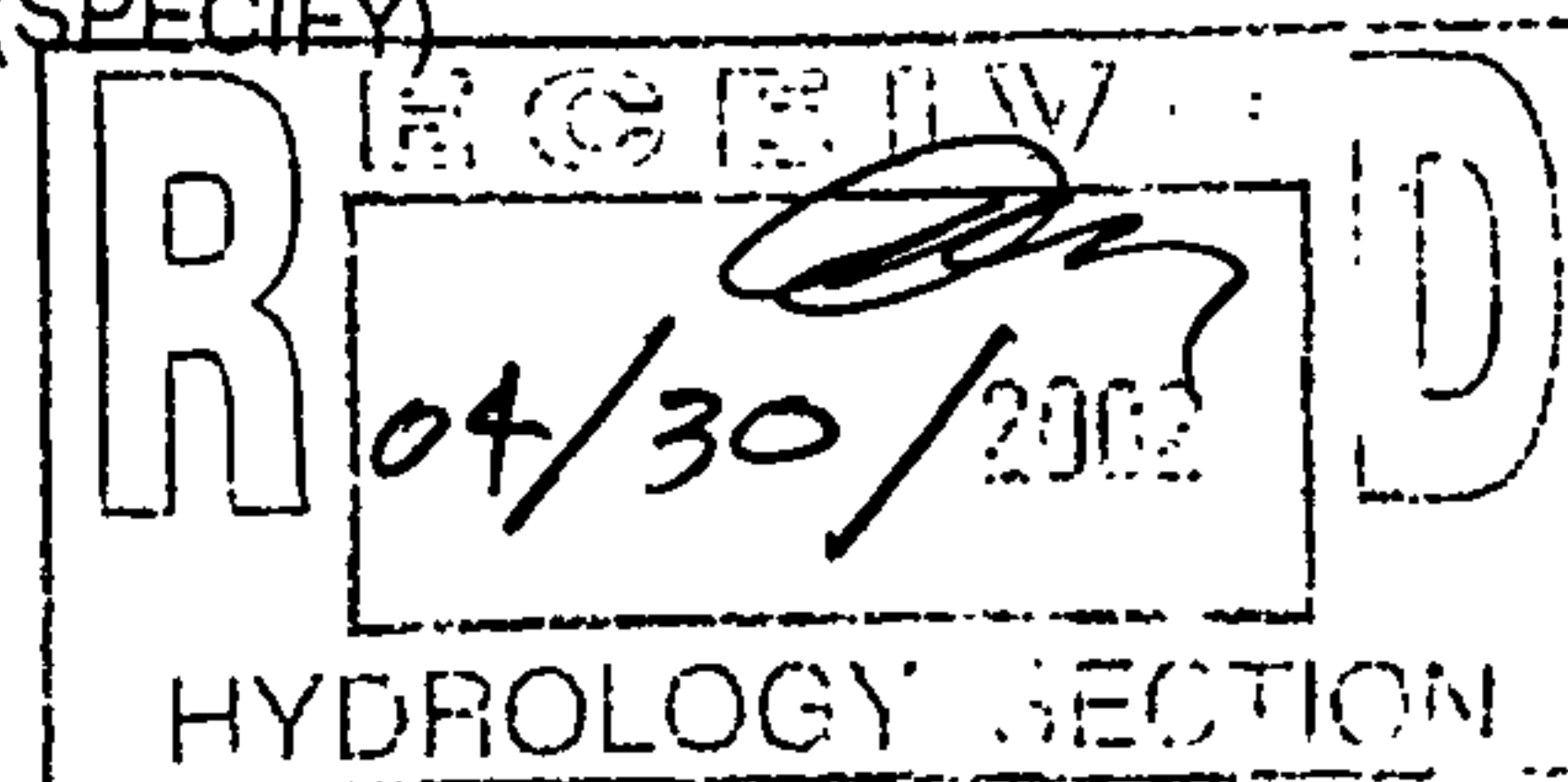
- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 4-30-02

BY: MIKE WALLA NICK PERKL

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or

4/30/02

24/30/02

Arch brought in

Called Vicki-GT

Sent letter ; ✓ - logged in

April 30, 2002

City of Albuquerque
Transportation Division

Re: New Mexico AIDS Services – 634 Manzano NE

To Whom It May Concern:

I, Jorge de la Torre, P.A. AIA, licensed under the laws of the State of New Mexico, do hereby certify that this project was constructed in accordance with the approved Traffic Circulation Layout (or Site Plan) with the following changes made in the field.

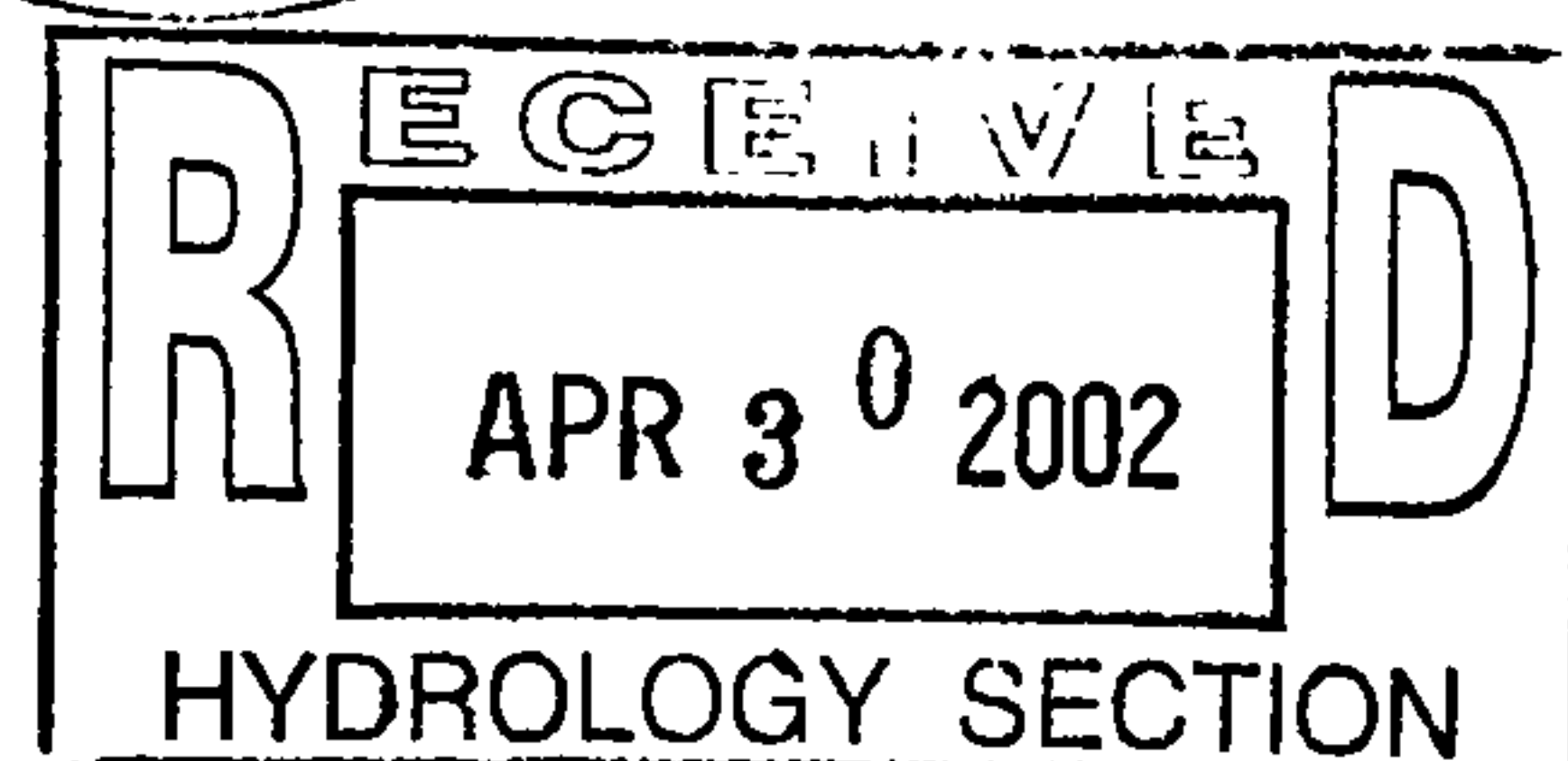
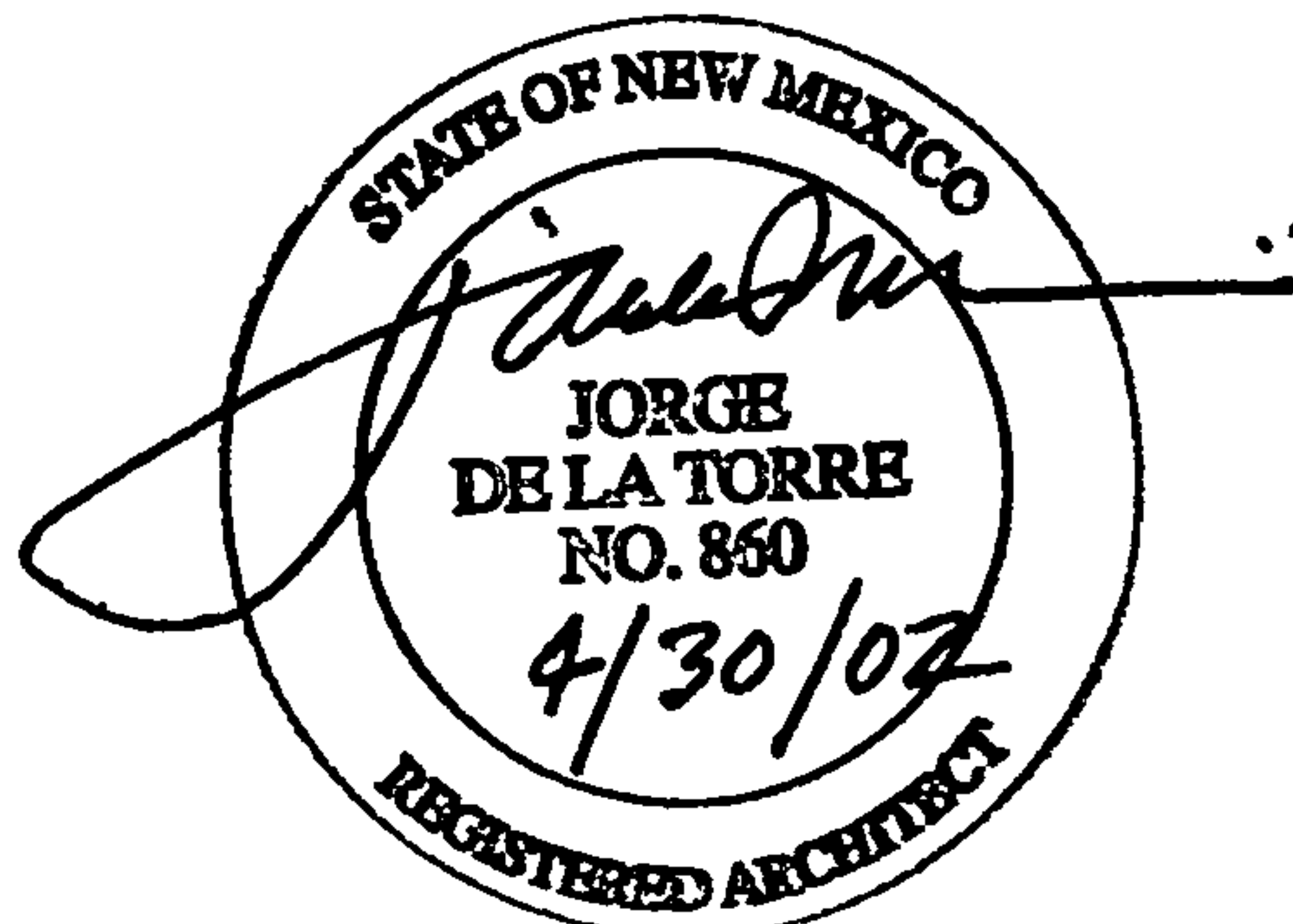
1. The handicap parking stall was moved to a more level location as shown on the attached As-built site plan. This changed the overall striping layout as shown on the plan.
2. One of the 4 compact car spaces was moved to be in front of an existing light pole for safety.

There was no change in the total number of parking spaces or types.

If you have any questions or comments, please feel free to contact me.

Thanks,


Jorge de la Torre
de la Torre Architects





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

May 10, 2002

Mike Walla, P.E.
Walla Engineering Ltd
6100 Indian School RD NE Suite 210
Albuquerque, New Mexico 87110

RE: NEW MEXICO AIDS SERVICES, INC. (BUILDING ADDITION) (J-17/D25)
(634 Manzano NE)
ENGINEERS CERTIFICATION FOR CERTIFICATE OF OCCUPANCY
ENGINEERS STAMP DATED 9/23/2001
ENGINEERS CERTIFICATION DATED 5/10/2002

Dear Mr. Walla:

Based upon the information provided in your Engineers Certification submittal dated 5/6/2002, and the approval of the SO19 dated 5/10/2002 by the City's Storm Drainage Maintenance Inspector, the above referenced site is approved for Permanent Certificate of Occupancy.

If I can be of further assistance, please contact me at 924-3981.

Sincerely,

Teresa A. Martin
Hydrology Plan Checker
Public Works Department

ELB

C: Vickie Chavez, COA
approval file
✓ drainage file

DRAINAGE INFORMATION SHEET

(REV. 11/01/2001)

634
MANA NE

J-17/D25

PROJECT TITLE: NM AIDS ADDITION ZONE MAP/DRG. FILE #: J-17
 DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOTS 17, 18 & 19 - BLOCK 2, PUEBLO ALTO ADDN
 CITY ADDRESS: ~~635 TRIMMAN NE~~ ALB, NM 87110

ENGINEERING FIRM: WALLA ENG'G
 ADDRESS: 6100 HUNN SCHOOL RD NE
 CITY, STATE: ALBUQ, NM

CONTACT: MIKE WALLA
 PHONE: 881-3008
 ZIP CODE: 87110

OWNER: NM AIDS SERVICES
 ADDRESS: 625 TRIMMAN NE
 CITY, STATE: ALB, NM

CONTACT: _____
 PHONE: _____
 ZIP CODE: 87110

ARCHITECT: DE LA TORRE ARCHITECTURE
 ADDRESS: 2400 LOUISIANA NE
 CITY, STATE: ALBUQ, NM 87110

CONTACT: DICK PINK
 PHONE: 883-4118
 ZIP CODE: _____

SURVEYOR: WATSON SURVEYING
 ADDRESS: 330 LOUISIANA NE
 CITY, STATE: ALB, NM

CONTACT: THOMAS JOHNSON
 PHONE: 255-2052
 ZIP CODE: _____

CONTRACTOR: KLINGER
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: KWID
 PHONE: 280-2740
 ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

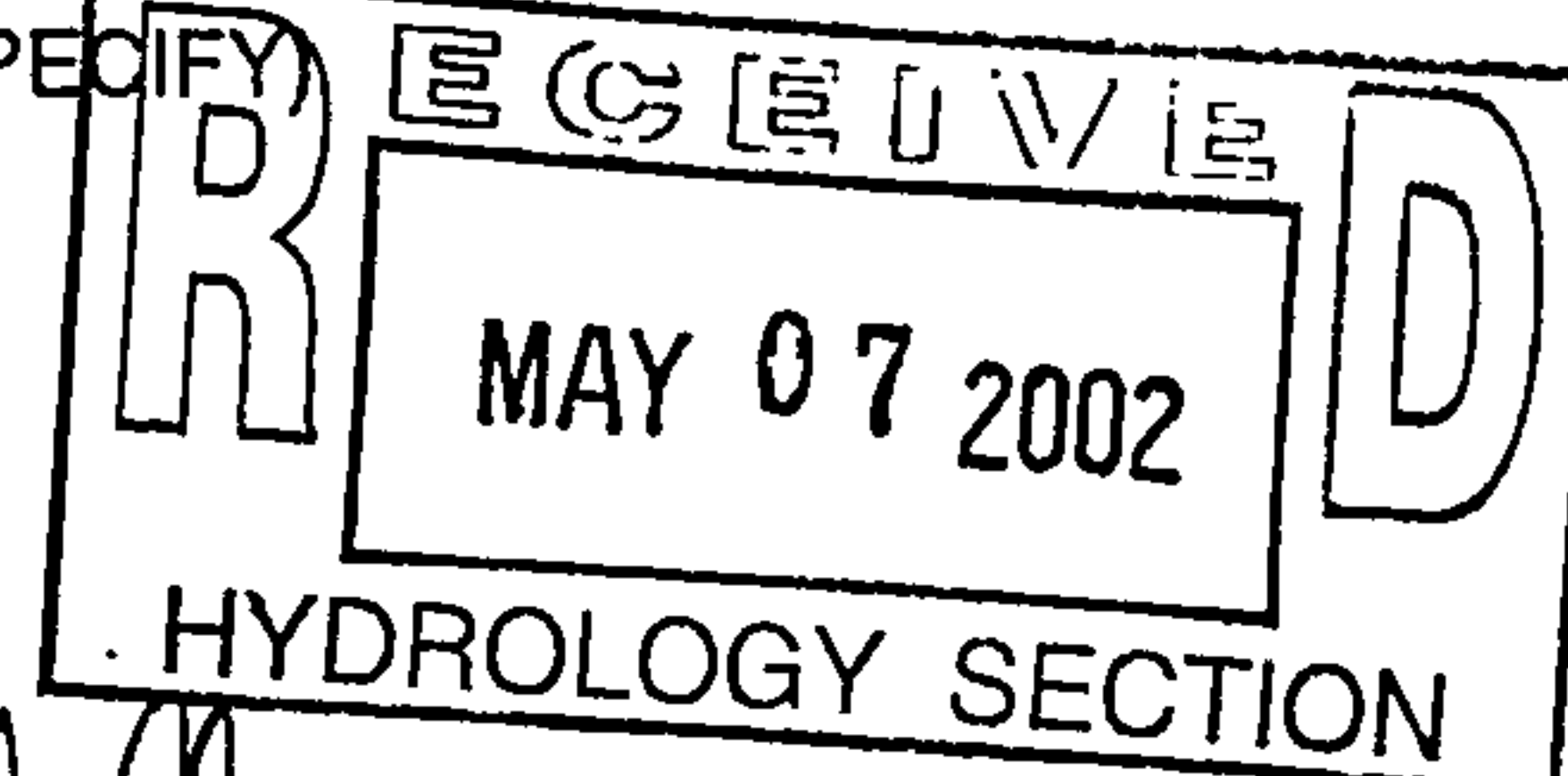
- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
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- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☒ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 5/7/02 BY: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

May 10, 2002

Mike Walla, P.E.
Walla Engineering Ltd
6100 Indian School RD NE Suite 210
Albuquerque, New Mexico 87110

RE: NEW MEXICO AIDS SERVICES, INC. (J-17/D25)
(625 Truman NE)
ENGINEERS CERTIFICATION FOR CERTIFICATE OF OCCUPANCY
ENGINEERS STAMP DATED 3/23/2000
ENGINEERS CERTIFICATION DATED 5/10/2002

Dear Mr. Walla:

Based upon the information provided in your Engineers Certification submittal dated 5/10/2002, and the approval of the SO19 dated 5/10/2002 by the City's Storm Drainage Maintenance Inspector, the above referenced site is approved for Permanent Certificate of Occupancy.

If I can be of further assistance, please contact me at 924-3981.

Sincerely,

Teresa A. Martin
Hydrology Plan Checker
Public Works Department
GLB

C: Vickie Chavez, COA
approval file
drainage file

DRAINAGE INFORMATION SHEET

(REV. 11/01/2001)

PROJECT TITLE: NM ADS SERVICES INC. ZONE MAP/DRG. FILE #: J-17
 DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOTS 17, 18 & 19, BLOCK 2 OF PUEBLO ALTO ADDITION, ALBUQ., BERN. CNTY, NM
 CITY ADDRESS: 625 TRUMAN NE

ENGINEERING FIRM: WALLA ENGINEERING, LTD.
 ADDRESS: 6100 INDIAN SCHOOL RD NE
 CITY, STATE: ALB, NM

CONTACT: MIKE WALLA
 PHONE: 881-3008
 ZIP CODE: _____

OWNER: NM ADS SERVICES
 ADDRESS: 625 TRUMAN NE
 CITY, STATE: ALB, NM

CONTACT: _____
 PHONE: _____
 ZIP CODE: 87110

ARCHITECT: DLTA
 ADDRESS: 2400 LOUISIANA NE
 CITY, STATE: ALBUQ., NM

CONTACT: NICK PERL
 PHONE: 883-7918
 ZIP CODE: 87110

SURVEYOR: WATSON SURVEYING
 ADDRESS: 330 LOUISIANA NE
 CITY, STATE: ALB, NM

CONTACT: THOMAS JOHNSTON
 PHONE: 255-2052
 ZIP CODE: _____

CONTRACTOR: KLINGER
 ADDRESS: _____
 CITY, STATE: _____

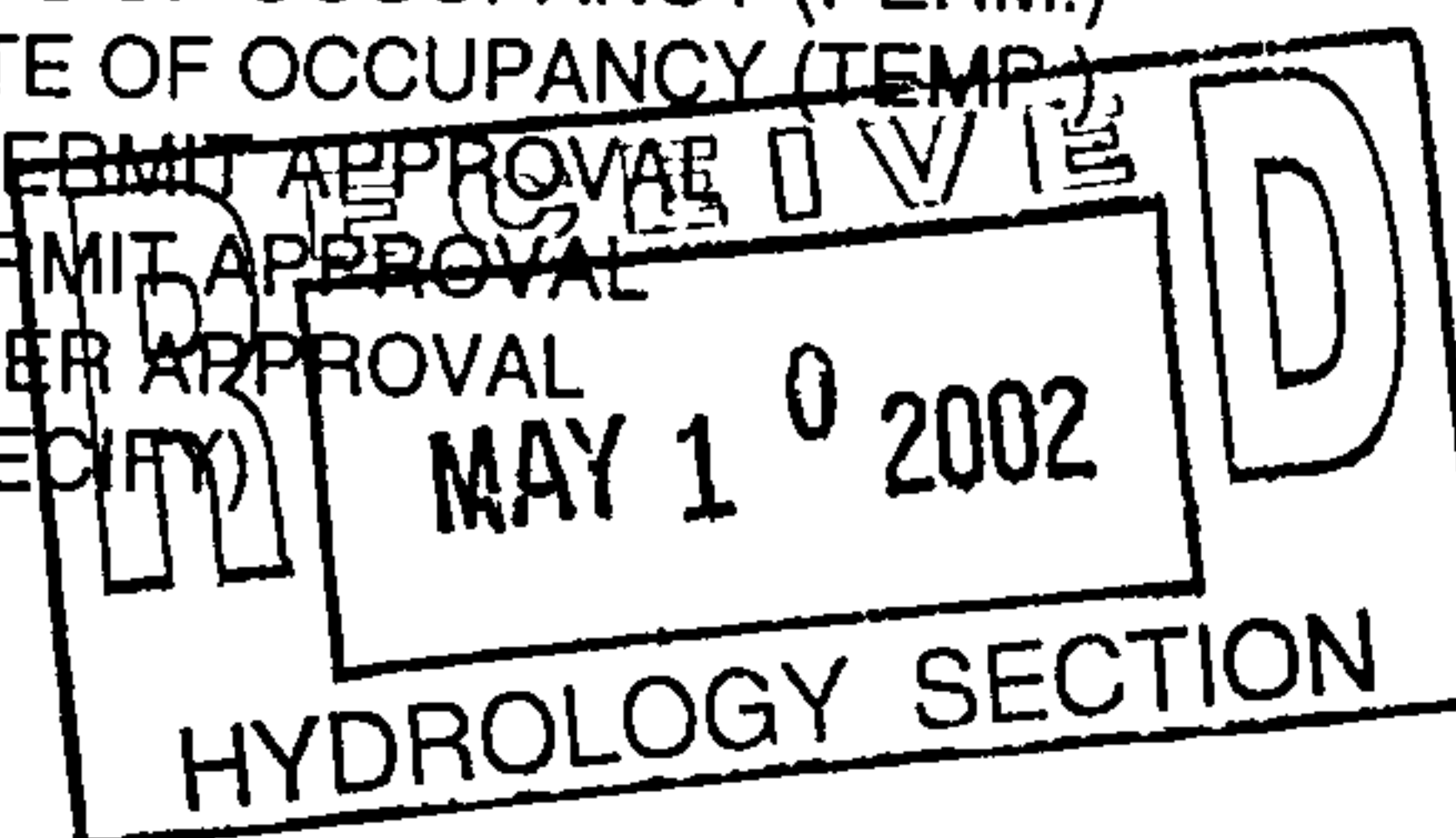
CONTACT: KEVIN
 PHONE: 280-2740
 ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☒ DRAINAGE REPORT
- ☒ DRAINAGE PLAN
- ☒ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☒ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
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- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☒ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 5/10/02 BY: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
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City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

768-2804

January 28, 2002

Mike Walla, PE
Walla Engineering, Ltd
6100 Indian School NE, Ste 210
Albuquerque, NM 87110

Re: NM Aids Services Grading and Drainage Plan
Engineer's Stamp dated 9-25-01, (J17/D25)

Dear Mr. Walla,

Based upon the information provided in your submittal dated 1-9-02, the above referenced plan is approved for Building Permit. I am also granting an SO#19 Permit in order to clear up any loose ends created from the last submittal on this Site.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Also, prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required and will include sign-off by the Storm Drain Maintenance of the existing sidewalk culverts installed on Manzano in March of 2000. I do not have any record of a certified as-built of the plan dated 3-23-00 so your certification will need to include what was constructed under that Building Permit as well.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Sr. Engineer, PWD
Development and Building Services

C: file

DRAINAGE INFORMATION SHEET

(REV. 11/01/2001)

J-17/D25

PROJECT TITLE: NM AIDS ADDITION ZONE MAP/DRG. FILE #: J-17
 DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOTS 17, 18 & 19, BLOCK 2, PUEBLO ALTO ADDITION
 CITY ADDRESS: 625 TRUMAN NE ALB, NM 8710

ENGINEERING FIRM: WALLA ENGINEERING CONTACT: MIKE WALLA
 ADDRESS: 6100 INDIAN SCHOOL RD NE PHONE: 581-2008 889-5390
 CITY, STATE: ALBU, NM ZIP CODE: 87110

OWNER: NM AIDS SERVICES CONTACT: _____
 ADDRESS: 625 TRUMAN NE PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: DE LA TORRE CONTACT: NICK PIRKL
 ADDRESS: 2700 LOUISIANA NE PHONE: 883-9718
 CITY, STATE: ALB, NM ZIP CODE: 87110

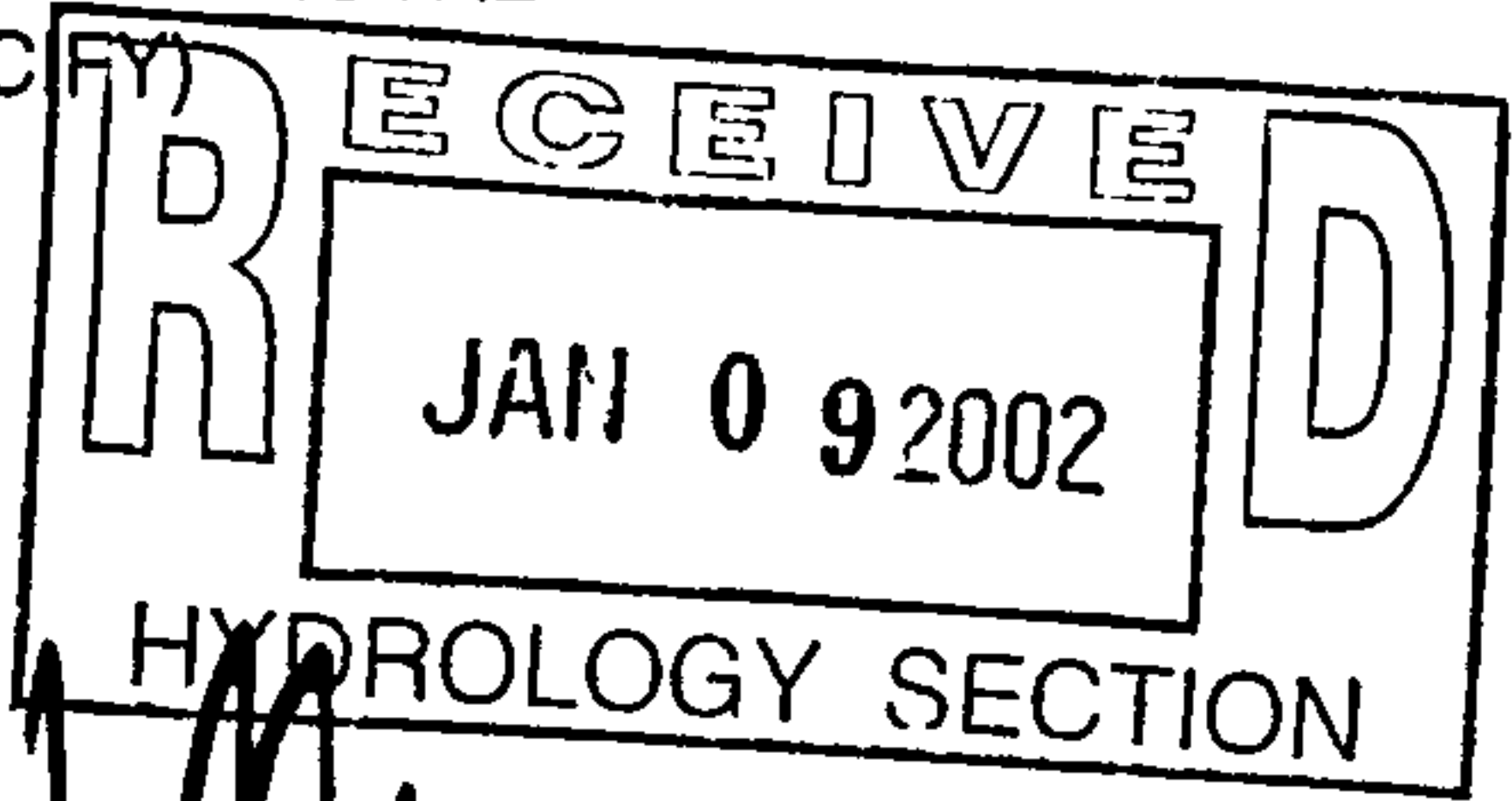
SURVEYOR: WAYJOHN SURVEYING CONTACT: THOMAS JOHNSTON
 ADDRESS: _____ PHONE: 255-2052
 CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: N/A CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

- CHECK TYPE OF SUBMITTAL:
- ☒ DRAINAGE REPORT
 - ☒ DRAINAGE PLAN
 - ☒ CONCEPTUAL GRADING & DRAINAGE PLAN
 - ☒ GRADING PLAN
 - ☐ EROSION CONTROL PLAN
 - ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
 - ☐ CLOMR/LOMR
 - ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
 - ☐ ENGINEERS CERTIFICATION (TCL)
 - ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
 - ☐ OTHER

- CHECK TYPE OF APPROVAL SOUGHT:
- ☐ SIA / FINANCIAL GUARANTEE RELEASE
 - ☐ PRELIMINARY PLAT APPROVAL
 - ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
 - ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
 - ☐ SECTOR PLAN APPROVAL
 - ☐ FINAL PLAT APPROVAL
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 - ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
 - ☐ GRADING PERMIT APPROVAL
 - ☐ PAVING PERMIT APPROVAL
 - ☐ WORK ORDER APPROVAL
 - ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:
☒ YES
☒ NO
☐ COPY PROVIDED



DATE SUBMITTED: 1/9/02 BY: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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City of Albuquerque

March 28, 2000

Mike Walla, P.E.
Walla Engineering, Ltd.
6100 Indian School Road, NE
Albuquerque, NM 87110

RE: GRADING & DRAINAGE PLAN FOR N.M. AIDS SERVICES, INC. (J-17/D025) ENGINEERS STAMP DATED 3/23/00 SUBMITTED FOR BUILDING PERMIT APPROVAL

Dear Mr. Walla,

Based upon the information provided in your March 23, 2000, submittal, the project referred to above is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to release of the Certificate of Occupancy, an Engineer Certification, per the DPM checklist, will be required.

If you have any questions, please call me at 924-3988.

Sincerely,

Stuart Reeder, P.E.

Stuart Reeder, P.E.
Hydrology Division

xc: Whitney Reiersen
File

PAM 5/23
J17-D25

Stuart
SO #19

City of Albuquerque
Public Works Department
505-924-3900 (main number)
505-924-3864 (fax number)
Development and Building Services (One Stop Shop)
Plaza Del Sol Building, 2nd Floor
600 2nd Street NW
Albuquerque, NM 87102

**City of Albuquerque
Public Works Dept.
Dev. & Bldg. Svcs.**

Fax

To: Mike Walla PE From: J MURRAY PE
Fax: 884-5390 Pages Sent: (including this page) 4
Phone: 881-3008 Date: 5/24/00
Time: 9:05 AM

☐ Urgent ☐ For Review ☐ Please Comment ☐ Please Reply ☐ Please Recycle

FYI

Comments:

G&D R - NM AIDS SERVICES,
SO #19 Rag'd

DRAINAGE INFORMATION

PROJECT TITLE NEW MEXICO AWS SERVICES INC. ZONE ATLAS/DRNG. FILE #: J-17/0025
DRB#: _____ EPC #: _____ WORK ORDER #: _____
LEGAL DESCRIPTION: LOTS 17, 18, & 19, BLOCK 2 OF PUEBLO ALTO ADDITION, ALBUQUERQUE, BERNILLO
CITY ADDRESS: 625 TRUMAN NE, ALBUQ, NM COUNTY, NEW MEXICO
ENGINEERING FIRM: WALLA ENGINEERING, LTD CONTACT: MIKE J. WALLA
ADDRESS: 6000 INDIAN SCHOOL NE PHONE: 881-3008
OWNER: NM AWS SERVICES CONTACT: _____
ADDRESS: 625 TRUMAN NE PHONE: _____
ARCHITECT: DE LA TORRE ARCHITECTS CONTACT: NICK PIRKL
ADDRESS: 2400 LOUISIANA BLVD NE, BLDG 3, SUITE 110 PHONE: 883-7918
SURVEYOR: WAYJOHN SURVEYING CONTACT: THOMAS JOHNSTON
ADDRESS: _____ PHONE: 255-2052
CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

____ DRAINAGE REPORT
☒ DRAINAGE PLAN
____ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
____ EROSION CONTROL PLAN
____ ENGINEER'S CERTIFICATION
____ OTHER

PRE-DESIGN MEETING:

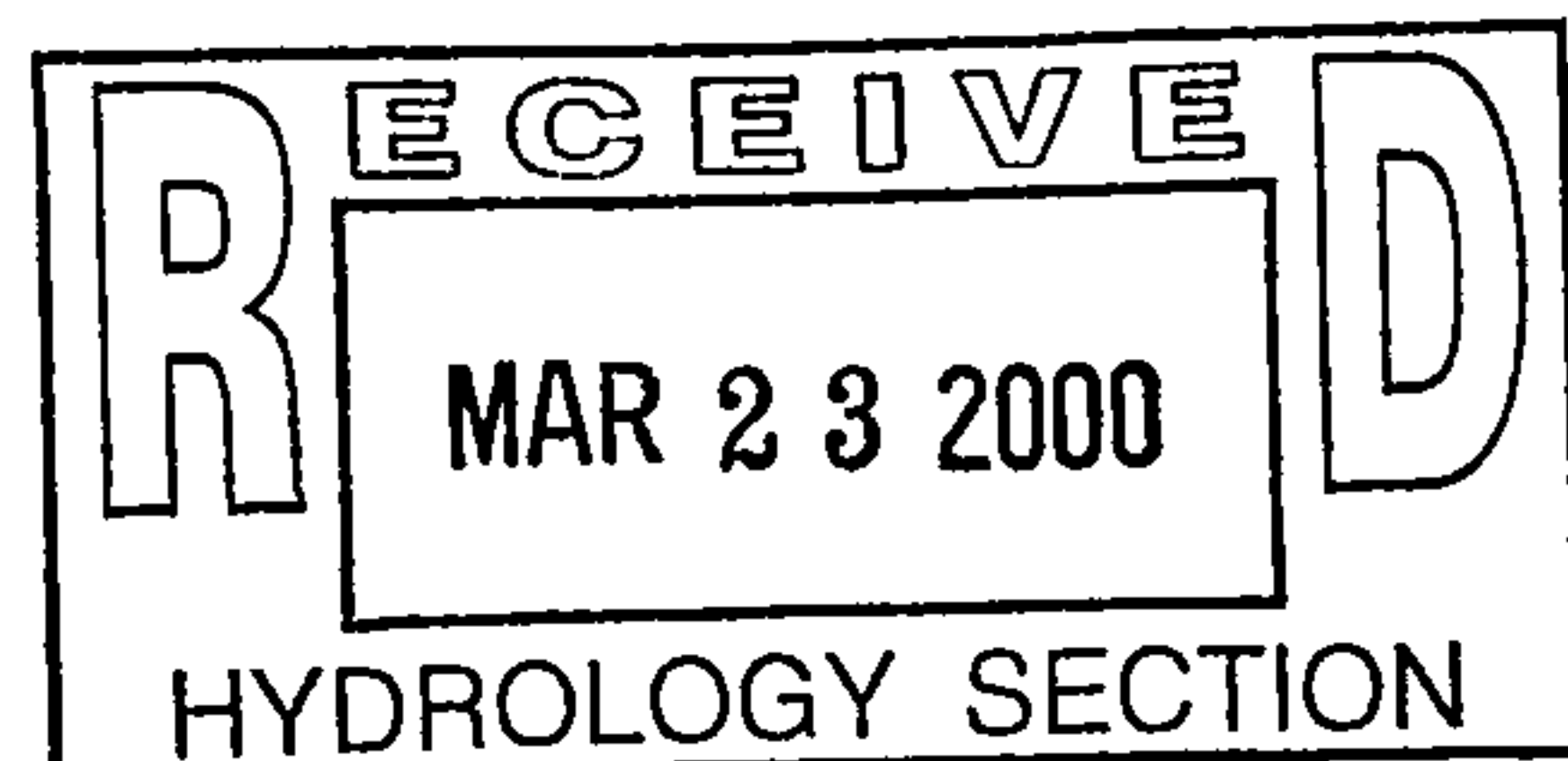
____ YES
____ NO
____ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

____ SKETCH PLAT APPROVAL
____ PRELIMINARY PLAT APPROVAL
____ S. DEV. PLAN FOR SUB'D. APPROVAL
____ S. DEV. PLAN FOR BLDG. PRMT. APPROVAL
____ SECTOR PLAN APPROVAL
____ FINAL PLAT APPROVAL
____ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY APPROVAL
____ GRADING PERMIT APPROVAL
____ PAVING PERMIT APPROVAL
____ S.A.D. DRAINAGE REPORT
____ DRAINAGE REQUIREMENTS
☒ OTHER 50#19 (SPECIFY)

DATE SUBMITTED: 3/23/00

BY: [Signature]





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Public Works Department
Transportation Development Services Section***

January 15, 2002

Nick PirkI for Jorge De La Torre, Registered Architect
De La Torre Architects, P.A., AIA
2400 Louisiana Blvd. N.E.
Albuquerque, NM 87110

Re: TCL Submittal for Building Permit Approval for
N.M. Aids Services, [J17 / D025]
634 Manzano N.E.
Architect's Stamp Dated 12/05/02

Dear Mr. PirkI:

The location referenced above is not acceptable and requires modification to the Traffic Circulation Layout (TCL) prior to Building Permit release as stated on the attached PRELIMINARY TCL checklist, and red-lined TCL markup with comments.

Please resubmit revised TCL after addressing typed and marked up comments. Submit plan along with mark up, marked up checklist and all previous red-lined, mark-up copies.

Sincerely,

Mike Zamora
Commercial Plan Checker
Development and Building Services
Public Works Department

c: Engineer
Hydrology File
Mike Zamora

DRAINAGE INFORMATION SHEET
(REV. 11/01/2001)

J-17/D25

PROJECT TITLE: N.M. AIDS SERVICES ZONE MAP/DRG. FILE #: 9707
DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: _____
CITY ADDRESS: 634 Manzano NE

ENGINEERING FIRM: WALLA ENGINEERING
ADDRESS: 6100 INDIAN SCHOOL # 210
CITY, STATE: ALBUQUERQUE NM

CONTACT: MIKE WALLA
PHONE: 881-3008
ZIP CODE: 87110

OWNER: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

ARCHITECT: DE LA TORRE BLDG 3 #110
ADDRESS: 2402 LOUISIANA
CITY, STATE: ALBUQ. NM

CONTACT: NICK PEREL
PHONE: 883-7918
ZIP CODE: 87110

SURVEYOR: WAY JOHN
ADDRESS: _____
CITY, STATE: ALBUQ NM

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

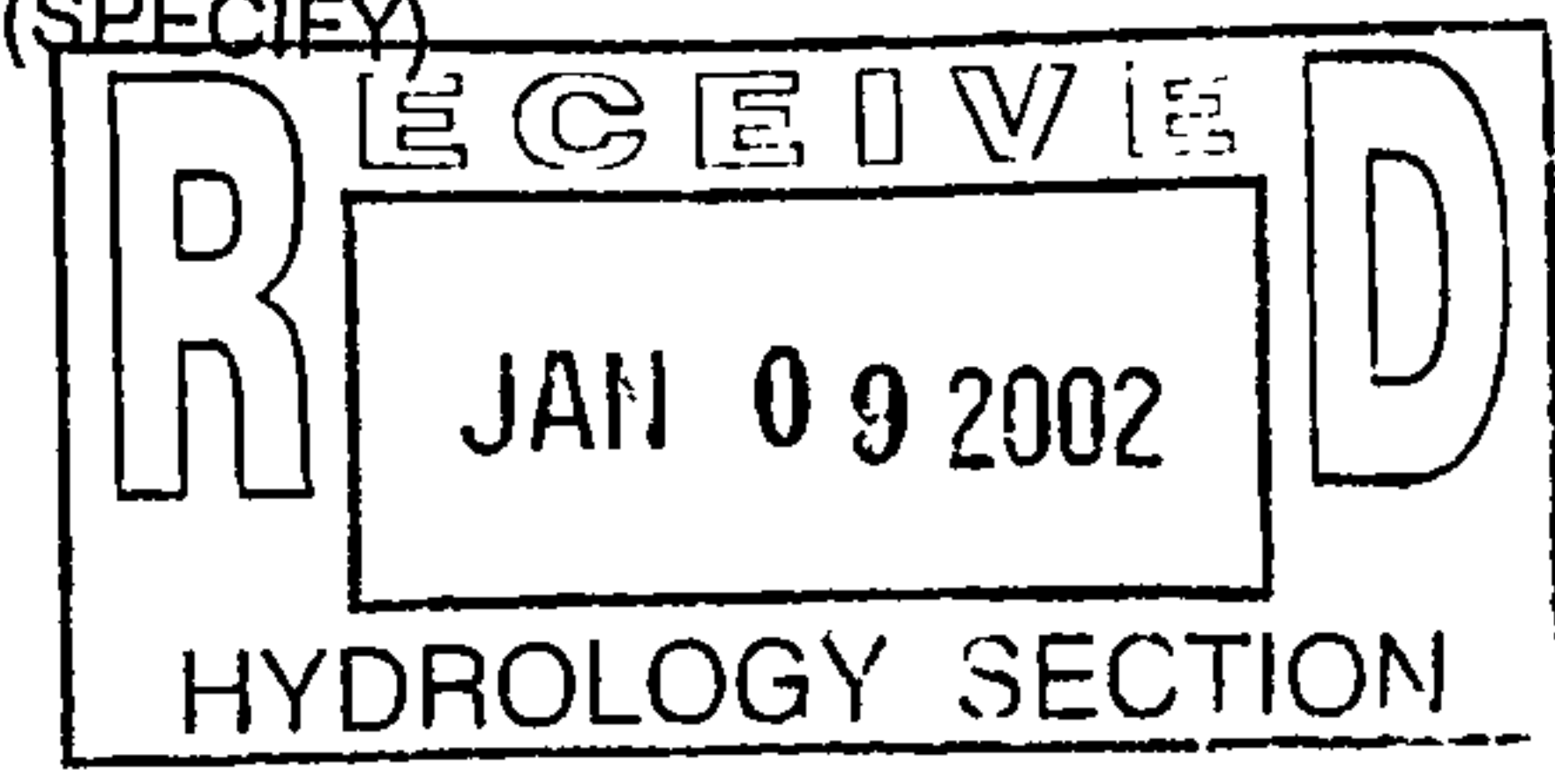
- ☐ DRAINAGE REPORT
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- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

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- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 1-9-02 BY: MIKE WALLA

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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1/15/02 - C'd Arch.

CITY OF TULSA
PLANNING DEPARTMENT
7-20-01

TRAFFIC CIRCULATION LAYOUT SITE PLAN CHECKLIST

REVISED DRAFT 9/18/01

PRELIMINARY

The City Zoning Code requires the design of access and circulation for parking areas and drive through facilities to be satisfactory to the Traffic Engineer. The design of these parking areas is a melding of a number of objectives of a development including safety, efficiency, aesthetics, etc. From a vehicular transportation point of view, one of the most critical areas of concern is the location and manner of access from the adjacent street. The interface of the development adjacent to these areas also plays a major role in how safely and efficiently they operate. These guidelines for the layout of the parking areas represent engineering design standards that will result in good operational and safety characteristics. However, with the many variables in design and unique characteristics that can be encountered, the designer may need to investigate other means of satisfying desirable operational and safety characteristics. Prior to embarking on a design for these unusual conditions, the designer should contact the Traffic Engineer to reach agreement on the modifications to these guidelines. Traffic Circulation Layout (TCL) Site Plans are required for commercial and institutional buildings, multi-family residential buildings and commercial additions of 500 square feet or more.

NOTE: The following checklist is intended to be used as a guide for preparing your Traffic Circulation Layout Plan to meet any or all of the traffic requirements. It is only a guide. Some items may not be applicable to your particular project; some items may require more detail.

I. General Information:

- ☒ A. Completed Drainage/TCL Information Sheet-(DPM Volume 1, Chapter 17)
- ☒ B. Planning History-Relationship to approved site plans, masterplans, and/or sector plans site
- ☒ C. Description:
 - ☒ 1. Vicinity map (zone atlas map) showing location of the development in relation to well-known landmarks, municipal boundaries and zone atlas map index number
 - ☒ 2. Address and legal description or copy of current plat
 - ☒ 3. All requests for variances from policies, ordinances or resolutions which are necessary to implement this plan must be specifically identified
 - ☒ 4. Type of development (restaurants, banks, convenience markets, service station, super markets, auto car wash, etc.)
 - ☒ 5. Size of development
 - ☒ 6. Parking spaces required by Zoning Code or prior EPC approved Site Development Plan
 - ☒ 7. Executive Summary-Provide a brief yet comprehensive discussion of the following:
 - ☒ a. General project location
 - ☒ b. Development concept for the site
 - ☒ c. Traffic circulation concept for the site
 - ☒ d. Impact on the adjacent sites
 - ☒ e. Reference any applicable Traffic Impact Studies (TIS) or previously approved plans
 - ☒ f. Variance required to accommodate unusual site constraints

II. Plan Drawings:

- A. Professional Architect's/Engineer's stamp with signature and date
- B. Drafting standards: (Reference City Standards, DPM Volume 2, Chapter 27)
 - ✓ North Arrow
 - ✓ Scales-recommended engineer scales:
 - a. 1" = 20' for sites less than 5 acres
 - b. 1" = 50' for sites 5 acres or more
 - ✓ Legend-see DPM manual, Volume 2, Tables 27.3a-27.3d for recommended standard symbols
 - ✓ Plan drawings size: 24" x 36"
 - 5. Notes defining property line, rights-of-way, signs, street lights, fire hydrants, medians, water meter boxes, pavement limits and types, sidewalks, landscape areas, project limits, and all other areas whose definition would increase clarity
- C. Existing Conditions:
 - 1. On-site
 - a. Identification of all existing buildings, doors, structures, sidewalks, curbs, drivepads, walls, etc., and anything that influences parking and circulation of the site
 - ~~b.~~ Indication of all access existing easements and rights-of-way on or adjacent to the site with dimensions and purpose shown
 - 2. Off-site
 - a. Identification of the right-of-way width, medians, curb cuts, street widths, etc. (both sides of street), sidewalks
- D. ^{NEW} Proposed Conditions: ^{NEW} Proposed conditions should generally be superimposed on the drawings showing existing on-site and off-site conditions. Separate sheets may be used for on-site and off-site areas depending upon circumstances.
 - 1. On-site
 - ~~a.~~ Indication of all proposed access easements and rights-of-way on or adjacent to the site with dimensions and purpose shown
 - ~~b.~~ Slopes
 - ~~(1)~~ Parking areas 1% min to 8% max
 - ~~(2)~~ Parking areas adjacent to major circulation aisles or adjacent to major entrances 1% min to 6% max
 - ~~(3)~~ ~~Handicap parking 1% min to 2% max~~
 - ~~(4)~~ Handicap ramps ~~with slope of 12:1~~ must be provided where the sidewalk area where curbs intersect the pedestrian access to the building
 - ~~c.~~ Clearly delineate project phasing. A key map is recommended.
 - ~~d.~~ Parking stall sizes: (Reference City Standards, DPM, Figure 23.7.1)

e.

Circulation:

- (1) General layout dimensions: Figure 23.7.1 provides the layout relationships between parking stalls and aisle widths for both large and small car parking areas
- (2) Treatment of access points-Discuss how the curb cuts and/or drivepads comply with Chapter 23, Section 6
- (3) Internal aisle connection:
 - ~~(a)~~ Parking lots with parking spaces, spaces greater than or equal to 100 must have landscaped islands at the ends of each row of parking
 - (b) Landscape island radius for passenger car is 15 feet (see DPM Figure 23.7.2)
 - ~~(c)~~ Landscape island radius for delivery trucks, fire trucks, etc. is 25 feet or larger (see DPM figure 23.7.2)
- ~~(4)~~ Maximum aisle lengths: Aisle lengths required: 300-400 feet without internal circulation between aisles
- (5) Sidewalk connections:
 - ~~(a)~~ ~~Provide a 4' sidewalk from the public sidewalk to the buildings within the development.~~
 - (b) Provide a min 5' wide sidewalk when the stall will overhang the sidewalk
 - ~~(c)~~ Clear pedestrian route accessible should be provided when the parking space may overhang the sidewalk
- ~~(6)~~ Curbing: Provide a min 6" or max 8" high concrete barrier curb between landscaping and parking areas and/or drive aisles
- ~~(7)~~ Fire and emergency access: Provision for access by fire and emergency vehicles needs to be in accordance with the Albuquerque Fire Plan Checking Division
- ~~(8)~~ Service Areas:
 - ~~(a)~~ Circulation:
 - 1) Design vehicle route needs to be shown
 - 2) No truck ramps, refuse/compactors or similar facilities permitted within circulation aisle
 - ~~(b)~~ No backing into or from public street allowed
 - ~~(c)~~ Service vehicle and/or refuse vehicle maneuvering must be contained on-site
 - ~~(d)~~ Aisle width required:
 - 1) Two-way traffic is 30'
 - 2) One-way traffic is 20'

- (9) Layout of large parking area: (400 spaces or more)
- (a) Main aisles should provide good pedestrian and vehicle visibility and access
- 1) Parking spaces shall not back into the main aisle
 - 2) Provide good pedestrian/vehicle visibility at main aisle
 - 3) Twenty-eight foot (28') is the maximum width for main aisle adjacent to building frontages
- (b) Ring roads or partial ring roads are required for shopping centers larger than 250,000 square feet of building area
- 1) Widths shall be determined based on traffic volumes
 - 2) Centers of 500,000 square feet may require turning lanes or additional lanes to accommodate projected traffic volumes

(10) Signing, Striping: Adequate signing and striping needs to be incorporated into the design of the parking area which will help to convey to the motorist the proper use of the facility

- E. Access point lanes and queuing: (See Table 23.7.1)
- F. Drive through facilities-Discuss compliance with Chapter 23, Section 7
1. Off-site
 - a. Rights-of-way and easements to accommodate existing or proposed public street infrastructures shall be provided when necessary to support this development
 - b. Handicap ramps are required at street corners if site abuts the corners-
- CORNERS



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Public Works Department
Transportation Development Services Section***

January 22, 2002

Nick Pirkl for Jorge De La Torre,, Registered Architect
De La Torre Architects, P.A., AIA
2400 Louisiana Blvd. N.E.
Albuquerque, NM 87110

Re: Traffic Circulation Layout (TCL) Submittal for Building Permit Approval for
N.M. Aids Services, [J17 / D025]
634 Manzano N.E.
Architect's Stamp Dated 01/17/02

Dear Mr. Pirkl:

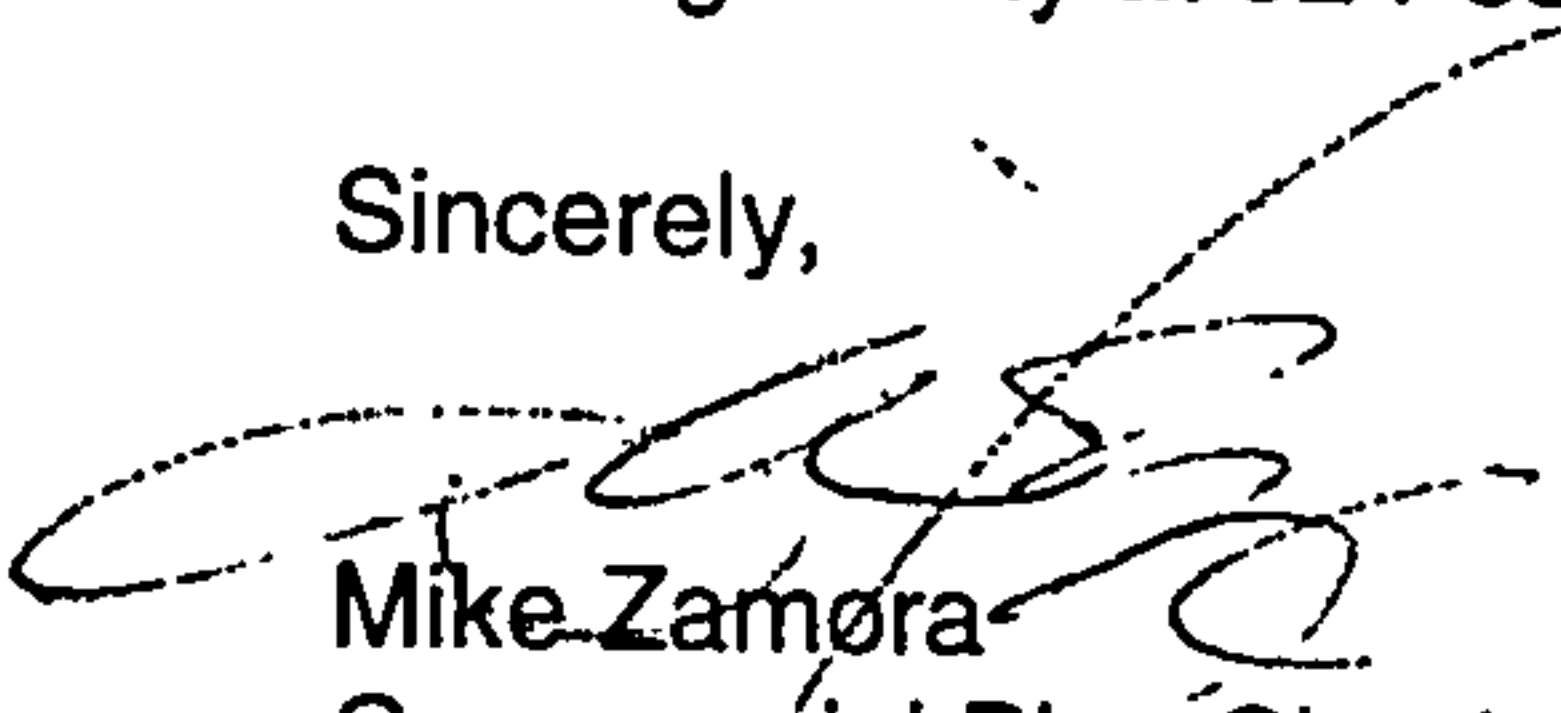
The TCL submittal, dated Jan. 22, 2002, is sufficient for acceptance by this office and is stamped and signed as such. In the future four copies will be required: two for submittal of building permit plans, one for this office and one to be kept by you to be used for certification of the site for final C.O. for Hydrology/Transportation. On this project, the three copies submitted by your office are being returned and the copy for this office's files was made here.

When superintendent of project is ready to call for a Temporary C.O. immediate issuance is no longer possible at that time. An exact copy of the approved TCL, marked up, showing incomplete work remaining, along with a letter of certification is required prior to issuance of Temporary C.O. If project is one of multiple phases, Barricading Plan is needed clearly illustrating how vehicles using this site will be directed away from coming phases not completed or yet begun.

When site is complete and a Final C.O. is needed, a Letter of Certification, stating site was built in substantial compliance, needs to be attached to your stamped, approved TCL letter or TCL must be stamped with the designer's seal for the certification. Seal must be signed and dated for that submittal. This and all documentation must be submitted with a completed Drainage Information Sheet (also used for the Grading and Drainage submittal) to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that Final C.O. has been issued for this address, call Building Safety at 924-3306.

Sincerely,


Mike Zamora
Commercial Plan Checker
Development and Building Services
Public Works Department

c: Hydrology file
Mike Zamora

DRAINAGE INFORMATION SHEET
(REV. 11/01/2001)

PROJECT TITLE: NM AIDS SERVICES - 2 ZONE MAP/DRG. FILE #: J17/10025
DRB #: N/A EPC#: N/A WORK ORDER#: _____

LEGAL DESCRIPTION: Lot 16A & Lots 17-21, Block 2, Pueblo Acre Addition
CITY ADDRESS: 634 MARIZANO NE, 87110

ENGINEERING FIRM: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

OWNER: NM AIDS SERVICES
ADDRESS: 625 TRUMAN NE
CITY, STATE: ALB, NM

CONTACT: KEVIN HOOVER
PHONE: 938-7100
ZIP CODE: 87110

ARCHITECT: de la Torre Architects
ADDRESS: 2400 LOUISIANA NE, Side 3, Suite 100
CITY, STATE: ALB, NM

CONTACT: NICK ARKL
PHONE: 883-7918
ZIP CODE: 87110

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

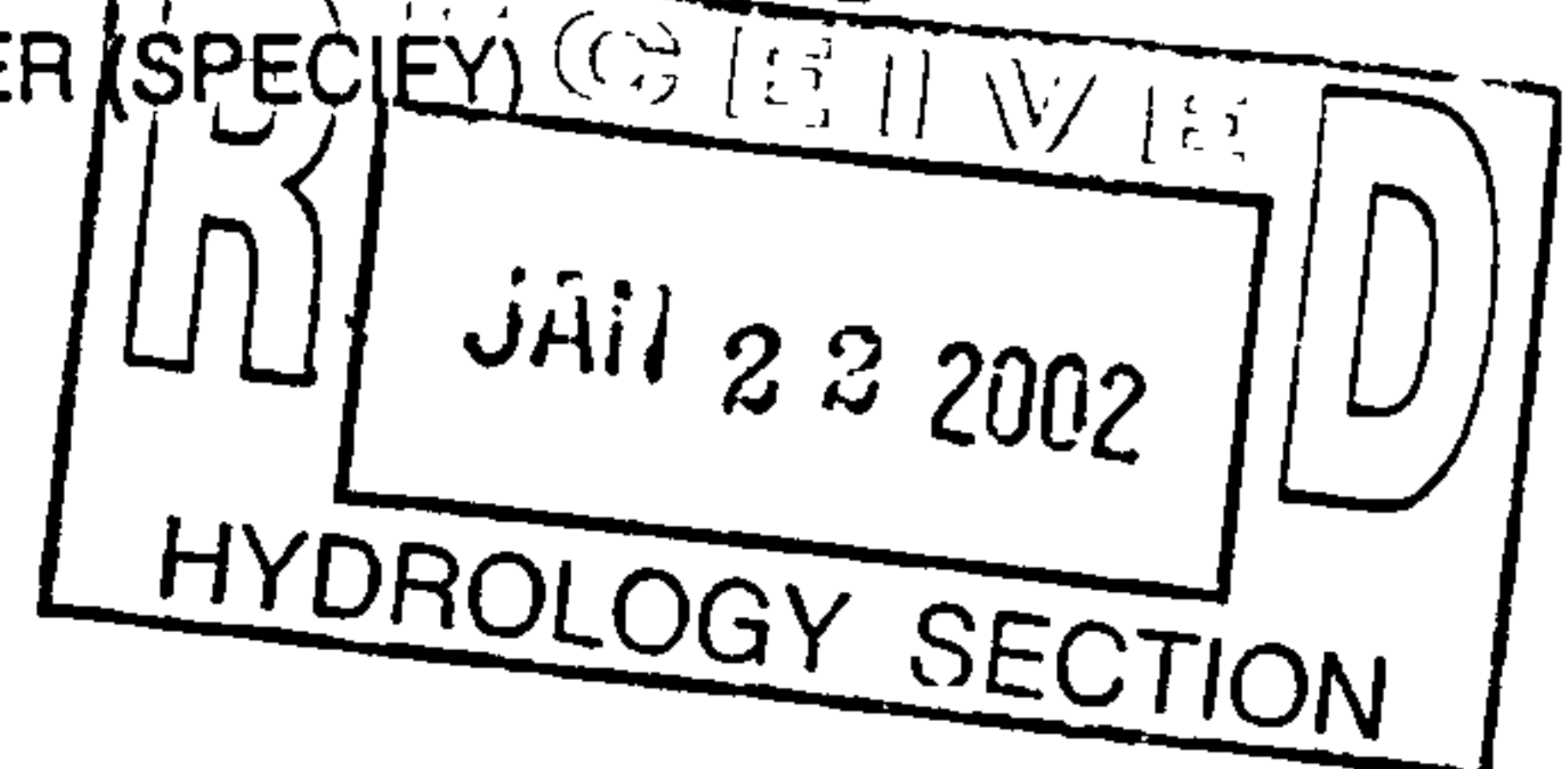
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
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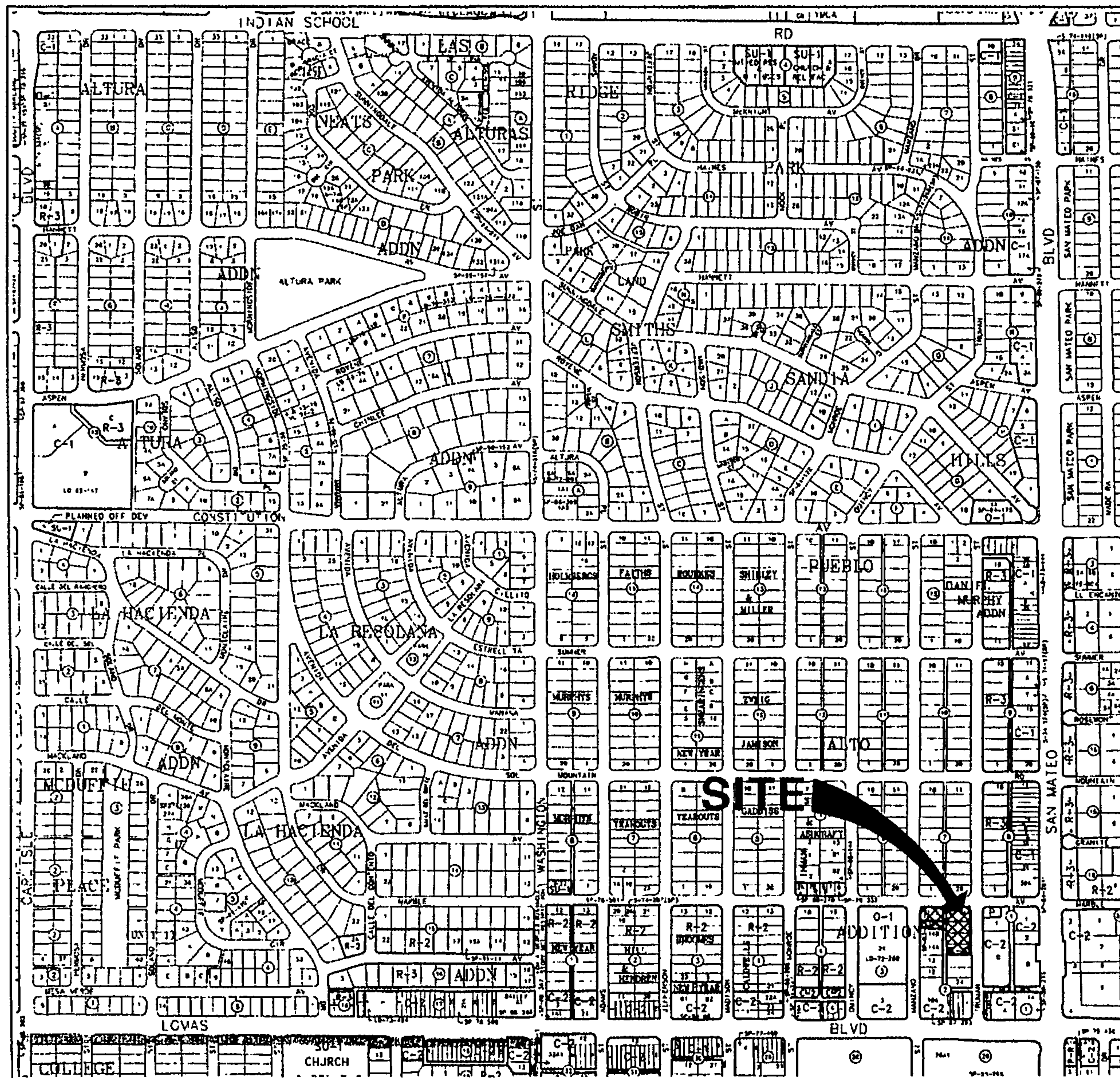


DATE SUBMITTED: 1-22-02 BY: REDAPD

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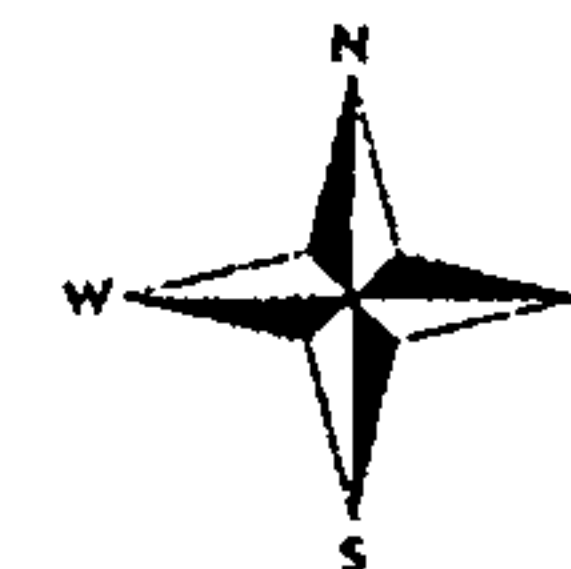
VICINITY MAP:



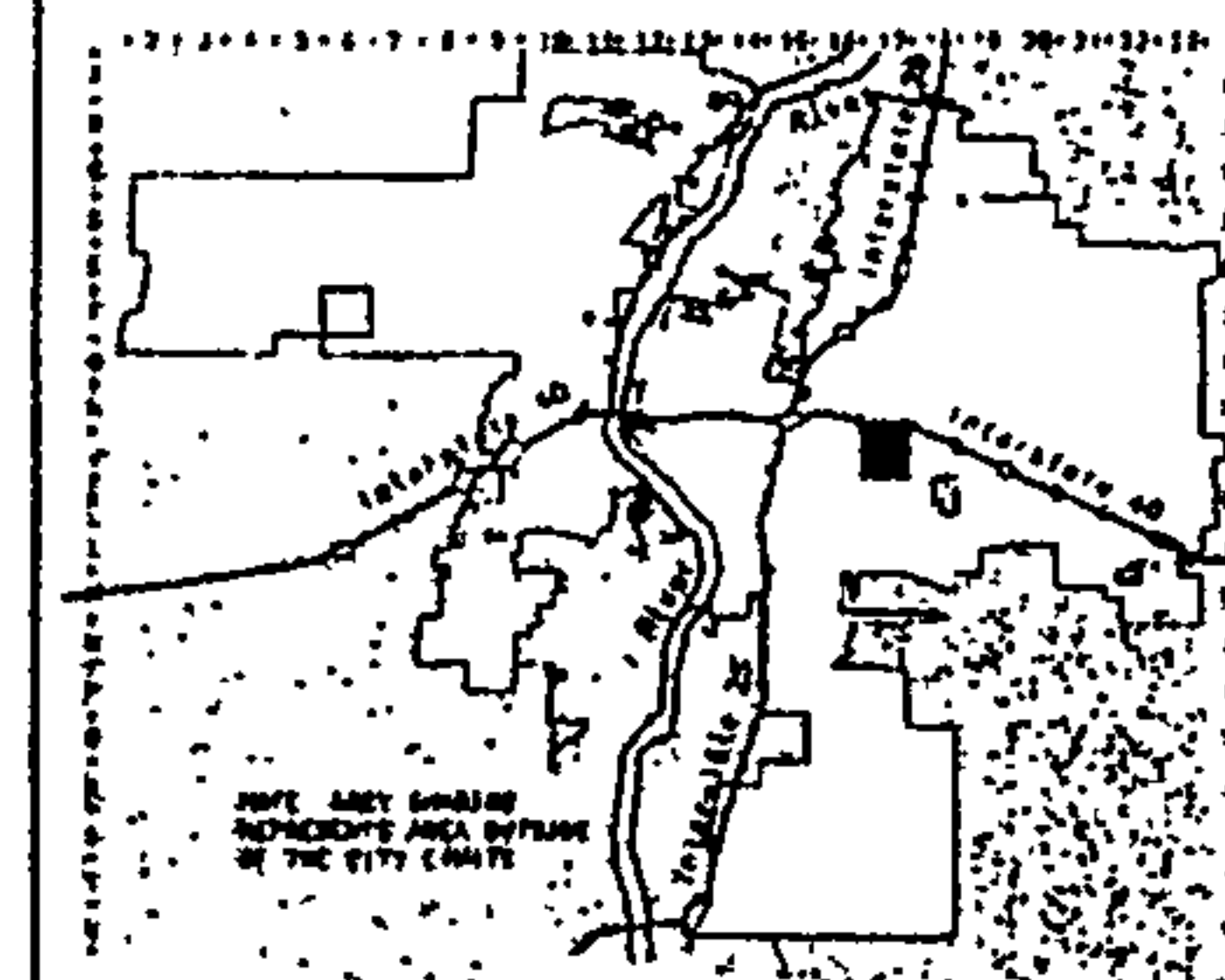
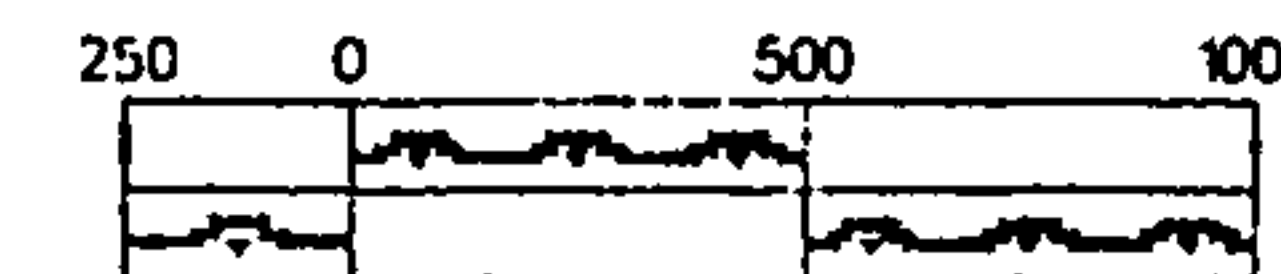
CITY OF
Albuquerque

Albuquerque Geographic Information System
PLANNING DEPARTMENT

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GRAPHIC SCALE IN FEET



Zone Atlas Page
J-17-Z

Map Amended through
February 27, 1996

RECEIVED
JAN 23 2002
HYDROLOGY SECTION