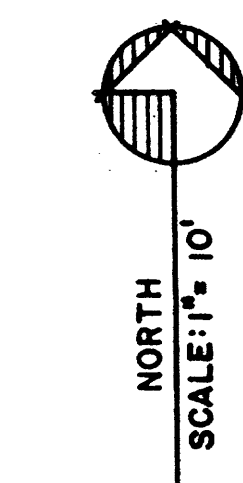
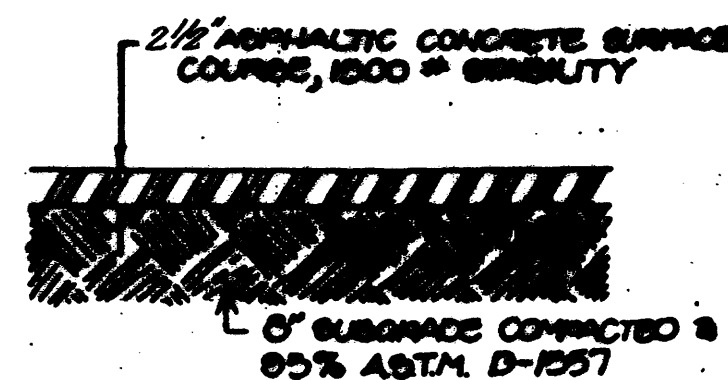


VICINITY MAP

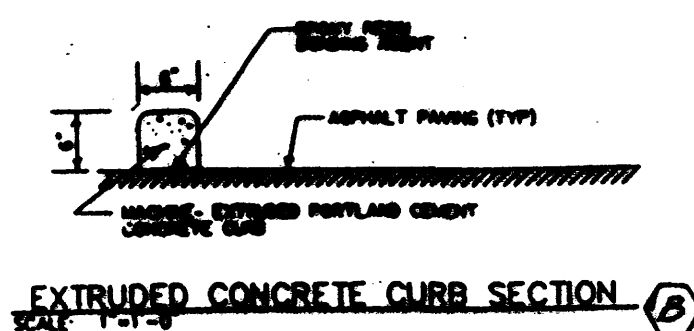
Zone Atlas Page:  
J-17-Z



LOCATION MAP



TYPICAL PAVEMENT SECTION  
SCALE: 1" = 1'-0"



EXTRUDED CONCRETE CURB SECTION (B)  
SCALE: 1" = 1'-0"

**EROSION CONTROL MEASURES:**

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUNOFF DURING CONSTRUCTION. HE SHALL ENSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

- 1) ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERM, DITCH, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SUBJECT SITE AND ENTERING ADJACENT PROPERTIES.
- 2) ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SUBJECT SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREET RIGHT-OF-WAYS.
- 3) THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT FROM PUBLIC STREETS THAT HAS BEEN ERODED FROM THE SUBJECT SITE AND DEPOSITED THEREON.

**CONSTRUCTION NOTES:**

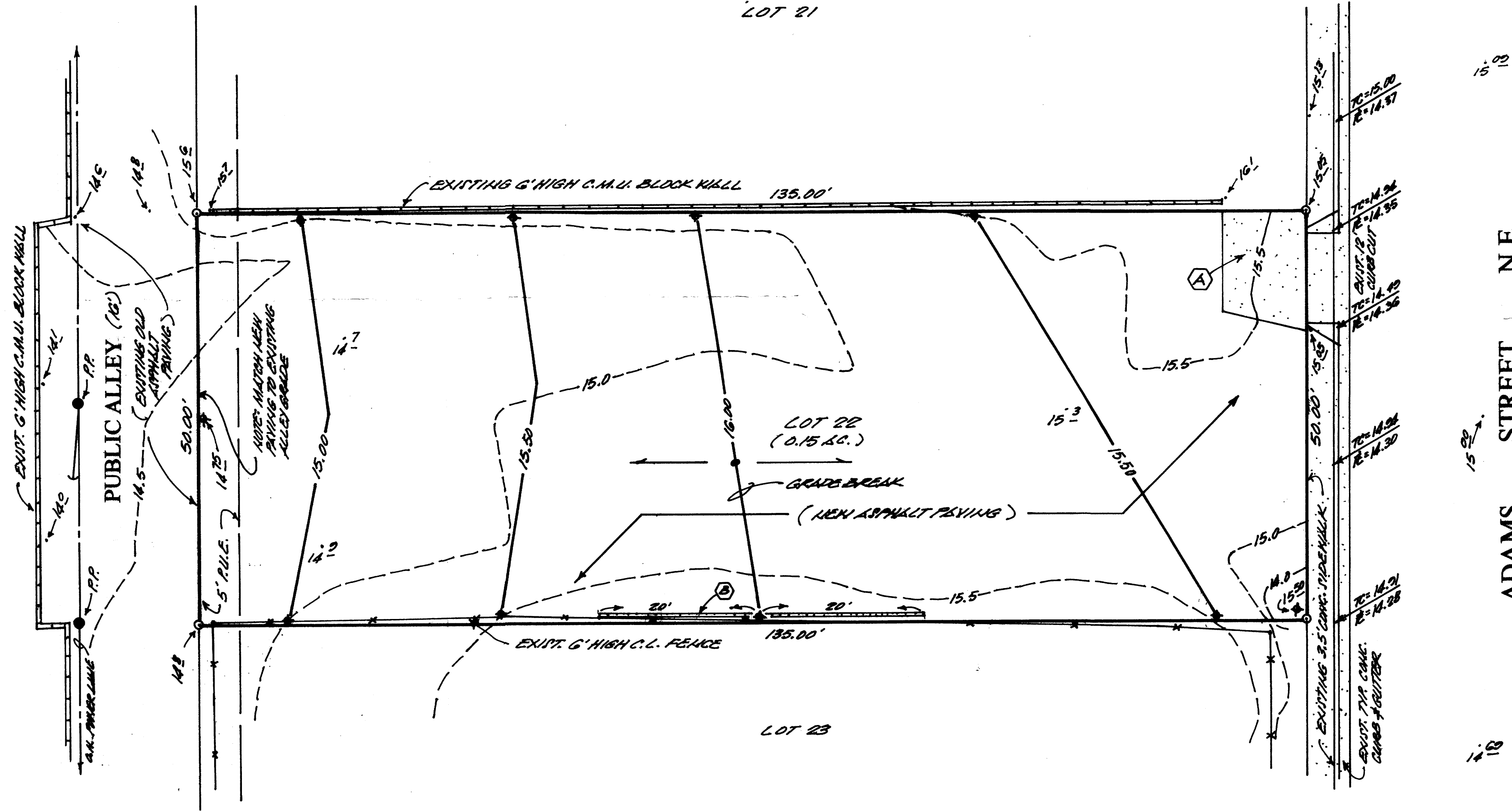
- 1) TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 266-1990 FOR THE ACTUAL FIELD LOCATION OF THE EXISTING SURFACE OF SUB-SURFACE UTILITIES.
- 2) PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS(S) OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- 3) ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- 4) ALL CONSTRUCTION WITHIN PUBLIC STREET RIGHT-OF-WAY(S) SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE/BERNILLO COUNTY STANDARDS AND PROCEDURES.

**GENERAL NOTES:**

- 1) NO PERIMETER BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED PER THIS SURVEY OF THE SUBJECT PROPERTY.
- 2) NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD OTHER THAN SHOWN HEREON.

**LEGEND:**

- TOP OF CURB ELEVATION =  $TC=15.00$
- CURB FLOWLINE ELEVATION =  $FL=14.50$
- EXISTING SPOT ELEVATION =  $14.2$
- EXISTING CONTOUR ELEVATION =  $15.0$
- PROPOSED SPOT ELEVATION =  $15.2$
- PROPOSED CONTOUR ELEVATION =  $15.0$
- PROPOSED OR EXISTING CONCRETE SURFACE = [Symbol]
- EXISTING FENCE LINE = [Symbol]



**A.1 PRECIPITATION ZONES**

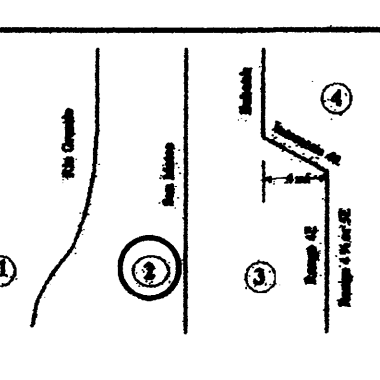
Bernillo County's four precipitation zones are indicated in TABLE A-1 and on FIGURE A-1.

**TABLE A-1. PRECIPITATION ZONES**

ZONE	LOCATION
1	West of Rio Grande
2	Between Rio Grande and San Mateo
3	Between San Mateo and Hoback, North of Interstate 40; and between San Mateo and the East boundary of Range 4 East, South of Interstate 40
4	East of Hoback, North of Interstate 40; and East of the East boundary of Range 4 East, South of Interstate 40

**TABLE A-10. PEAK INTENSITY (QPHR at 4-6.3 hours)**

Zone	Intensity 100-YR (2-YR, 10-YR)
1	4.70 (1.84, 3.14)
2	3.38 (2.04, 3.41)
3	5.38 (2.21, 3.65)
4	5.61 (2.34, 3.83)



**TABLE A-4. LAND TREATMENT**

Treatment	Land Condition
A	Soil uncompacted by human activity with 0 to 10 percent slopes. Native grasses, weeds and shrubs in typical densities with minimal disturbance to grading, groundwater and infiltration capacity. Croplands.
B	Irrigated lawns, parks and golf courses with 0 to 10 percent slopes. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes greater than 10 percent and less than 20 percent.
C	Soil uncompacted by human activity. Minimal vegetation. Unpaved parking, roads, trails. Most vacant lots. Gravel or rock on plastic (lowest landscaping). Irrigated lawns and parks with slopes greater than 10 percent. Native grasses, weeds, and shrubs, and soil uncompacted by human activity with slopes at 20 percent or greater. Native grass, weed and shrub areas with clay or clay loam soils and other soils of very low permeability as classified by SCS Hydrologic Soil Group D.
D	Impervious areas, pavement and roofs.

**TABLE A-9. PEAK DISCHARGE (cfs/acre)**

Zone	Treatment 100-YR (2-YR, 10-YR)			
	A	B	C	D
1	1.29 (0.00, 0.24)	2.03 (0.33, 0.76)	2.87 (0.47, 1.49)	4.37 (1.69, 2.89)
2	1.56 (0.00, 0.38)	2.28 (0.06, 0.95)	3.14 (0.60, 1.71)	4.70 (1.86, 3.14)
3	1.87 (0.00, 0.58)	2.60 (0.21, 1.19)	3.45 (0.78, 2.009)	5.02 (2.04, 3.39)
4	2.20 (0.05, 0.87)	2.92 (0.38, 1.45)	3.73 (1.00, 2.26)	5.25 (2.17, 3.57)

**Drainage Comments:**

As shown on the Vicinity Map hereon, the subject site is located on the West side of Adams Street N.E. approximately 100 North of Lomas Blvd. N.E., in the City of Albuquerque, Bernalillo County, New Mexico, (Zone Atlas Map "J-17-Z").

The subject site, 1) Does not lie within a designated Floodplain, 2) Does not accept off-site flows from adjacent properties, 3) Does not contribute off-site flows to adjacent properties, 4) is not adjacent to a natural or artificial water course, 5) is allowed to free-discharge developed flows into the adjacent street right-of-way of Adams Street N.E.

**Calculations:**

Per Section 22.2, Hydrology of the Development Process Manual, Volume 2, Design Criteria for the City of Albuquerque, Bernalillo County, New Mexico.

Site Area: 0.15 Acres

Precipitation Zone: Two (2)

Peak Intensity: In/Hr. at  $T_c$  = Twelve (12) minutes, 100-Yr.-6 Hr. = 5.03

Land Treatment Method for Calculations of "Qp", Tables A-8 & A-9.

"Land Treatment Factors", Table A-4.

**EXISTING CONDITIONS:**

TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.15	X 3.14	= 0.47

"Qp" = 0.47 CFS

**PROPOSED CONDITIONS:**

TREATMENT	AREA/ACRES	FACTOR	CFS
D	0.15	X 4.70	= 0.71

"Qp" = 0.71 CFS \*\*INCREASE = 0.24 CFS

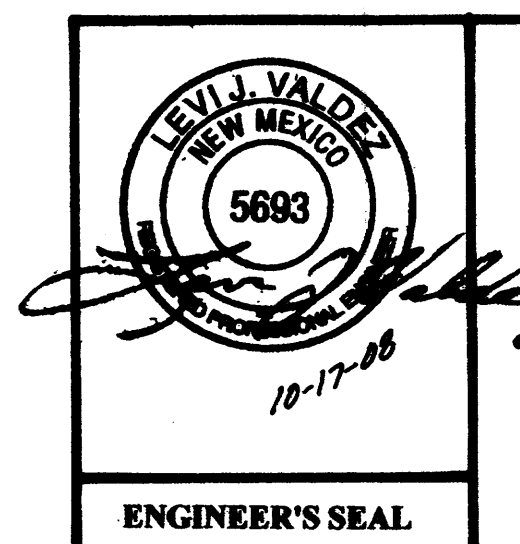
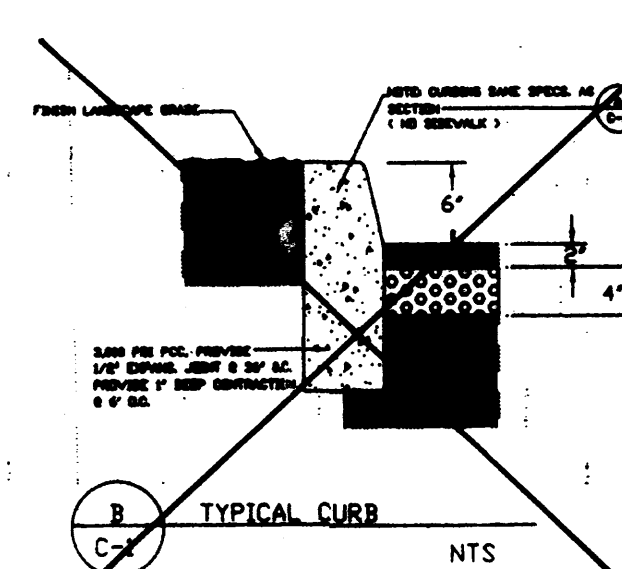
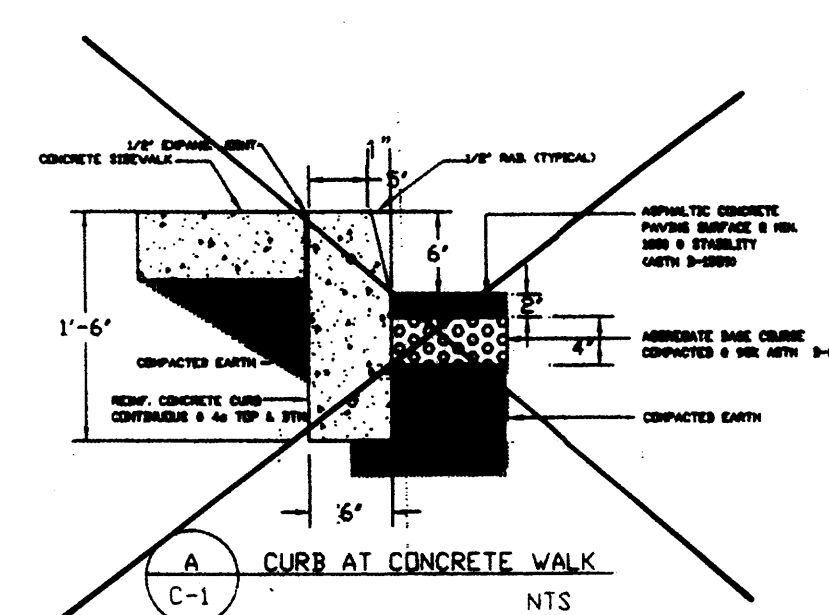
**LEGAL DESCRIPTION:**

Lot Twenty Two (22), Block One (1), New Year Addition, Albuquerque, New Mexico.

**BENCHMARK REFERENCE:**

ACS Station "9-J17", Elevation = 5210.959; T.B.M. as shown on plan hereon.

REMOVE EXISTING CONCRETE DRIVE-PAV TO BACK OF EXISTING CURB CUT AND PAVE.



A PROPOSED  
PAVING PLAN  
FOR  
LOT 22, BLOCK 1  
NEW YEAR ADDITION  
ALBUQUERQUE, NEW MEXICO

