



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 22, 2003

Chris Weiss, P.E.  
C.L. Weiss Engineering, Inc.  
P.O. Box 97  
Sandia Park, New Mexico 87047

**RE: INDIAN SCHOOL RD TRIPLEX (J-17/D26)**  
**(4718 Indian School Rd NE)**  
**CERTIFICATE OF OCCUPANCY APPROVAL-*Temporary***  
**ENGINEERS CERTIFICATION DATED 4/14/2003**

Dear Mr. Weiss:

Based on the information provided in your submittal dated 4/18/2003, the above referenced project is approved for a **TEMPORARY** Certificate of Occupancy.

A Temporary Certificate of Occupancy has been issued for 30 days, allowing the remaining drainage issue to be completed within this time scope:

- Evidence of an SO19 is required with your Engineers Certification including the City's storm drainage maintenance inspector's signature prior to approval of the Permanent Certificate of Occupancy as per the Design Process Manual (DPM) Chapter 17 "Private Storm Drain Facilities within a City Right-of-Way and/or Easement"

After the outstanding drainage issue has been addressed, a Permanent Certificate of Occupancy may be issued.

If I can be of further assistance, please feel free to contact me at 924-3981.

Sincerely,

Teresa A. Martin  
Hydrology Plan Checker  
Development and Building Services Division  
BUB

c: Certificate of Occupancy Clerk, COA  
✓ Drainage file  
Approval file

**DRAINAGE INFORMATION SHEET**  
(REV. 11/01/2001)

J-17/D26

PROJECT TITLE: Indian School Triplex

ZONE MAP / DRG. FILE # J-17

DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_

WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: Lot 3, Block 4, Ridge Park, Albuquerque, Bernalillo County, New Mexico

CITY ADDRESS: 4718 Indian School Road NE

ENGINEERING FIRM: C.L. Weiss Engineering

ADDRESS: P.O. Box 97

CITY, STATE: Sandia Park, New Mexico

CONTACT: Chris Weiss

PHONE: 281-1800

ZIP CODE: 87047

OWNER: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_

PHONE: \_\_\_\_\_

ZIP CODE: \_\_\_\_\_

ARCHITECT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_

PHONE: \_\_\_\_\_

ZIP CODE: \_\_\_\_\_

SURVEYOR: Forstbauer Surveying

ADDRESS: 4116 Lomas Blvd. NE

CITY, STATE: Albuquerque, New Mexico

CONTACT: Ron Forstbauer

PHONE: 268-2112

ZIP CODE: 87110

CONTRACTOR: JMS Construction

ADDRESS: P.O. Box 21027

CITY, STATE: Albuquerque, New Mexico

CONTACT: Jim McClintic

PHONE: \_\_\_\_\_

ZIP CODE: 87154

**CHECK TYPE OF SUBMITTAL:**

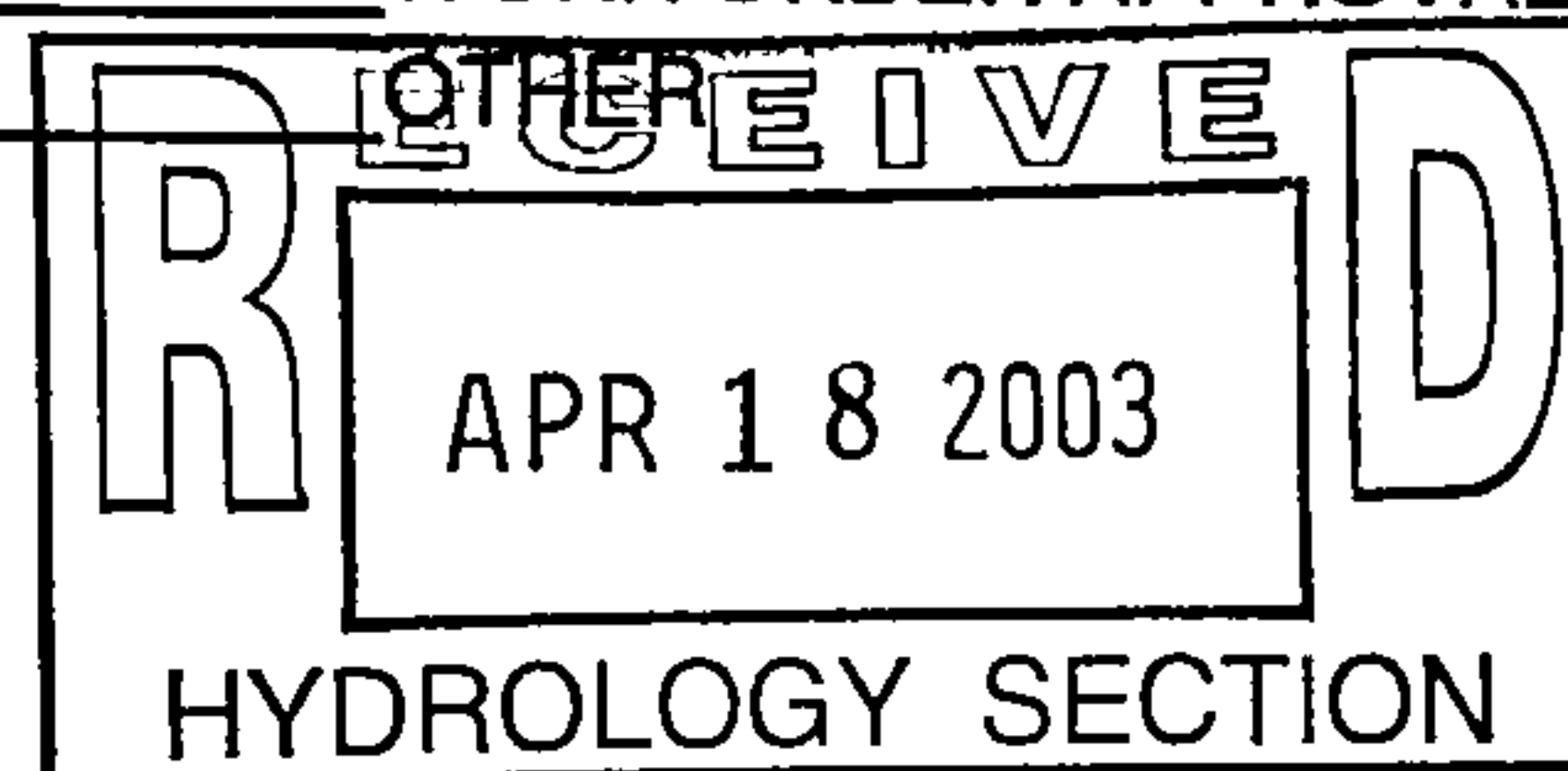
- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☒ ENGINEER'S CERTIFICATION (HYDROLOGY)  
☐ CLOMR / LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ ENGINEER'S CERTIFICATION (TCL)  
☐ ENGINEER'S CERTIFICATION (DRB APPR, SITE PLAN)  
☐ OTHER

**CHECK TYPE OF APPROVAL SOUGHT:**

- ☐ SIA / FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PERMIT APPR.  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM)  
☒ CERTIFICATE OF OCCUPANCY (TEMP)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER

**WAS A PRE-DESIGN CONFERENCE ATTENDED:**

- ☐ YES  
☒ NO  
☐ COPY PROVIDED



DATE SUBMITTED: Friday, April 18, 2003

BY: C.L. Weiss Engineering, Inc.

Requests for approvals of Site Development Plans and / or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five acres
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five acres
3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five acres or more.



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

November 8, 2002

Chris Weiss, PE  
C.L. Weiss Engineering, Inc.  
PO Box 97  
Sandia Park, NM 87047

**Re: Indian School Triplex Grading and Drainage Plan**

**Engineer's Stamp dated 11-7-02, (J17/D26)**

**4718 Indian School Rd. NE**

Dear Mr. Weiss,

Based on information contained in your submittal dated 11-7-02, the above referenced plan is approved for Building Permit and SO#19 Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

A separate permit is required for construction within City R/W. A copy of this approval letter must be on hand when applying for the excavation permit.

Also, prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE  
Sr. Engineer, Planning Dept.  
Development and Building Services

C: file

**DRAINAGE INFORMATION SHEET**  
(REV. 11/01/2001)

ZONE MAP / DRG. FILE #: J-17  
WORK ORDER #:

PROJECT TITLE: Indian School Triplex

DRB #: EPC #:

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ENGINEERING FIRM: C.L. Weiss Engineering

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CITY, STATE: Sandia Park, New Mexico

CONTACT: Chris Weiss

PHONE: 281-1800

ZIP CODE: 87047

OWNER:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

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ARCHITECT:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

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☐ ENGINEER'S CERTIFICATION (TCL)  
☐ ENGINEER'S CERTIFICATION (DRB APPR, SITE PLAN)  
☐ OTHER

**CHECK TYPE OF APPROVAL SOUGHT:**

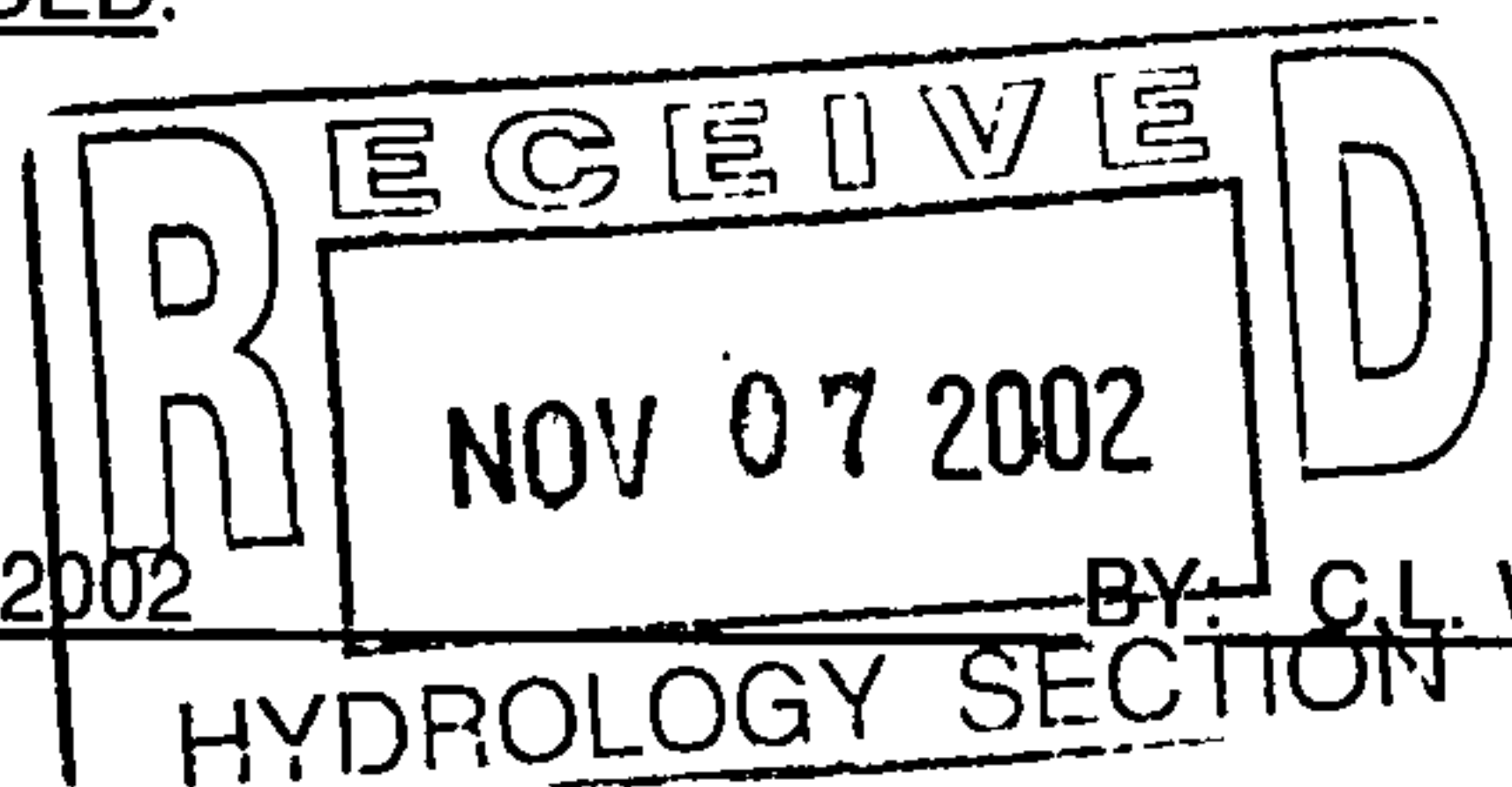
- ☐ SIA / FINANCIAL GUARANTEE RELEASE  
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☐ CERTIFICATE OF OCCUPANCY (TEMP)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☒ OTHER 5019

**WAS A PRE-DESIGN CONFERENCE ATTENDED:**

- ☐ YES  
☒ NO  
☐ COPY PROVIDED

DATE SUBMITTED: Thursday, November 07, 2002

BY: C.L. Weiss Engineering, Inc.



Requests for approvals of Site Development Plans and / or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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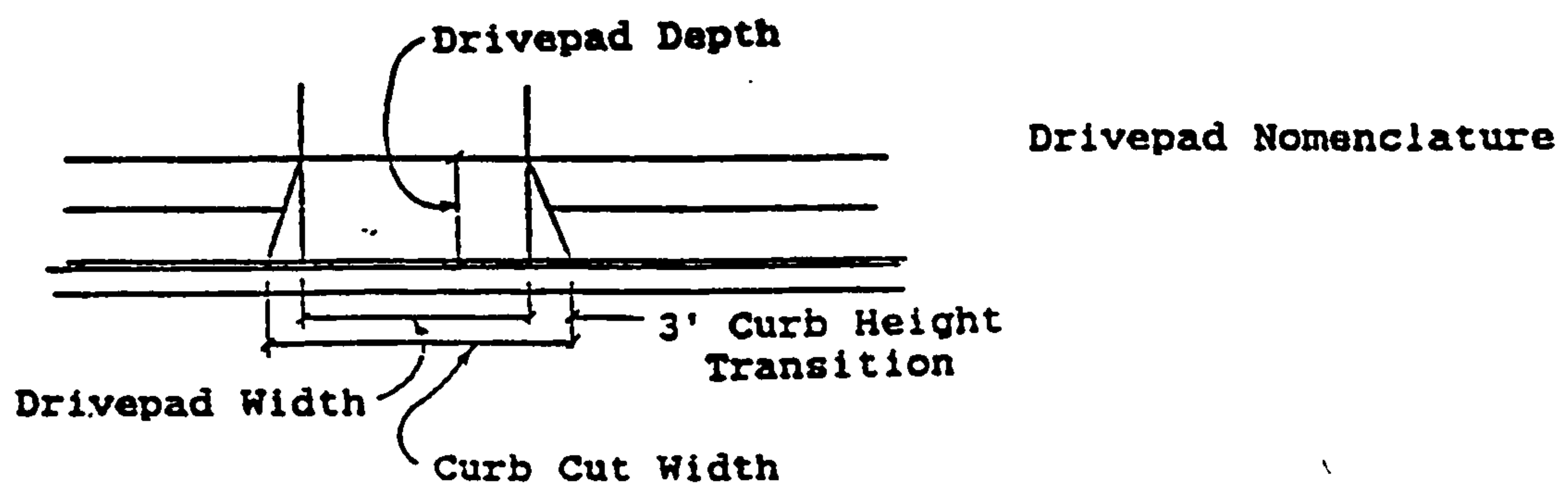
## Section 6. CURB CUTS AND DRIVEPADS

\* Indicates regulation as established by Curb Cut Ordinance Article 8-13 R.O. 1974

### A. Residential Curb Cut Requirements

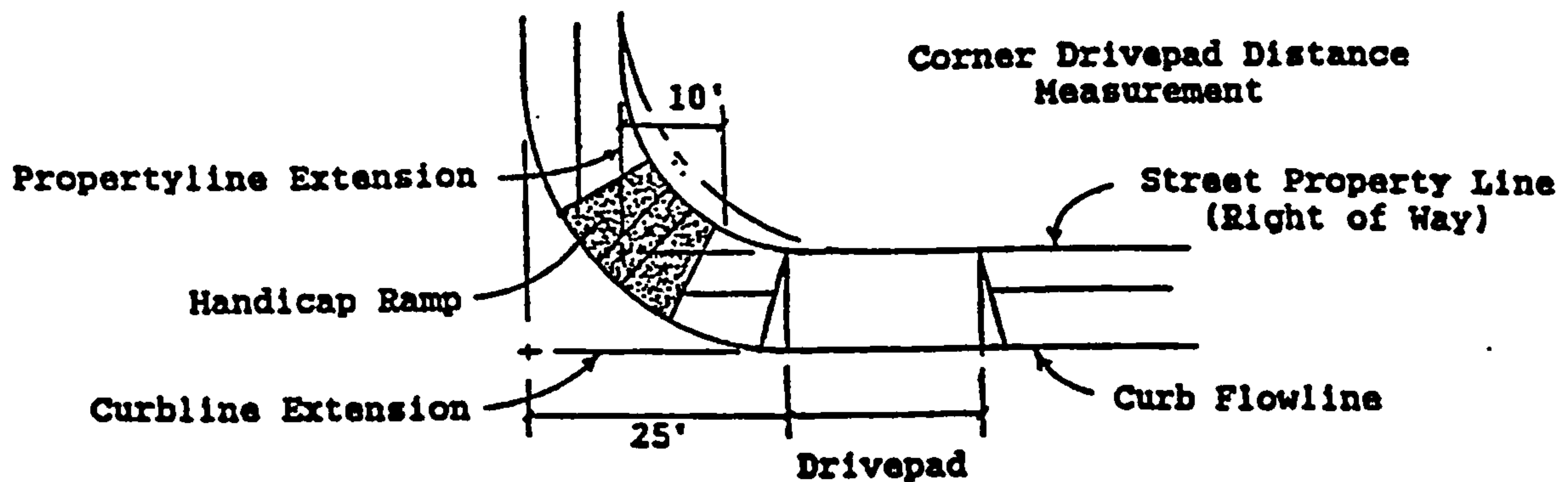
This section applies to applications for curb cuts for single family, townhouse and duplex residences with individual lots.

1. Private driveway access to single family lots is not permitted on principal arterial, minor arterial, or collector streets. Access to single family lots is discouraged on major local streets.
2. \*The width of drive allowed is 12-22' - Exceptions: 3 Car Garage, Parking of Recreation Vehicle or Boat off-street. Verification is needed for these exceptions. The drivepad can then be increased to 30' in width.
3. Common Drives - This is a common entrance area from the curb to the back of sidewalk. The driveways can be separated beyond the back edge of the sidewalk. The width allowed is up to 40' total. A letter of concurrence, signed by both property owners, needs to be provided prior to issuance of the permit.
4. Townhouses - For very small lots (40' frontage or less), the drives should be located such that drives are common for two lots, leaving some on-street parking area.
5. \*The minimum distance between two drives on one lot is 22' of full height curb (6' is necessary for two curb height transitions for a total of 28' between the two drivepads).
6. \*The minimum distance (for other than common drives) from the property line is 5-1/2' (3' transition + 2-1/2' separation to the property line). This can be reduced to 3' if:
  - a. the drivepad for the adjacent lot is on the other side of the lot, and
  - b. the owner presents a letter from the adjacent property owner agreeing to this reduction.

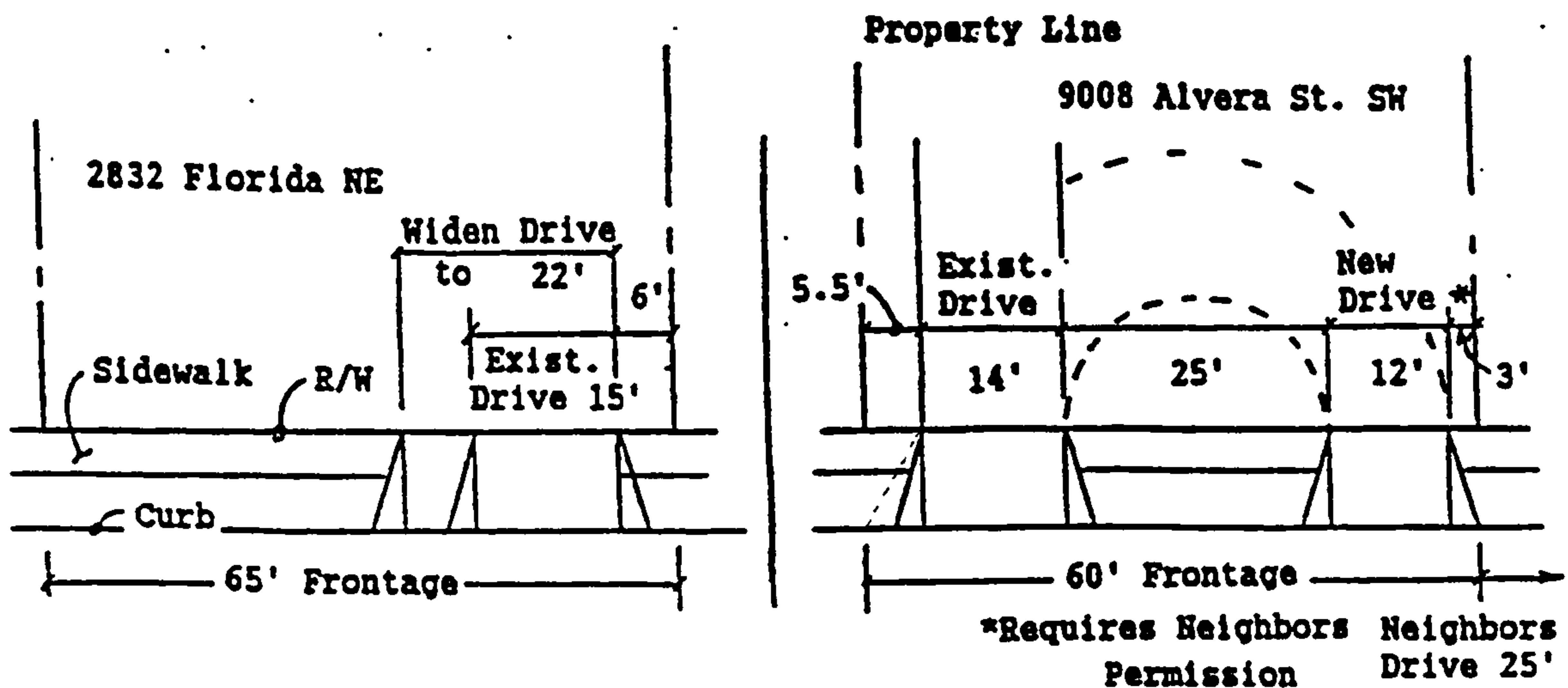


**Chapter 23 - Transportation Design**

7. \*The minimum length of frontage for two drives is 60'. Exception: Where frontage is on a street classified as collector or arterial the minimum is reduced to 50'
8. \*Corner Properties - There are two governing conditions for the location of the drivepad:
  - a. A minimum of 25' from the face of curb from the point of intersection of the two curblines extended.
  - b. 10' from the point of intersection of the two property lines extended  
The greater distance from the corner governs.



9. Drives are not to be located on major streets (collector or arterial streets) unless that street is the only frontage. Where this condition occurs the required width of drive is 16' minimum to a 25' maximum.

**Sample Drawings for Curb Cut Permits**

There are two permits necessary to construct a driveway. These are: 1. Curb Cut Permit, 2. Excavation/Barricading Permit. Permits are to be obtained in the order stated. The requirements for each of these permits is described below.

**1. Curb Cut Permit Obtained from BARRICADING AND PERMITS (4<sup>th</sup> FLOOR PLAZA DEL SOL)**

In order to obtain a curb cut permit, a scaled site plan (see following sample drawings) is necessary to review its compliance with current policy. A curb cut permit is required for any construction in the street R/W which will permit access to a site. If the plan is in conformance with current policy, then a curb cut permit will be issued. A building permit signed by Transportation Development does not require a separate curb cut permit plan.

**a. For Residential Driveways - Single Family and Townhouse type developments**

The site plan needs to show the following elements:

1. The street name (s), address, width of lot along the street(s).
2. Any existing driveways and obstacles such as fire hydrants, street lights etc. - width and location.
3. Show new driveway or modification - width and location.
4. If the driveway is to be located closer than 5.5' from the property line, a letter of concurrence signed by the neighbor affected is required. Also, the width and location of the neighbors drive is needed.
5. If a common drive is requested, the letter signed by both property owners is required.

**2. QUESTIONS**

- CALL PERMITS AT 924-3400

**TO OBTAIN PERMITS FOR EXCAVATION AND/OR  
CONSTRUCTION OF SIDEWALK, DRIVEPAD, AND CURB & GUTTER**

**CONTRACTOR:**

1. TO PERFORM CONCRETE WORK, CONTRACTOR MUST HAVE A STATE LICENSE GA-01, GA-03 OR GA-98. (NEED COPY)
2. TO PERFORM EXCAVATION WORK, CONTRACTOR MUST HAVE A STATE LICENSE GF-09, GF-98, MM-98, EL-01 OR EE-98. (NEED COPY)
3. MUST POST A \$5,000 MAINTENANCE BOND.  
• (CONTRACTOR'S EXCAVATION BOND AND/OR CONTRACTOR'S SIDEWALK, DRIVEPAD, CURB & GUTTER BOND)
4. MUST POST A \$1,000 PERMIT FEE BOND.
5. MUST PRESENT EVIDENCE OF AT LEAST \$1,000,000 IN LIABILITY INSURANCE COVERAGE. THE CERTIFICATE HOLDER SHOULD READ:  

*City of Albuquerque*  
PUBLIC WORKS DEPARTMENT  
CONSTRUCTION COORDINATION/PERMITS  
P.O. BOX 1293  
ALBUQUERQUE, NM 87103  
ATTENTION: ~~ARLENE V. PORTILLO~~ *Pamela Guzman* 924 - 3400

*4th FLOOR  
PLAZA DEL SOL*
6. MUST BE APPROVED BY THE EXCAVATION PERMIT SECTION PERSONNEL.

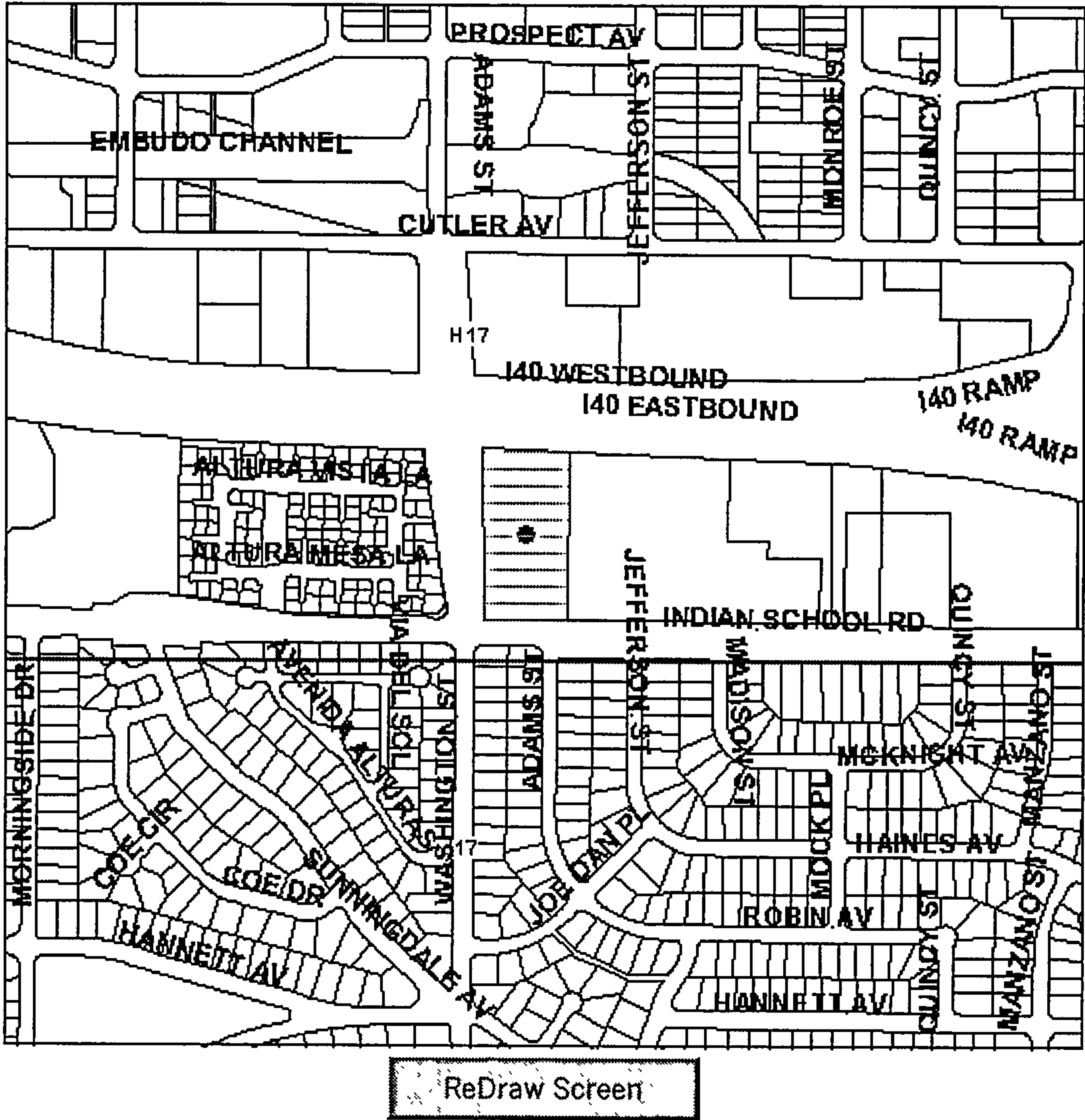
**HOMEOWNER:**

1. MUST BE THE PROPERTY OWNER.
2. HOMEOWNER CANNOT CUT OR REPLACE CURB AND GUTTER; MUST BE DONE BY CONTRACTOR. PERMIT MUST BE OBTAINED BY CONTRACTOR BEFORE HOMEOWNER IS ISSUED PERMIT FOR DRIVEPAD.
3. HOMEOWNER MUST POST A \$1,000 HOMEOWNERS MAINTENANCE BOND.
4. HOMEOWNER MUST PRESENT EVIDENCE OF \$500,000 LIABILITY INSURANCE COVERAGE ON THE PROPERTY WHERE THE CONCRETE WORK IS TO BE DONE.
5. MUST BE APPROVED BY THE EXCAVATION PERMIT PERSONNEL.

NOTE: AS REQUIRED BY CITY ORDINANCE, ANYONE WORKING IN THE CITY RIGHT-OF-WAY IS REQUIRED TO OBTAIN A PERMIT.

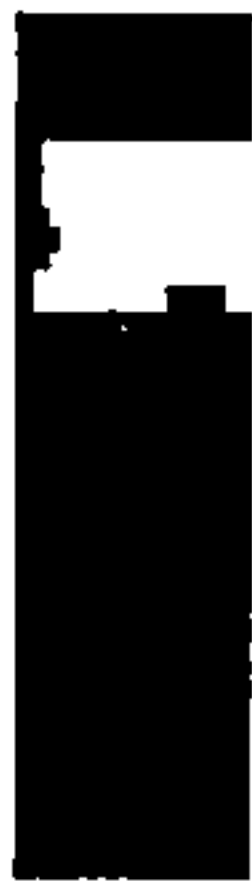
Activate By 'Clicking' on the Map

⦿ Zoom In ⦿ Id Address ⦿ Pan ⦿ Zoom Out




1999 AIR PHOTO (Metro Area Coverage)

CITY



LAY

- ☒ STREET
- ☐ PARKS
- ☐ CITY L
- ☒ ZONE I
- 
- ☐ NBR B
- ☐ COMM
- ☐ WATER
- ☐ SEWER
- ☐ STORM
- ☐ ZONIN
- ☒ LOT NI
- ☐ ZIP CO
- ☐ COUNC
- ☐ FLOOE
- ☒ PARCE
- ☐ CONTR
- ☐ SENAT
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- ☐ COUNI
- ☐ PARCE
- ☐ CRIMI
- ☐ CITY F
- ☐ LANDI
- ☐ 1960 CI

20

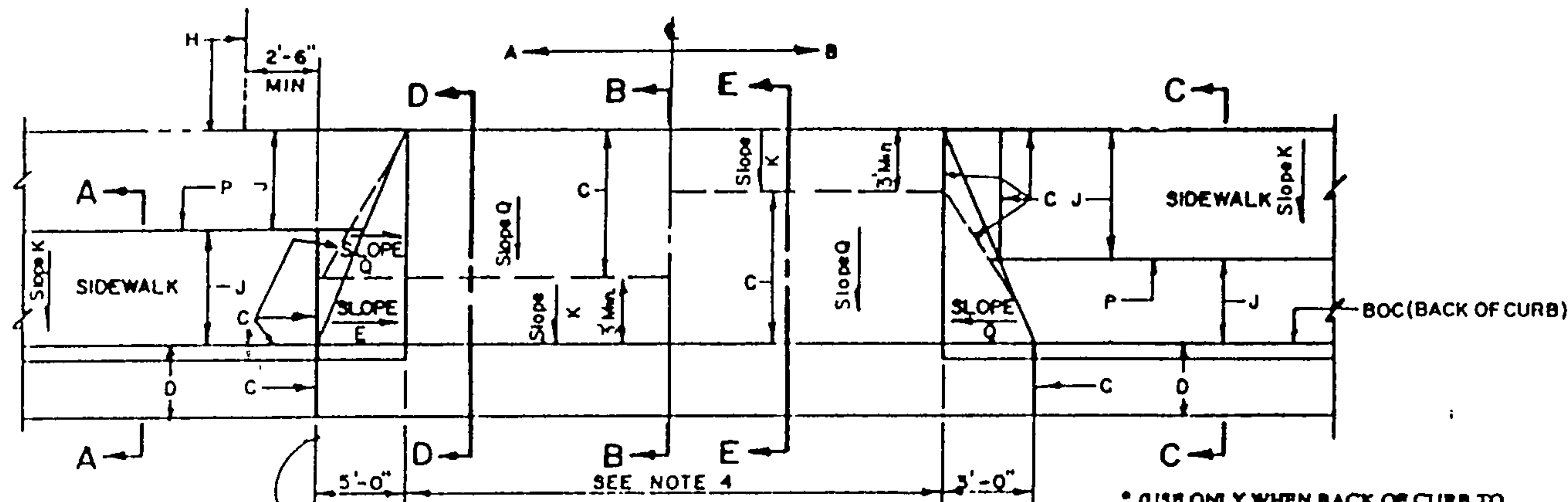


TR  
MI

*Handwritten:* 917-D26

NEW GIS QUERY

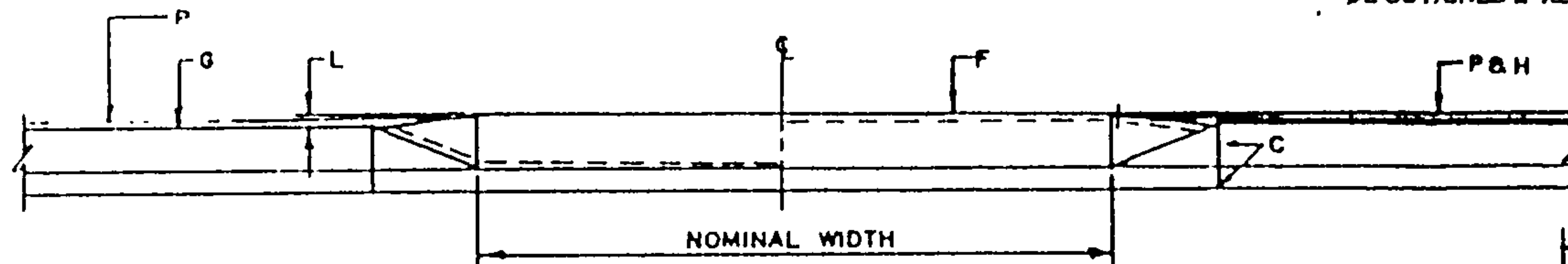
- J-17/D26 -



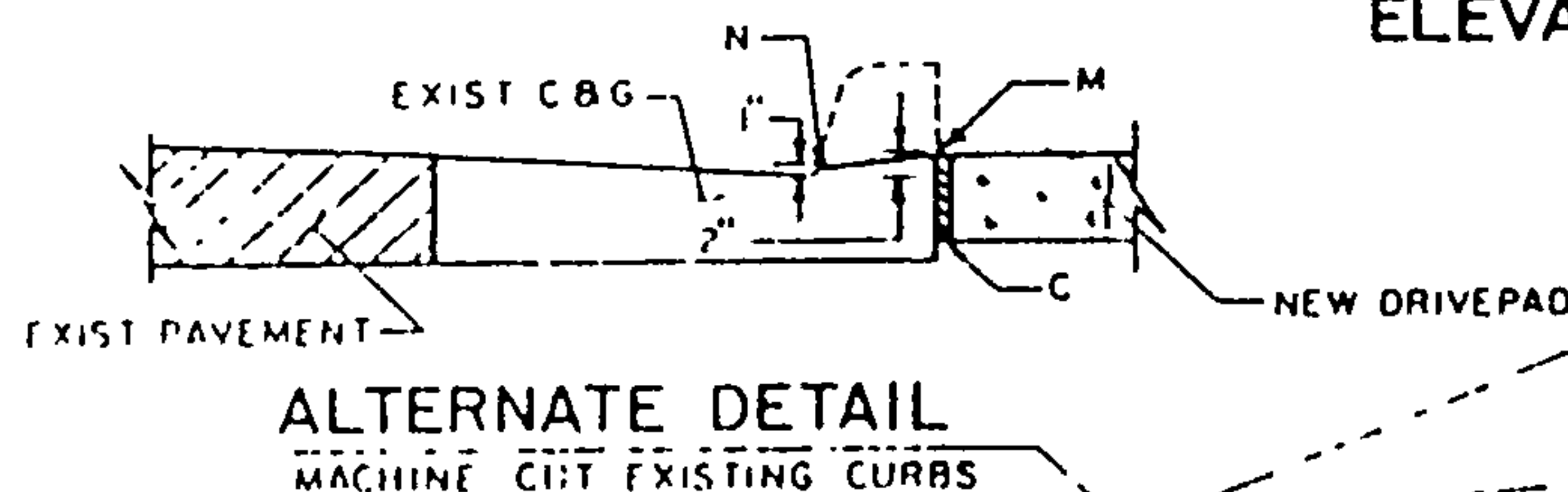
ADA WITH GUTTER OPTION  
AT DRIVEPADS (OTHER-  
WISE 7'-0") SEE STD  
DETAIL DWG 2415.

PLAN

(USE ONLY WHEN BACK OF CURB TO  
PROPERTY LINE IS 9' OR MORE.  
DRIVEPADS WITH LESS THAN 9'-0"  
IN DEPTH REQUIRE A SPECIAL DESGN  
TO BE SUBMITTED TO AND APPROVED  
BY THE CITY ENGINEER. ADDITIONAL  
RIGHT-OF-WAY OR BASEMENTS SHALL  
BE OBTAINED IF REQUIRED.)

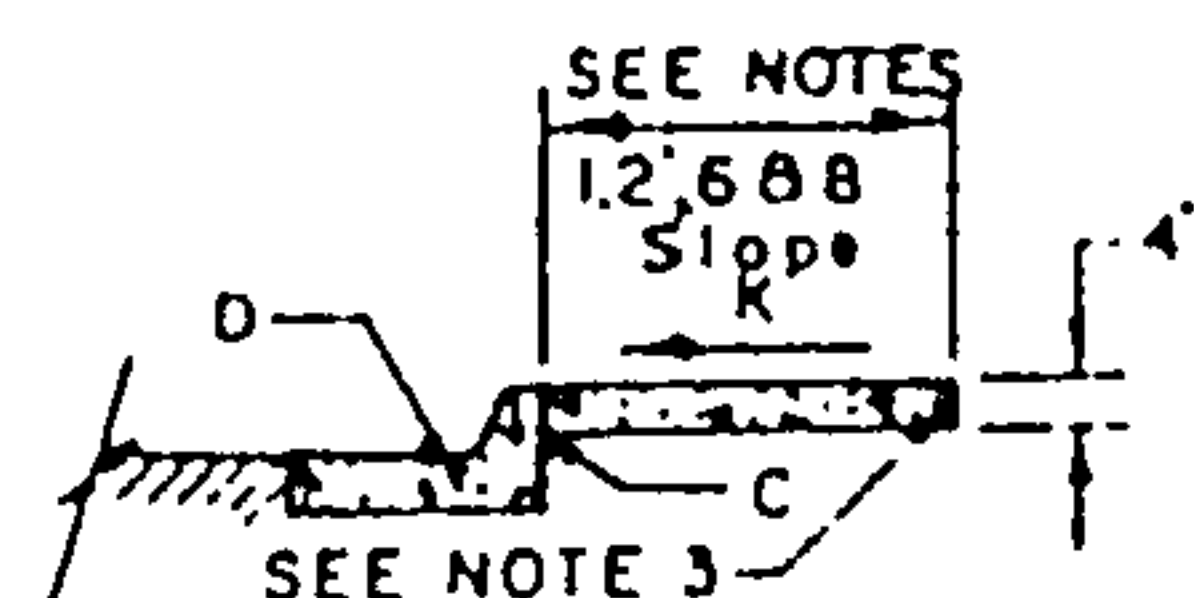


ELEVATION

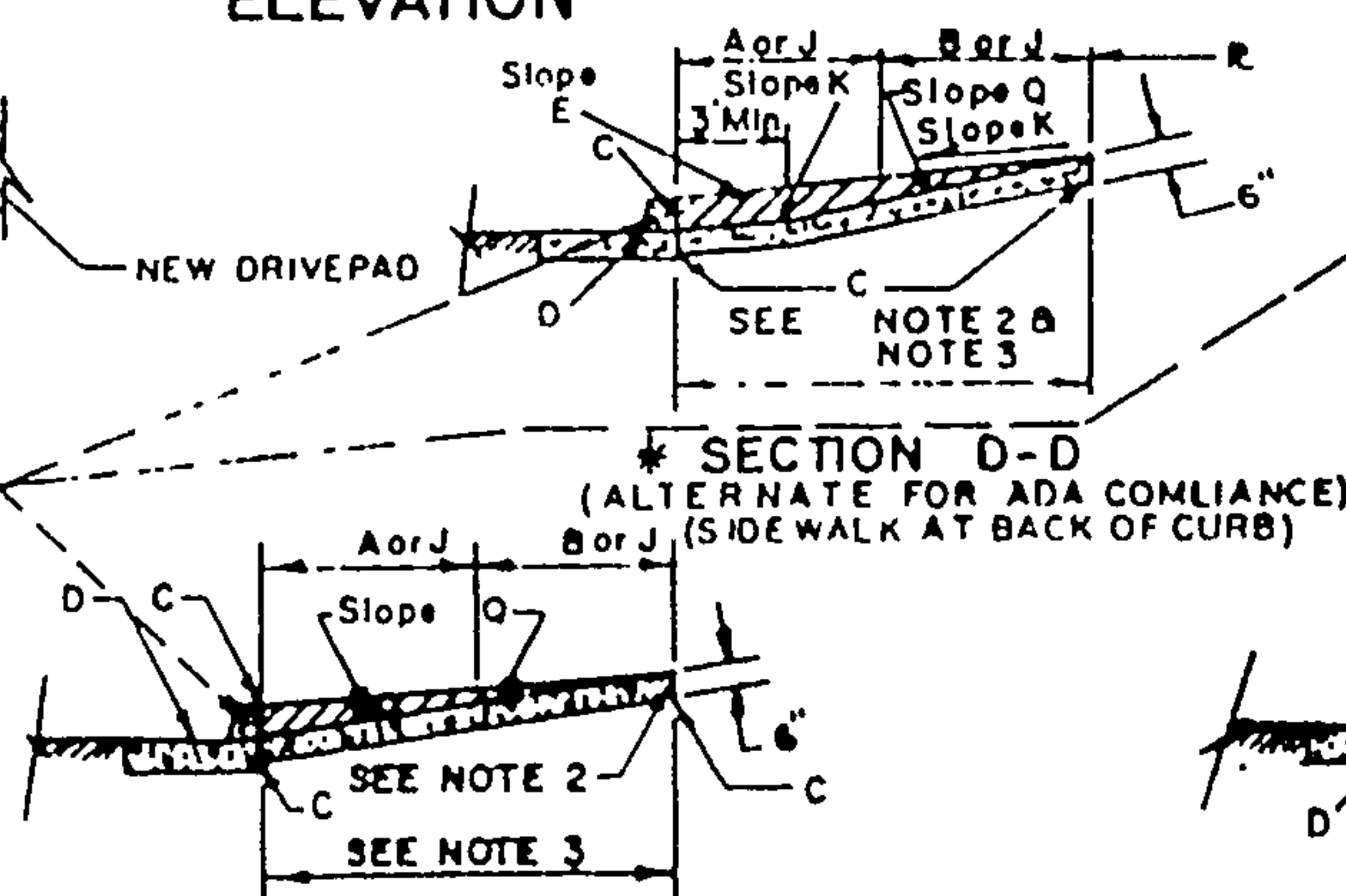


ALTERNATE DETAIL

MACHINE CUT EXISTING CURBS

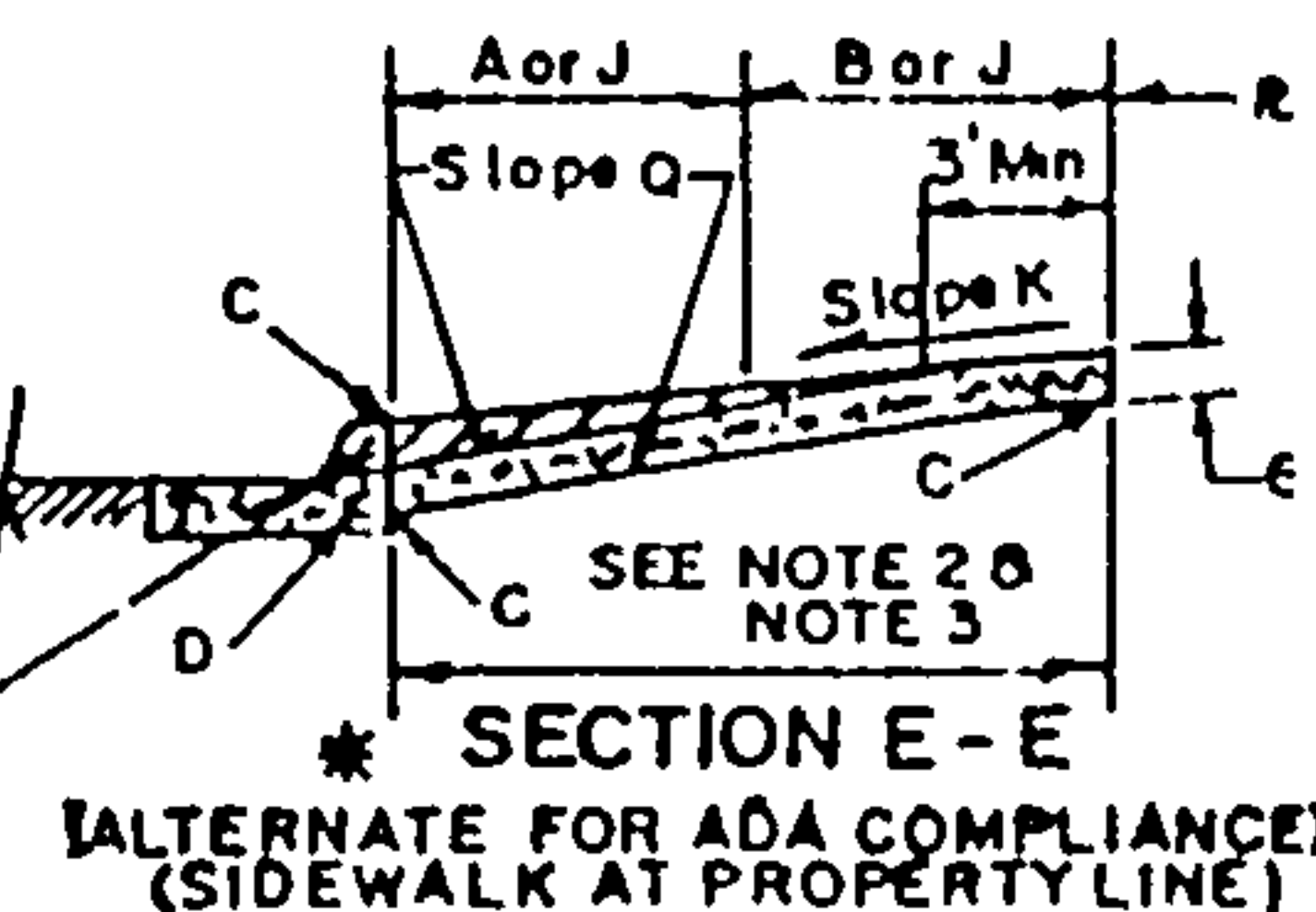


SECTION A-A

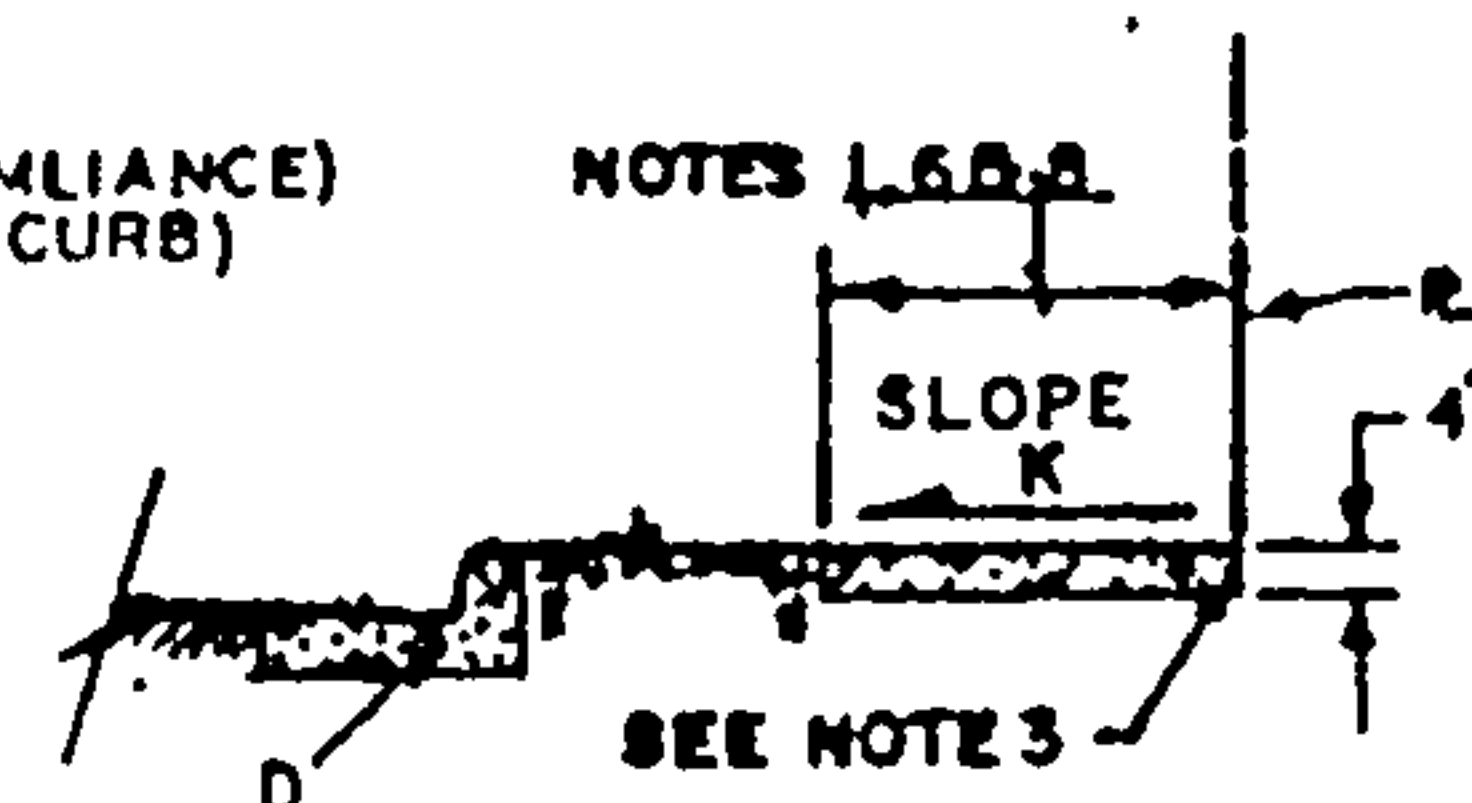


SECTION B-B

(ADA COMPLIANCE NOT  
REQUIRED OR POSSIBLE  
WO/ADDITIONAL ROW ACQUIS)



SECTION E-E  
(ALTERNATE FOR ADA COMPLIANCE)  
(SIDEWALK AT PROPERTY LINE)



SECTION C-C

# GENERAL NOTES

1. DEVIATIONS FROM THESE STANDARDS SHALL BE SUBMITTED TO THE CITY ENGINEER AND/OR TRAFFIC ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
2. REQUEST FOR SIDEWALK VARIANCES SHALL BE SUBMITTED TO THE DEVELOPMENT REVIEW BOARD.
3. USE 1/2" EXP. JT. WHERE SIDEWALK OR DRIVEPAD ABUTS BLDGS., FENCES, WALLS OR OTHER IMMOVABLE OBJECTS.
4. ALL DRIVEPADS SHALL BE A MIN. THICKNESS OF 6" AND SHALL BE CONSTRUCTED FROM BACK OF CURB TO P/L.
5. DRIVEPADS WIDER THAN 18' (NOMINAL) SHALL HAVE A 1/2" EXP. JT AT MIDPOINT. DRIVEPADS WIDER THAN 36' SHALL HAVE 2 OR MORE 1/2" EXP. JTS. EQUALLY SPACED, MAX., SPACING IS 18' APART.
6. SIDEWALK AT THE BACK OF CURB SHALL BE USED ONLY WHEN VARIANCE IS APPROVED.
7. FOR SIDEWALK WIDTH, SEE CHAPTER 23 THE DEVELOPMENT PROCESS MANUAL.
8. SUBGRADE UNDER SIDEWALK & DRIVEPAD SHALL BE COMPACTED AS PER SECTION 901.
9. ADA - AMERICANS WITH DISABILITIES ACT

## CONSTRUCTION NOTES

- A. CURB TYPE SIDEWALK.
- B. OFFSET SIDEWALK.
- C. 1/2" EXPANSION JOINT ADJACENT TO FIELD CONDITIONS ON REPLACEMENT WORK.
- D. CURB AND GUTTER.
- E. SLOPE TO BE ADJUSTED TO PROVIDE A UNIFORM TRANSITION BETWEEN SIDEWALK AND DRIVEPAD. [NOT TO EXCEED 1 (VERTICAL) TO 100 (HORIZONTAL)].
- F. TOP OF DRIVEPAD.
- G. TOP OF CURB.
- H. PROPERTY LINE.
- I. VARIABLE WIDTH.
- J. SLOPE 1 (VERTICAL) TO 50 (HORIZONTAL).
- K. SLOPE 1 (VERTICAL) TO 30 (HORIZONTAL).
- L. THE FINISH GRADE ELEVATION DIFFERENCE BETWEEN TOP OF DRIVEPAD AT PROPERTY LINE AND TOP OF CURB AS DETERMINED BY A SLOPE OF 1 (VERTICAL) TO 30 (HORIZONTAL) FROM TOP OF CURB TO TOP OF DRIVEPAD, AND ANY DEVIATION FROM THIS SLOPE MUST BE APPROVED BY THE CITY ENGINEER.
- M. SAW CUT EXISTING CONCRETE FROM BACKSIDE OF CURB WITH SLOPE TOWARD FLOWLINE.
- N. EXPOSED CUT EDGES SHALL BE ROUNDED SMOOTHLY ROUNDED TO REMOVE SHARP EDGE.
- P. OUTSIDE EDGE OF SIDEWALK.
- Q. SLOPE REQUIRED TO MEET GIVEN OR SET BOUNDARY ELEVATIONS (PROPERTY LINE OR BOC, ETC.).

CITY OF ALBUQUERQUE

PAVING

DRIVEPADS

DWG. 2425

AUG. 1996

REVISIONS
1/91
11/14/91
3/30/94