

CITY OF ALBUQUERQUE



February 19, 2014

Sheldon E. Greer, P.E.
GND Consulting Engineers
10224 Green River PL NW
Albuquerque, NM 87114

**Re: Office Addition, 1121 San Mateo Blvd NE, Traffic Circulation Layout
Engineer's Stamp dated 2-19-14 (J17-D034)**

Dear Mr. Greer,


The TCL submittal received 1-19-14 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

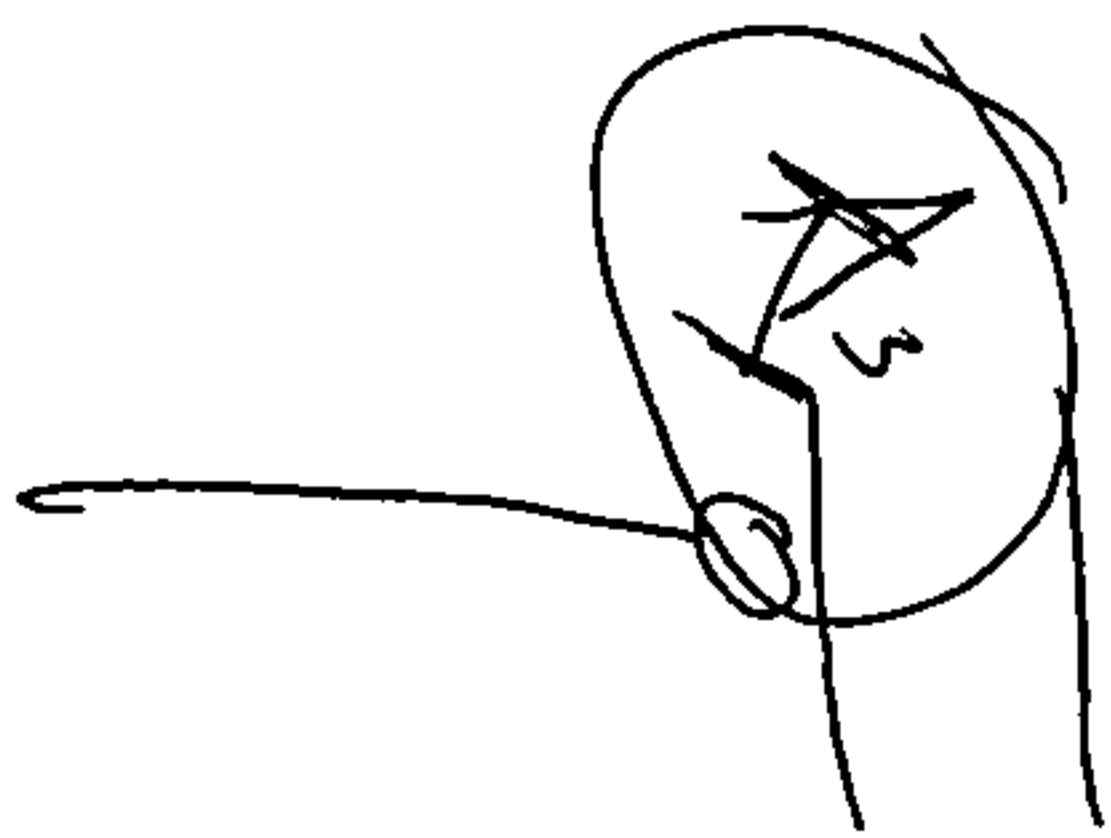
If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,


Bryan Wolfe, P.E.
City Engineer, Planning Dept.
Development Review Services
C: File





City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: 1121 SAN MATEO Building Permit #: _____ City Drainage #: 517/D034

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: _____

City Address: _____

Engineering Firm: GND Consulting ENGINEERS Contact: 264 0472

Address: 10224 Green River PL NW SHERIDON GREEN

Phone#: _____ Fax#: _____ E-mail: _____

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: KYLE Contact: 980-6801

Address: _____

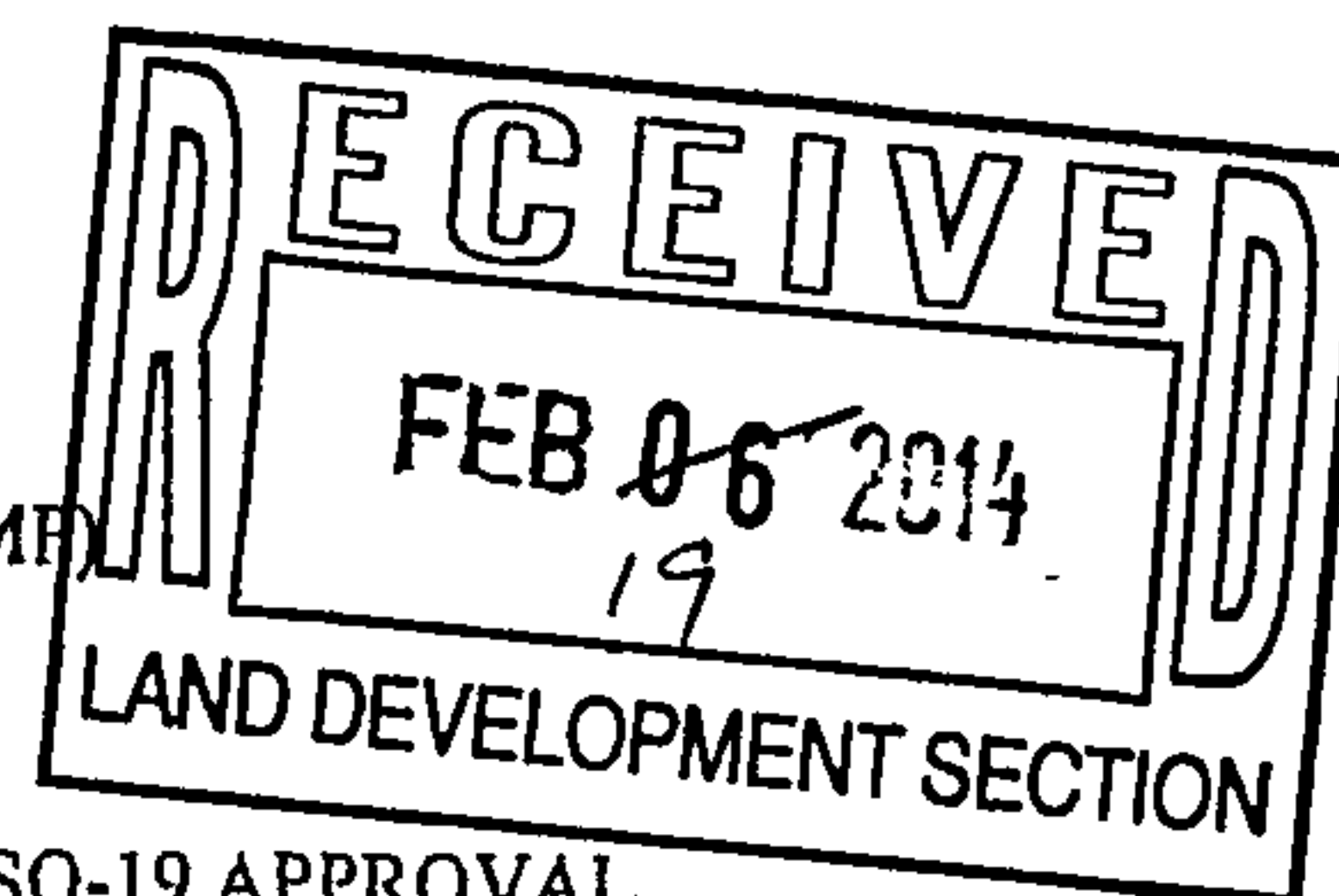
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☒ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
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- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____

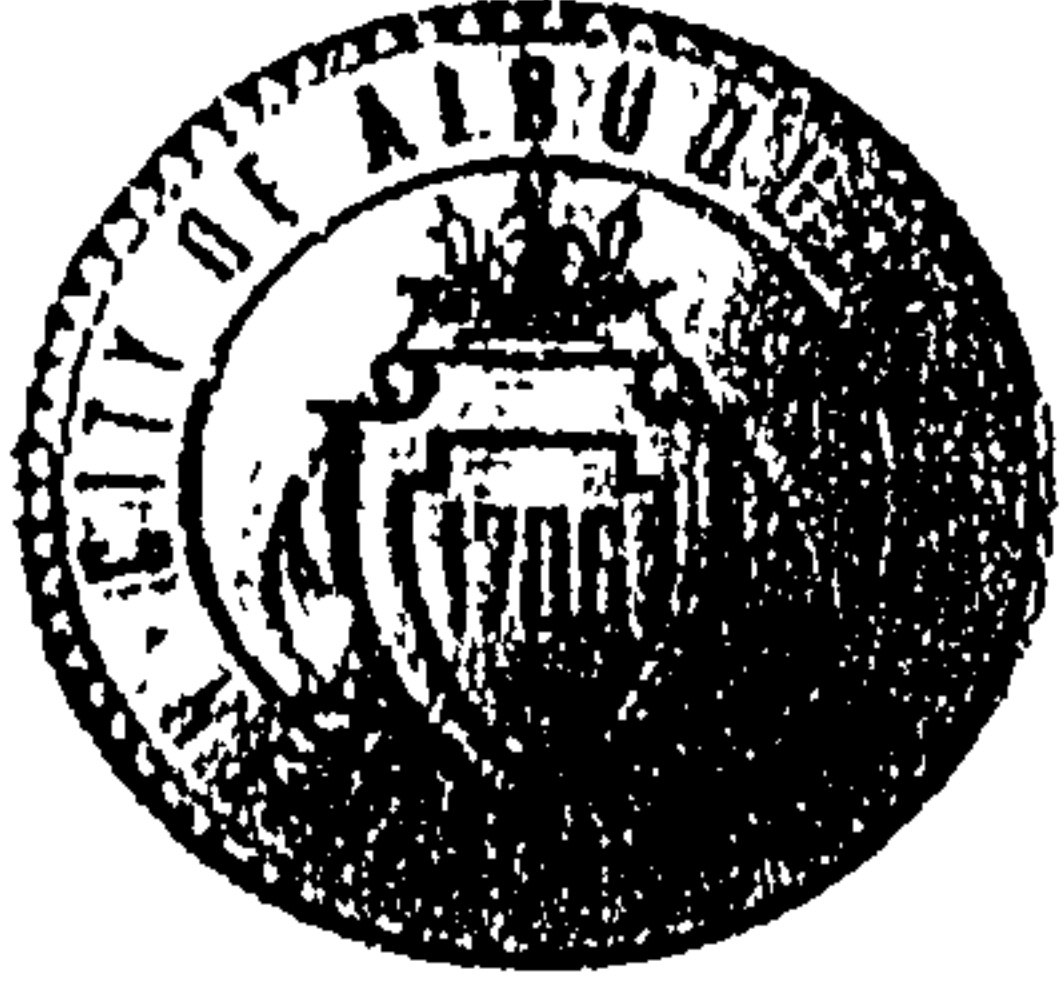


WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: By:

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: 1121 SAN MATEO Building Permit #: _____ City Drainage #: 517/D034

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: _____

City Address: _____

Engineering Firm: GND Consulting ENGINEERS Contact: 264 0472

Address: 10224 Green River PL NW 5/12 DON GREER

Phone#: _____ Fax#: _____ E-mail: _____

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: KYLE Contact: 980-6801

Address: _____

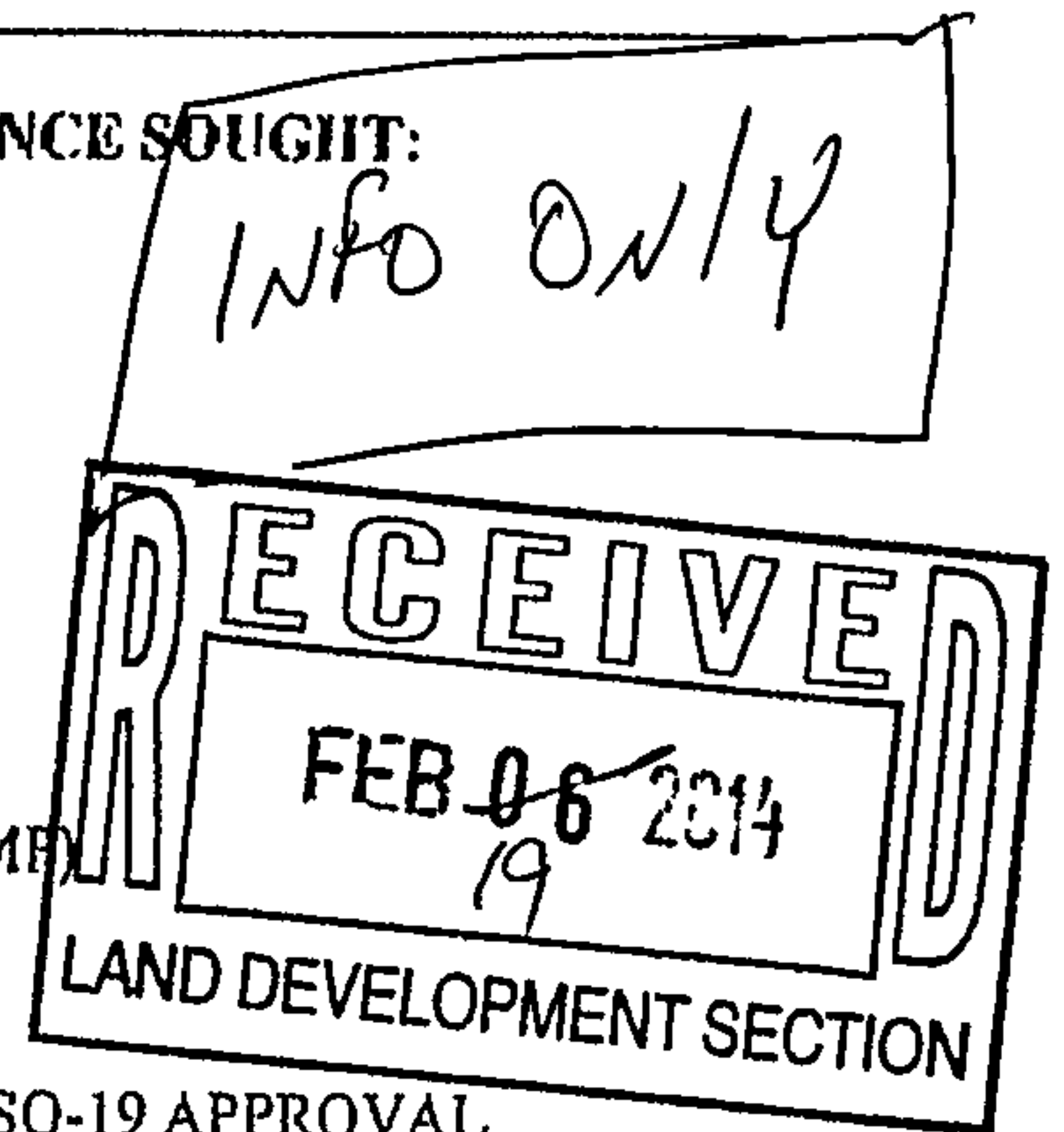
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Planning Department

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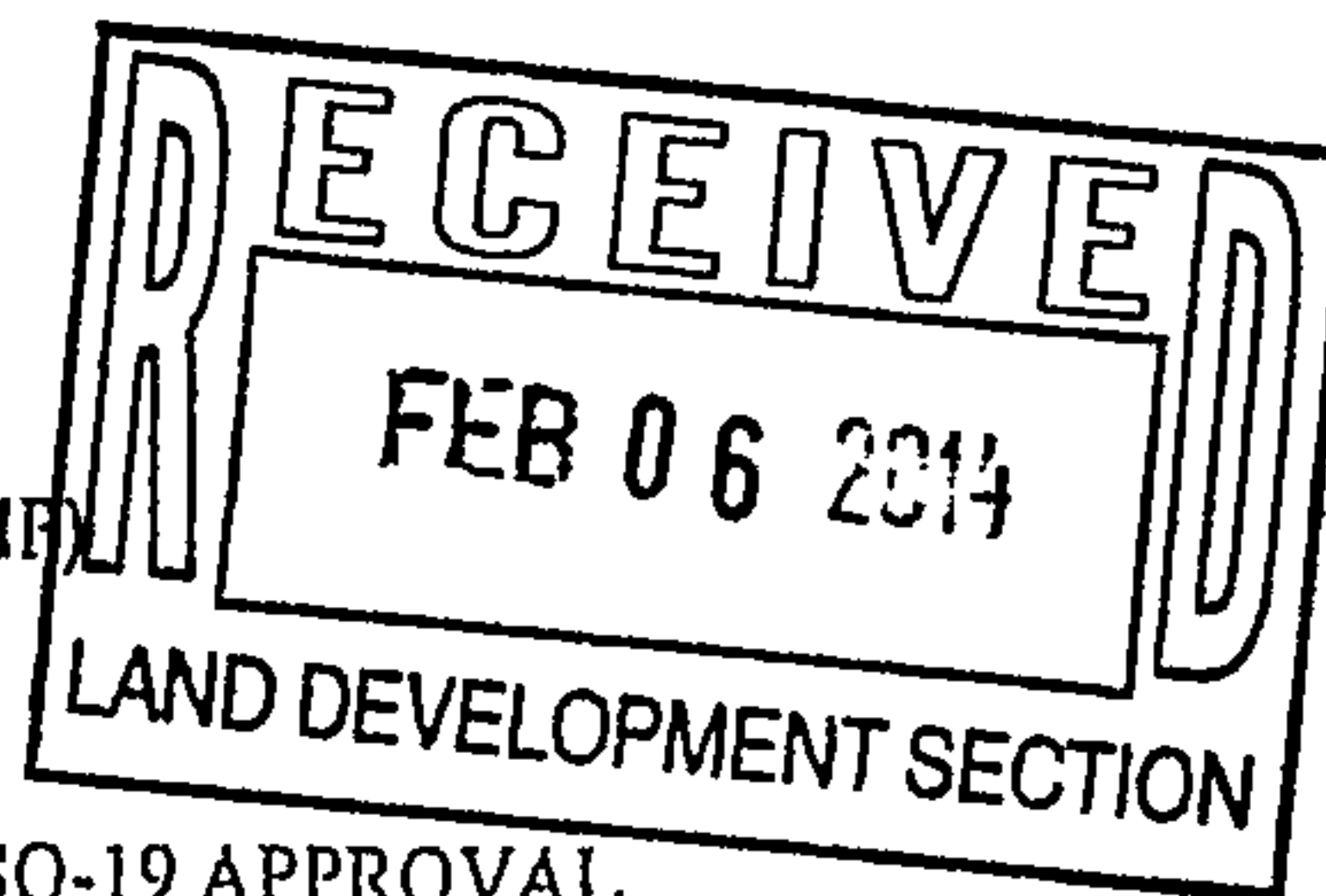
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DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: _____
City Address: _____
Engineering Firm: GND Consulting ENGINEERS Contact: 264 0472
Address: 10224 Green River PL NW 87114 SHELDON GREEN.
Phone#: _____ Fax#: _____ E-mail: _____
Owner: _____ Contact: segre@SWCP.com
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____
Architect: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____
Surveyor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____
Contractor: _____ Contact: Kyle Roth
Address: _____ 505 980-6801
Phone#: _____ Fax#: _____ E-mail: 804-7939

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J17-D034

ABQMaps - Advanced Map Viewer

Search for map features...

1121 San Mateo

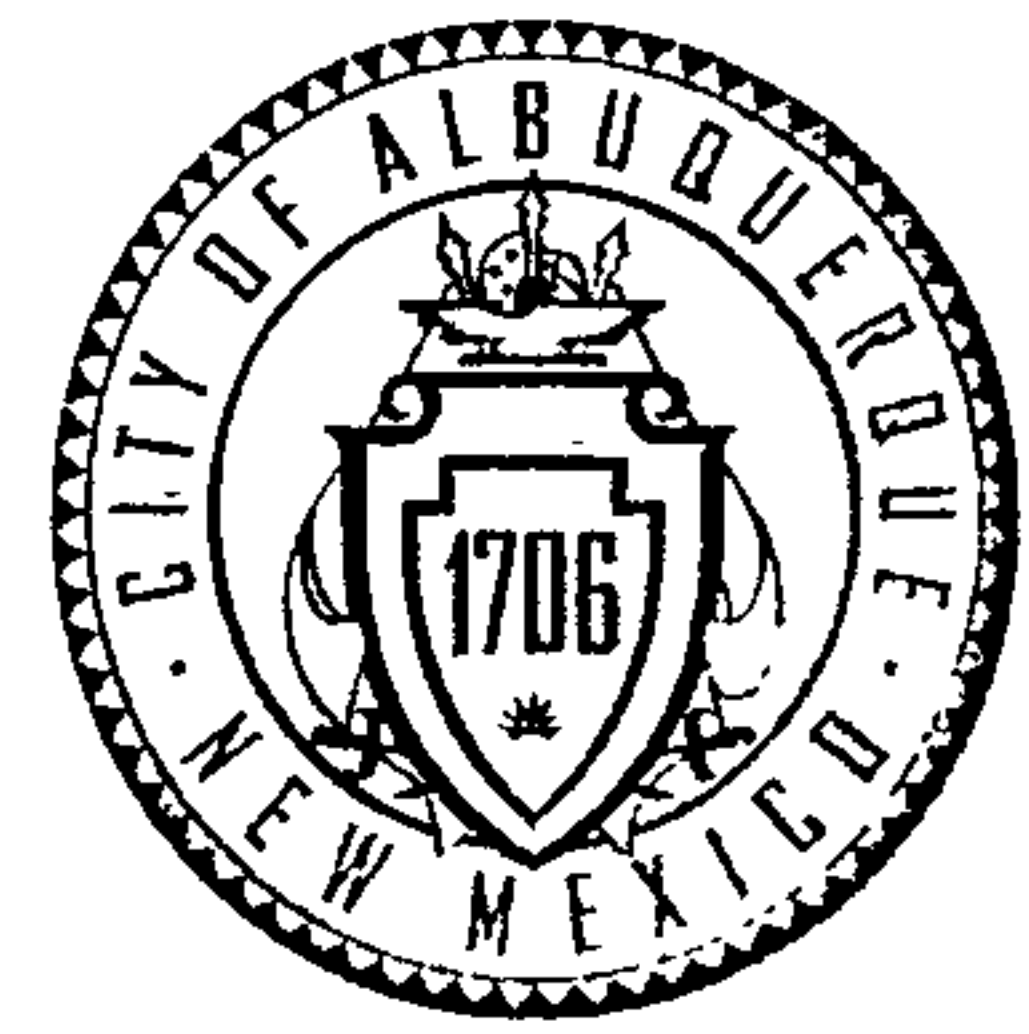
I want to...

All Available Layers

SAN MATEO BLVD



CITY OF ALBUQUERQUE



February 14, 2014

Sheldon E. Greer, P.E.
GND Consulting Engineers
10224 Green River PL NW
Albuquerque, NM 87114

**Re: Office Addition, 1121 San Mateo Blvd NE, Traffic Circulation Layout
Engineer's Stamp dated 2-6-14 (J17-D034)**

Dear Mr. Greer,

Based upon the information provided in your submittal received 2-06-14, the above referenced plan cannot be approved for Building Permit until the comments provided in the letter sent on 2-6-14 are addressed. However, based on discussions with Bryan Wolfe, City Engineer, certain comments can be amended:

- Pre-existing parking within the COA ROW can remain as long as it is not touched, does not present a public safety issue, and is not in use by the City. This means, no adjustment to the striping, no addition of parking within the ROW and no restrictions by the owner over this strip of COA ROW.
- Request to have the alley paved per COA specifications for the full length of the property is retracted at this time. If the alley is used for vehicle access to and from the property, the section of alley used must be paved. A minimum of 20 feet must be paved to reduce dirt from entering the street.
- Refuse location and pickup appears to occur at every abutting development on this alley. The alley is a COA ROW and a request to move encumbrances from this alley is within the City's jurisdiction. However, as long as your development can provide an approved location within the property, the current location may continue until further notice.
- As discussed over the phone, the City requests the existing curb cut on San Mateo be amended to meet current ADA and DPM requirements. Please modify the driveway to provide a safe ADA compliant crossing.

If you have any questions, you can contact me at 924-3924.

Sincerely,

Cynthia K Beck
Associate Engineer, Planning Dept.
Development Review Services
C: File

CITY OF ALBUQUERQUE



February 6, 2014

Sheldon E. Greer, P.E.
GND Consulting Engineers
10224 Green River PL NW
Albuquerque, NM 87114

**Re: Office Addition, 1121 San Mateo Blvd NE, Traffic Circulation Layout
Engineer's Stamp dated 2-6-14 (J14-D034)**

Dear Mr. Greer,

J17

Based upon the information provided in your submittal received 2-06-14, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

PO Box 1293

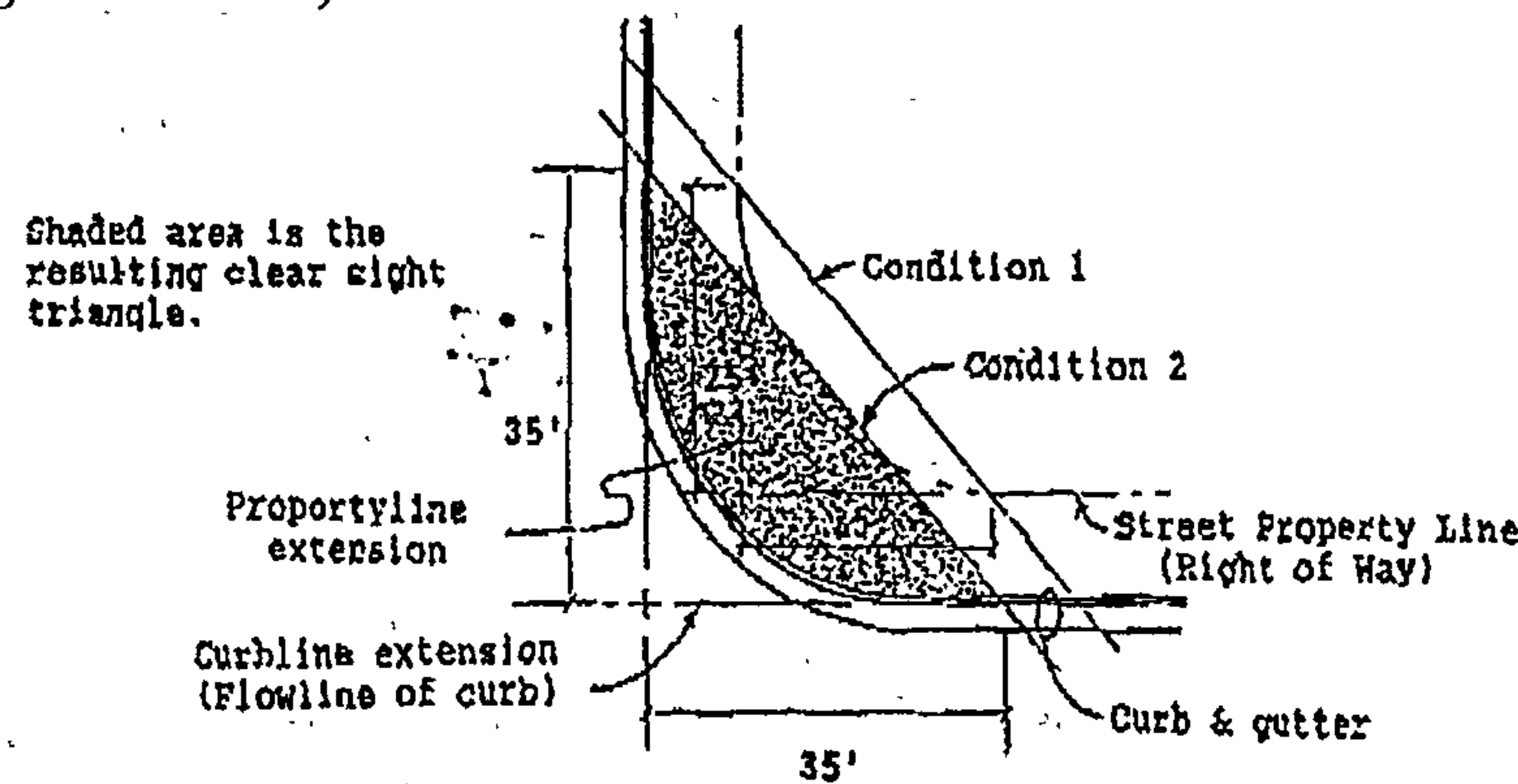
Albuquerque

New Mexico 87103

www.cabq.gov

1. The development of this site must be in compliance with current DPM and ADA standards and regulations.
2. Define width of the existing sidewalk fronting San Mateo Blvd.
3. Is there a continuous ADA Pedestrian pathway provided at the existing entrance fronting San Mateo Blvd? Current DPM standards require ADA compliant ramps and crossings at entrances, especially along major arterials with bus routes and pedestrian traffic.
4. Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway (See comment 6)
5. Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to the building entrances. (See comment 6)
6. Please clarify where the building entrance is located and show door swing. Is the new awning cantilevered or ground supported? This information is needed to clarify if the proposed 6 ft wide ADA accessible pedestrian pathway is unobstructed.
7. Parking spaces cannot cross over the lot lines. The current and proposed parking must be moved off of the City Of Albuquerque Right-of-Way (COA ROW) or a Revocable Encroachment Permit, issued by the City, must be obtained. Please contact Jane Rael regarding encroachment permits at 924-3992.
8. List radii for all curves shown; for passenger vehicles, the minimum end island radius is 15 feet.

9. It appears that restriping of all parking stalls and end-islands will be necessary. Will the existing asphalt be top-coated or old striping removed?
10. The proposed parking and landscaping may interfere with the sight distance of the intersection. Please provide a sight distance exhibit (see the *Development Process Manual, Chapter 23, Section 3, Part D.5 Intersection Sight Distance*).



11. Please add the following note: "Landscaping and signing will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."
12. Work within the public right of way requires a work order with DRC approved plans. (Alley is COA ROW)
13. Alley must meet COA Standard (DWG # 2428) which includes alley intersection w/ ADA ramps, alley gutter and pavement for the full length of the property and 20 ft minimum width.
14. The refuse can not be located within the public ROW.
15. Please refer to all applicable city standards.
16. Please ensure all ramps are ADA compliant.

If you have any questions, you can contact me at 924-3924.

Sincerely,

Cynthia K Beck
Associate Engineer, Planning Dept.
Development Review Services

C: File