

CITY OF ALBUQUERQUE



June 13, 2016

Richard J. Berry, Mayor

Mike Walla, P.E.
Walla Engineering, Ltd
6501 Americas Parkway NE, Suite 301
Albuquerque, NM, 87110

**RE: Davis Residence
Grading and Drainage Plan
Engineer's Stamp Date 6-9-2016 (File: J17D037)**

Dear Mr. Walla:

Based upon the information provided in your submittal received 6-10-2016, the above-referenced revised plan is approved for Building Permit (Including Grading Permit) and SO-19 Permit.

PO Box 1293

Please attach a copy of this approved plan in the construction sets when submitting for the building permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

Albuquerque

Please make sure the Contractor is aware of the coordination required to complete the sidewalk culvert in the Right of Way (SO-19 Notes included in the Grading Plan).

New Mexico 87103

If you have any questions, you can contact me at 924-3986.

Sincerely,

www.cabq.gov

Abiel Carrillo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

Orig: Drainage file



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: _____ Building Permit #: _____ City Drainage #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- _____ DRAINAGE REPORT
- _____ DRAINAGE PLAN 1st SUBMITTAL
- _____ DRAINAGE PLAN RESUBMITTAL
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ EROSION & SEDIMENT CONTROL PLAN (ESC)
- _____ ENGINEER'S CERT (HYDROLOGY)
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ ENGINEER'S CERT (TCL)
- _____ ENGINEER'S CERT (DRB SITE PLAN)
- _____ ENGINEER'S CERT (ESC)
- _____ SO-19
- _____ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

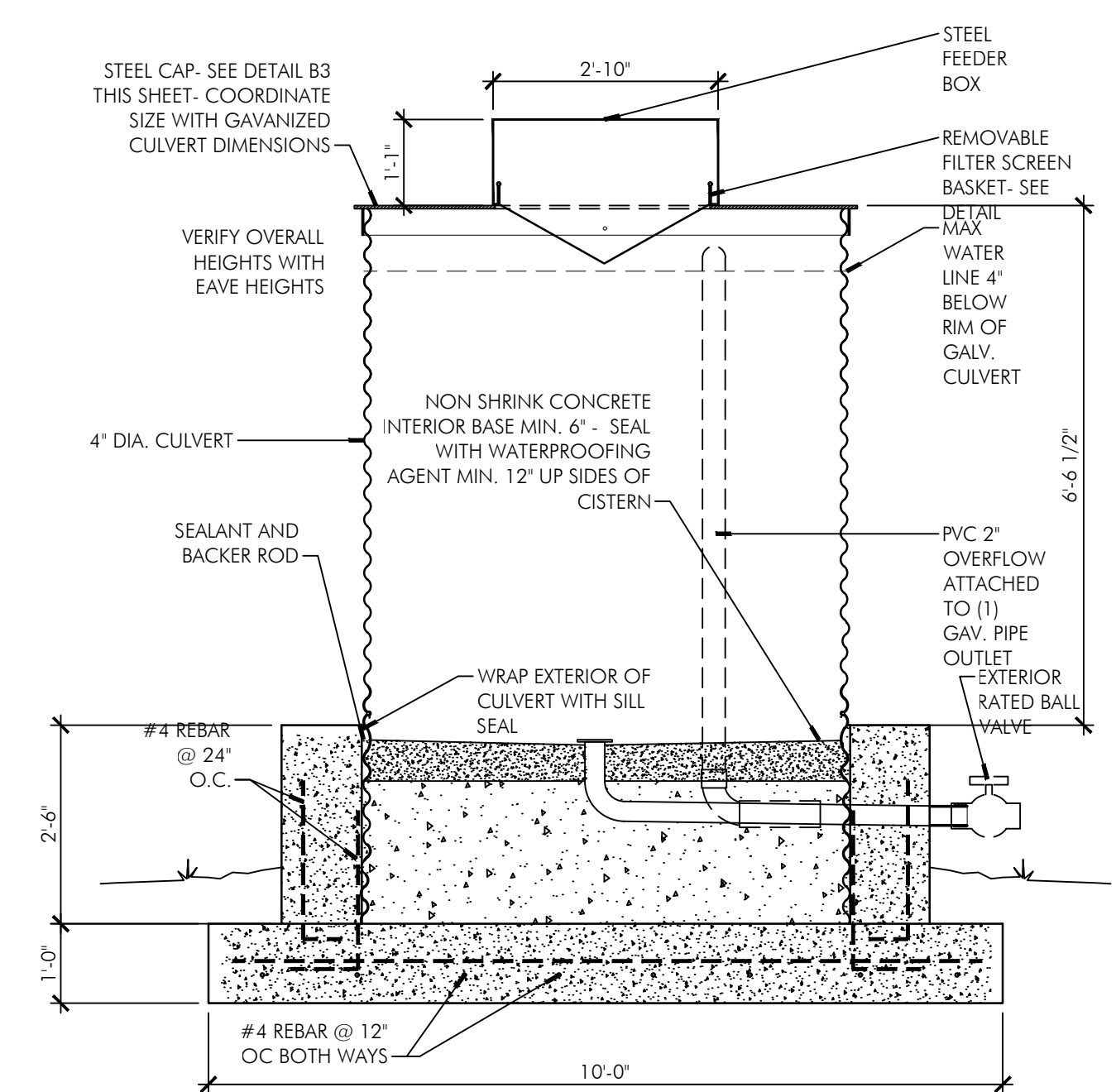
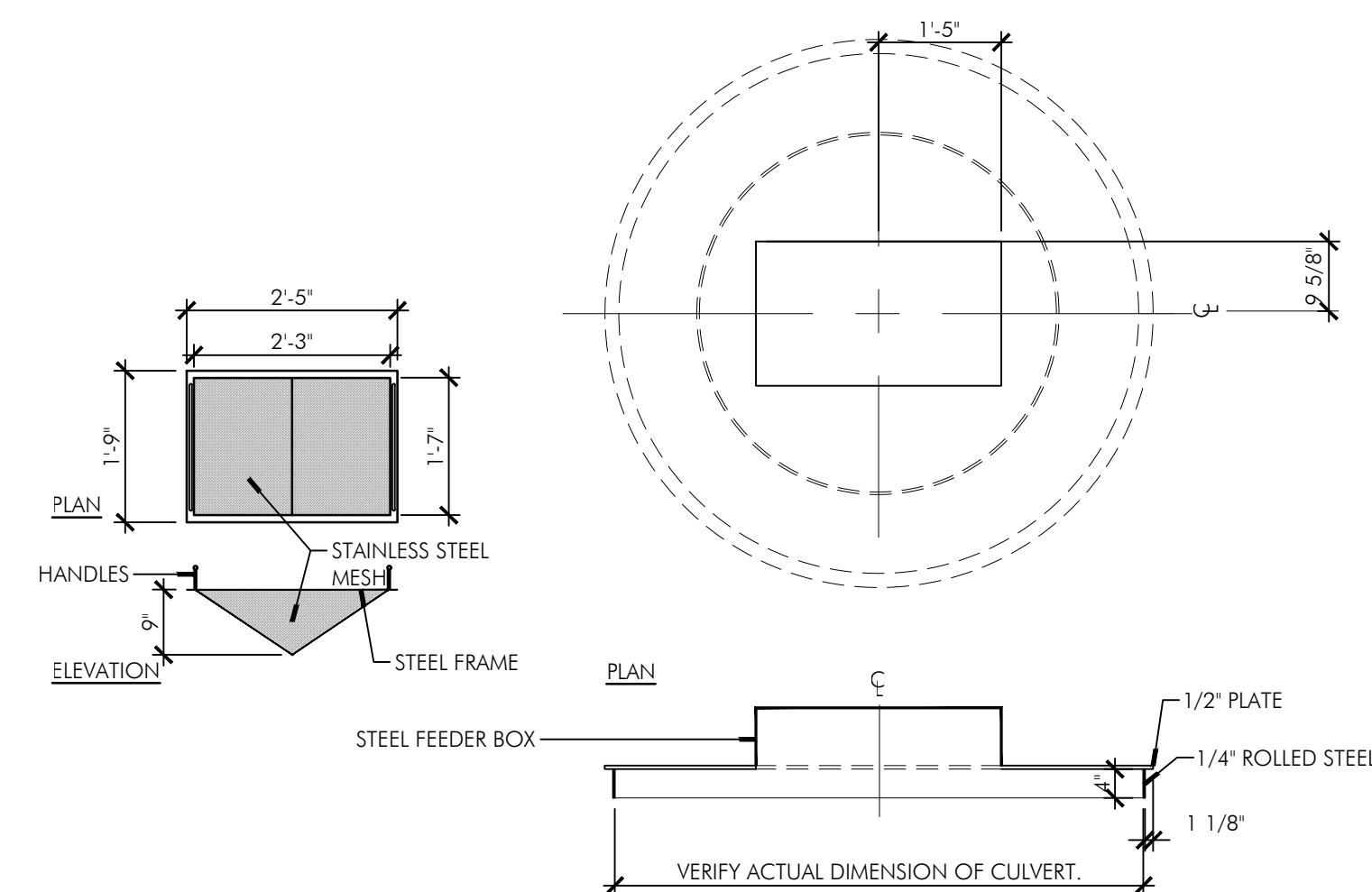
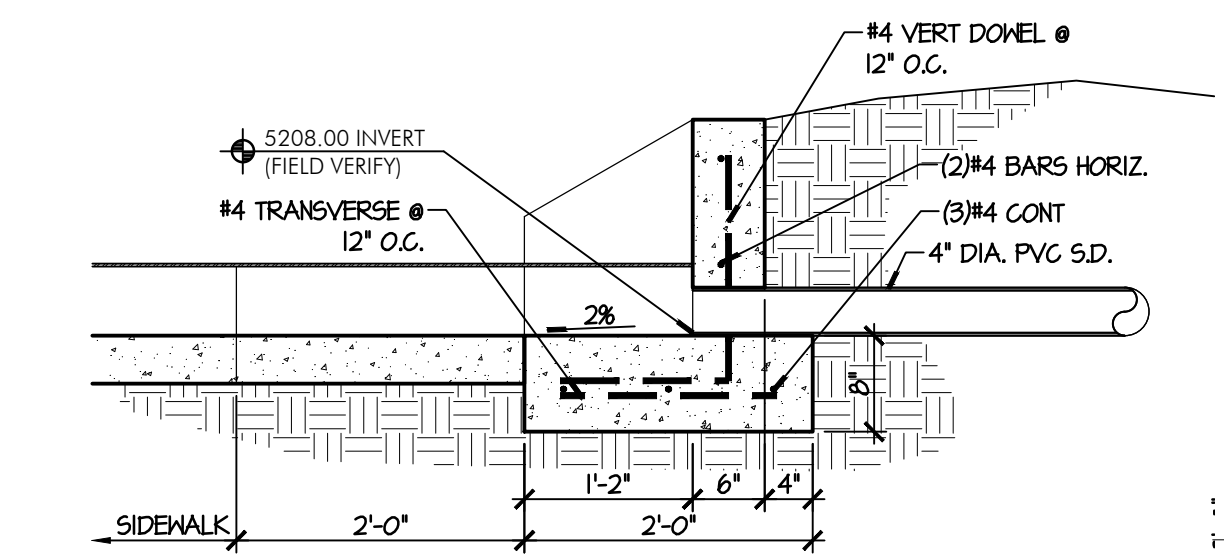
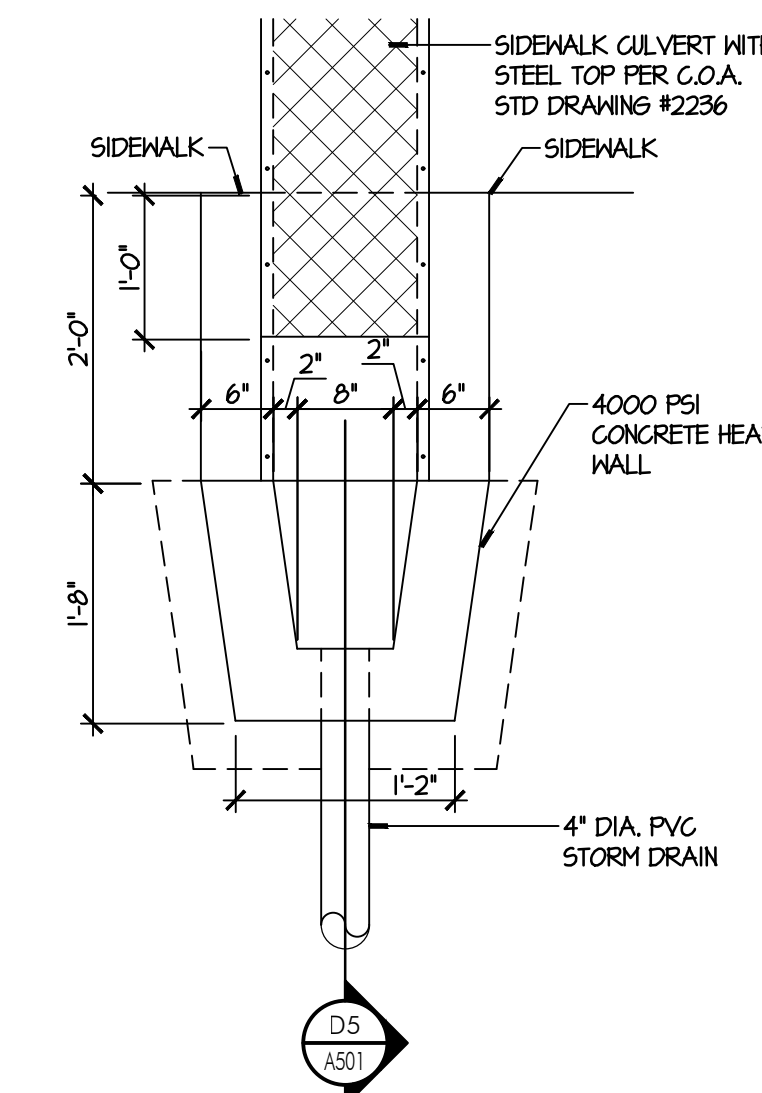
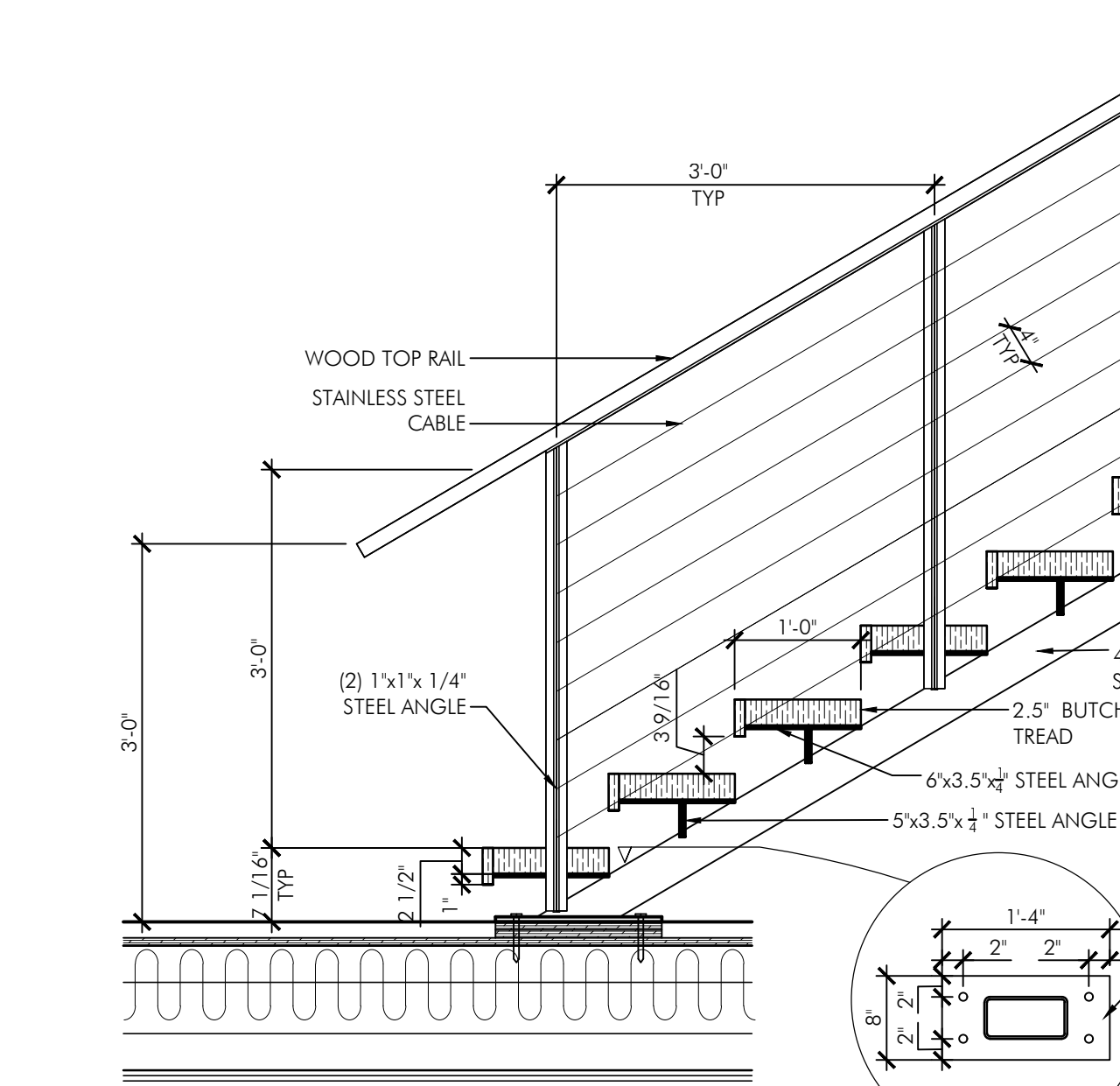
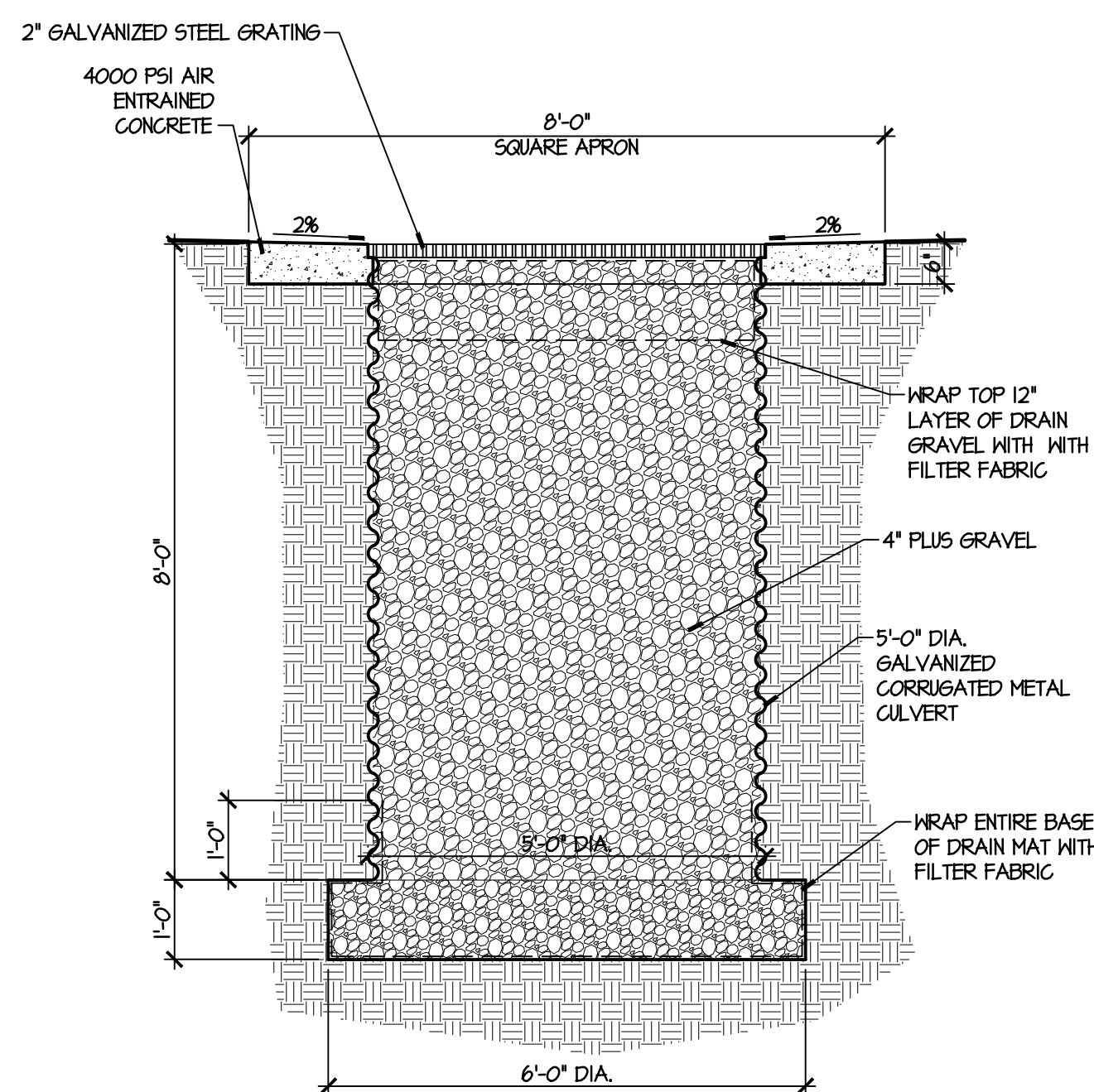
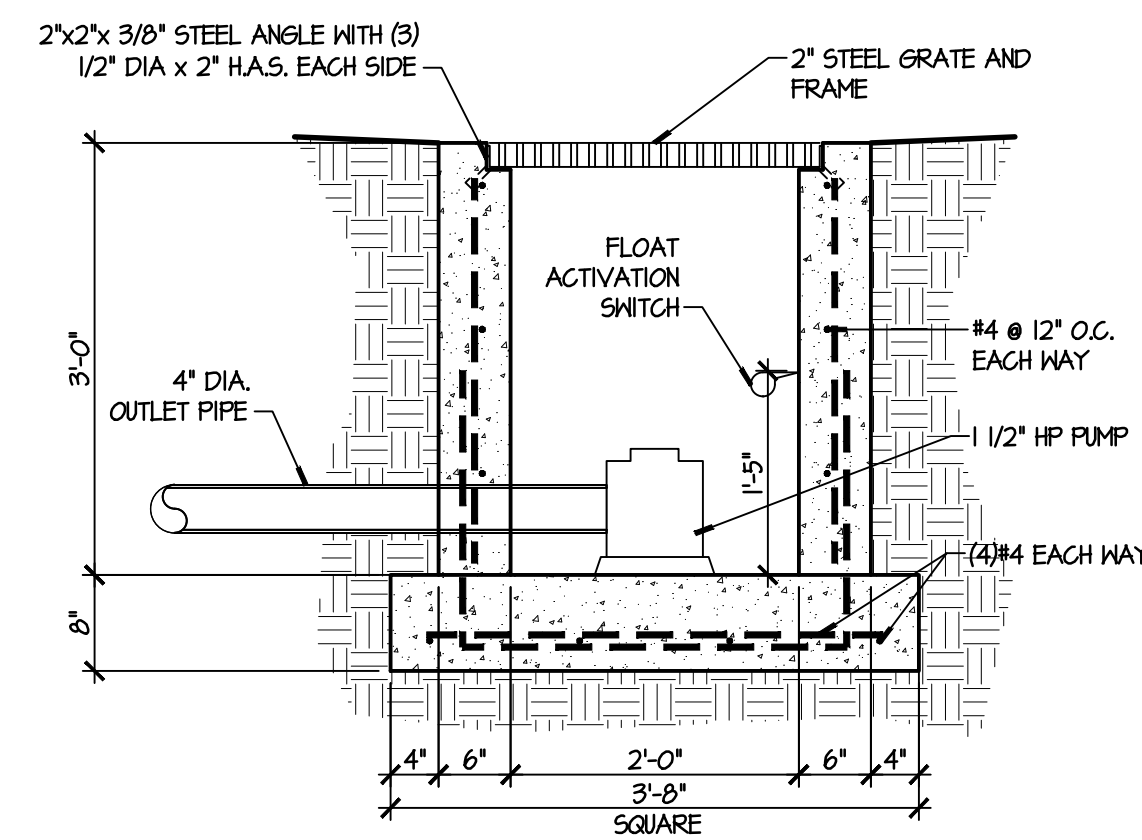
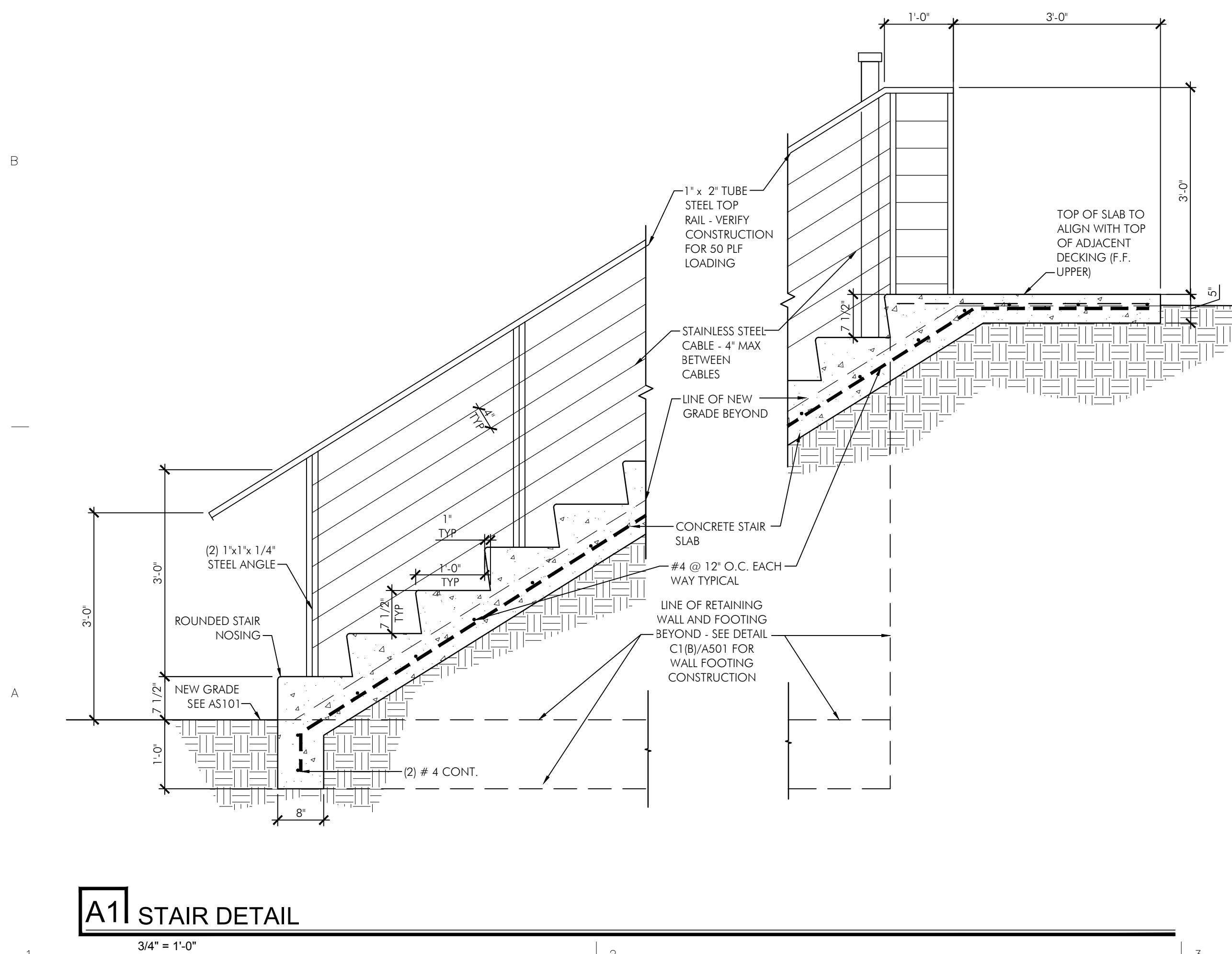
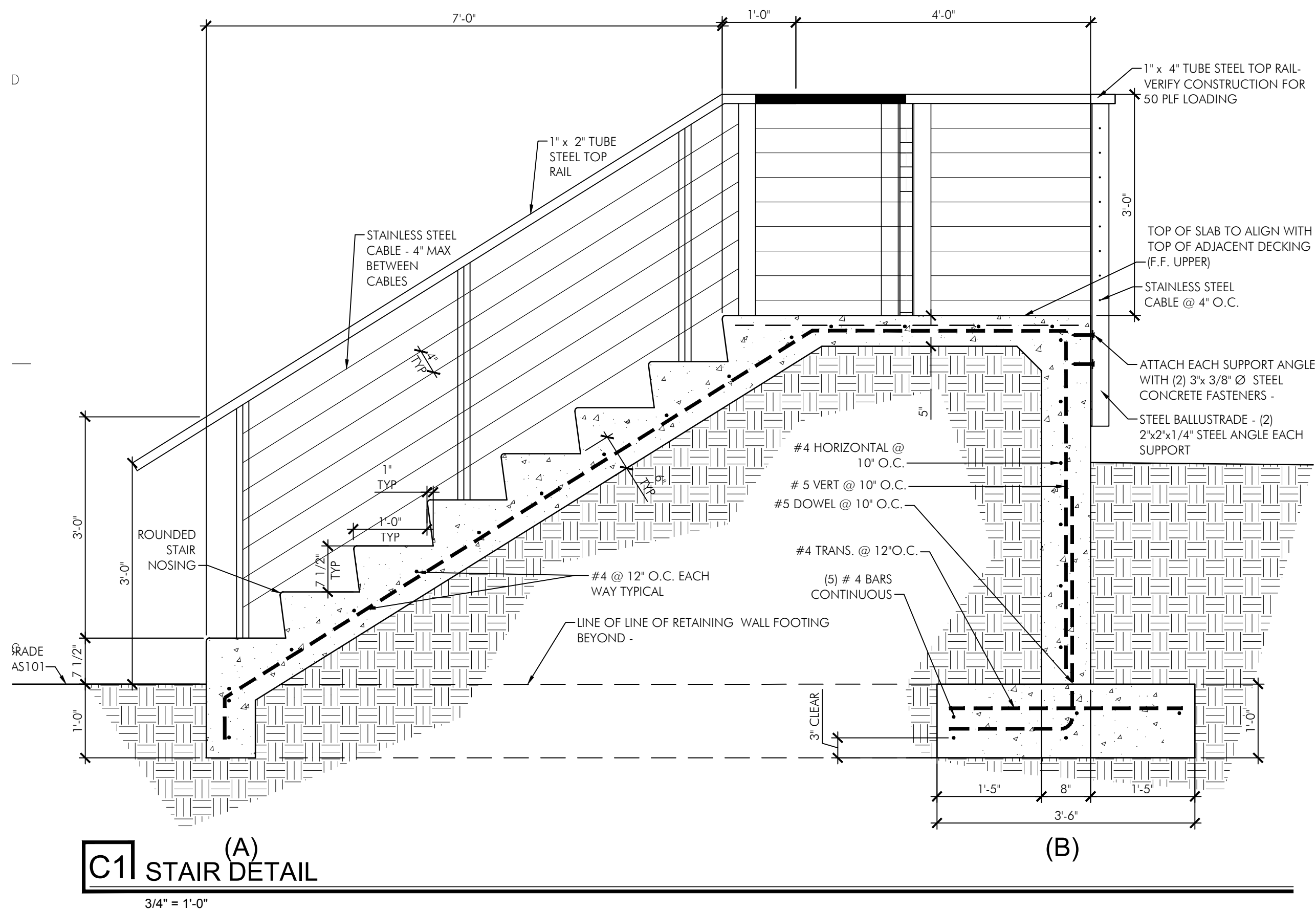
- _____ SIA/FINANCIAL GUARANTEE RELEASE
- _____ PRELIMINARY PLAT APPROVAL
- _____ S. DEV. PLAN FOR SUB'D APPROVAL
- _____ S. DEV. FOR BLDG. PERMIT APPROVAL
- _____ SECTOR PLAN APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY (PERM)
- _____ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- _____ FOUNDATION PERMIT APPROVAL
- _____ BUILDING PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ WORK ORDER APPROVAL
- _____ GRADING CERTIFICATION
- _____ SO-19 APPROVAL
- _____ ESC PERMIT APPROVAL
- _____ ESC CERT. ACCEPTANCE
- _____ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: _____ By: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



1

DRAINAGE CALCULATIONS:														
PRECIPITATION ZONE 2														
DESIGN STORM: (IN)					1hr	6hr	24hr	4day	10day					
					2.01	2.35	2.75	3.30	3.95					
EXISTING CONDITIONS - ENTIRE SITE:														
LAND TRMT	AREA (ACRE)	AREA %	P6	Q (CFS/AC)	Q (CFS)	V6 (CF)	V24 (CF)	V4day (CF)	V10day (CF)					
A	0.000	0%	0.53	1.56	0.00	0	0	0	0					
B	0.387	100%	0.78	2.28	0.88	1,096	1,096	1,096	1,096					
C	0.000	0%	1.13	3.14	0.00	0	0	0	0					
D	0.000	0%	2.12	4.70	0.00	0	0	0	0					
TOTALS					0.387	100%				0.88	1,096	1,096	1,096	1,096
PROPOSED CONDITIONS:														
LAND TRMT	AREA (ACRE)	AREA %	P6	Q (CFS/AC)	Q (CFS)	V6 (CF)	V24 (CF)	V4day (CF)	V10day (CF)					
A	0.000	0%	0.53	1.56	0.00	0	0	0	0					
B	0.232	60%	0.78	2.28	0.53	657	657	657	657					
C	0.000	0%	1.13	3.14	0.00	0	0	0	0					
D	0.155	40%	2.12	4.70	0.73	1,193	1,418	1,727	2,093					
TOTALS					0.387	100%				1.26	1,850	2,075	2,384	2,750
POND VOLUME:														
CONTOUR 5206.15				AREA	=	2185 SF								
				AVG DEPTH	=	0.95 FT								
				VOLUME	=	2075 CF								
FIRST FLUSH VOL.: .44"/12 x 6750 SF					=	248 CF								
248 CF < 2075 CF POND														

CURVE INFORMATION				
CURVE NO.	RADIUS	LENGTH	CENTRAL ANGLE	CHORD
C1	521.40'	115.00'	12° 38' 14"	S 62°53'29" E, 114.77'

LEGEND	
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	PROPERTY LINE
---	PROPOSED SPOT ELEVATION
---	FLOW DIRECTION
F.G.	FINISHED GRADE
INV.	INVERT
T.G.	TOP OF CONCRETE
FL	FLOW LINE
FF	FINISHED FLOOR
PP	POWER POLE
T.O.G.	TOP OF GRATE

GENERAL NOTES	
THE BUILDING FINISH FLOOR ELEVATION OF 100'-0" IS EQUAL TO THE SITE ELEVATION OF 5206.83'	
CARE SHOULD BE TAKEN TO MINIMIZE DAMAGE TO EXISTING TREES, GRADE, AND FOLIAGE AROUND BUILDING FOOTPRINT. CONSTRUCTION TRAFFIC AROUND THE SITE IS TO BE MINIMIZED.	
EXTERIOR LIGHTING SHOULD BE SCREENED MINIMUM OF 15 DEG FROM HORIZON TO MINIMIZE NIGHT SKY POLLUTION - ADDITIONALLY ANY EXTERIOR LIGHTING IS TO SHIELD LUMINAIRE LIGHT SOURCES FROM VIEW.	
CONTRACTOR RESPONSIBLE FOR ALL PERMITS, INSPECTIONS, AND TESTS REQUIRED.	
SEE ADDITIONAL NOTES ON A-601.	



NORTH
C51 VICINITY MAP
N.T.S.

Legal Description

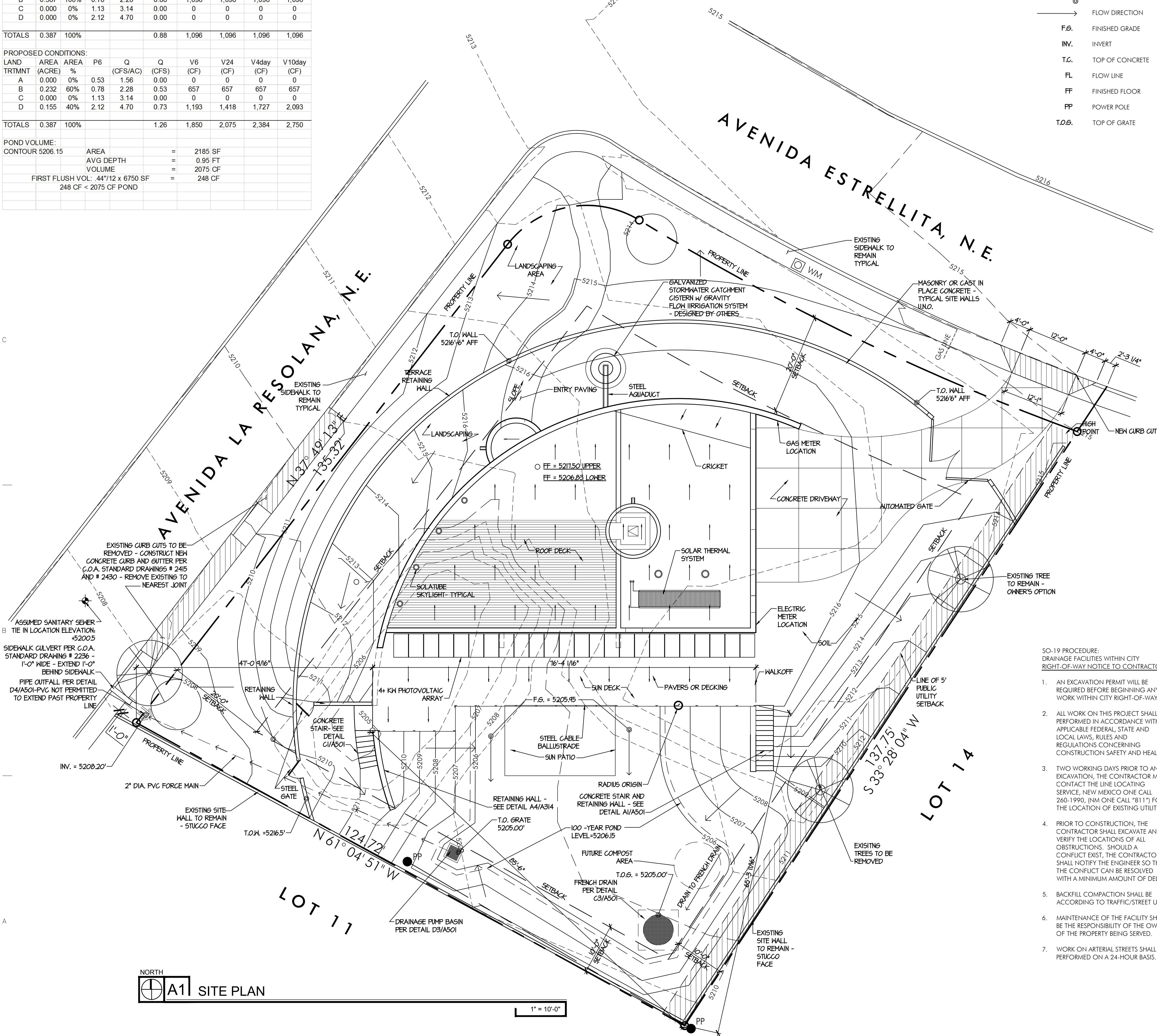
Lots numbered Twelve (12) and Thirteen (13), in Block numbered Eight (8), of La Resolana Addition, as the same are shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on December 9, 1946, in Plat Book D00, page 105.

Area Summary

CONDITIONED:	
UPPER LEVEL (NOT INCLUDING 410 SF OPENING TO BELOW)	1,159 SF
LOWER LEVEL	3,178 SF
CONDITIONED SUBTOTAL:	4,337 SF
UN-CONDITIONED:	
UPPER LEVEL (GARAGE, MECHANICAL, ELEVATOR)	1,245 SF
LOWER LEVEL (ELEVATOR)	39 SF
UN-CONDITIONED SUBTOTAL:	1,284 SF
TOTAL BUILDING FOOTPRINT:	4,005 SF
SITE AREA:	0.36 ACRE

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SO-19 PROCEDURE:
DRAINAGE FACILITIES WITHIN CITY
RIGHT-OF-WAY NOTICE TO CONTRACTOR

- AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE LINE LOCATING SERVICE, NEW MEXICO ONE CALL 260-1990, (NM ONE CALL "811") FOR THE LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.



ISSUE:	
CONSTRUCTION SET	
DRAWN BY:	KDB
CHECKED BY:	EDI
DATE:	2016.03.17

REVISIONS	

SITE/ROOF PLAN PROJECT INFORMATION

12025
AS101
002 OF