CITY OF ALBUQUERQUE



June 13, 2016

Richard J. Berry, Mayor

Mike Walla, P.E. Walla Engineering, Ltd 6501 Americas Parkway NE, Suite 301 Albuquerque, NM, 87110

RE: Davis Residence

Grading and Drainage Plan

Engineer's Stamp Date 6-9-2016 (File: J17D037)

Dear Mr. Walla:

Based upon the information provided in your submittal received 6-10-2016, the above-referenced revised plan is approved for Building Permit (Including Grading Permit) and SO-19 Permit.

PO Box 1293

Please attach a copy of this approved plan in the construction sets when submitting for the building permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required. Please ensure that the existing piping under the sidewalk is completely cleaned.

Albuquerque

Please make sure the Contractor is aware of the coordination required to complete the sidewalk culvert in the Right of Way (SO-19 Notes included in the Grading Plan).

If you have any questions, you can contact me at 924-3986.

New Mexico 87103

Sincerely,

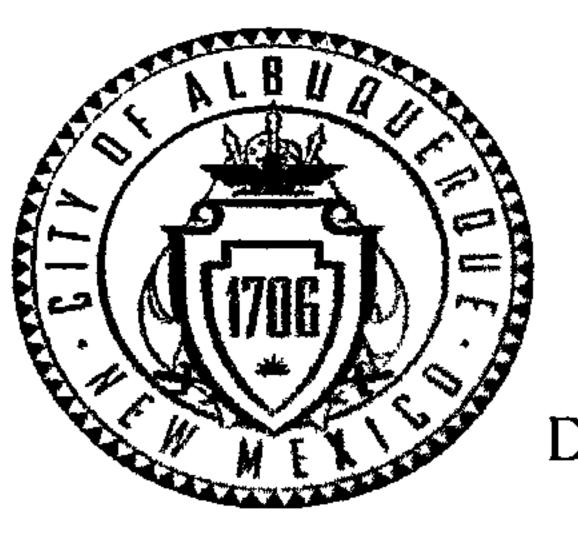
www.cabq.gov

Abiel Carrillo, PÆ.

Principal Engineer, Planning Dept.

Development Review Services

Orig: Drainage file



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: DAVIS RESIDENCE	uilding Permit #: T20169084 City Drainage #: 🖊 💢
DRB#: EPC#:	Work Order#:
Legal Description: LOT 12 & 13, BLOCK 8 OF LA RESOLANA ADDITION, ALBUC	UERQUE, BERNALILLO, NEW MEXICO
City Address: 4214 AVENIDA LA RESOLANA NE ALBUQU	ERQUE, NEW MEXICO 87110
Engineering Firm: WALLA ENGINEERING Address: 6501 AMERICAS PWKY NE, ALBUQ., NM 87110	
Phone#: 505-881-3008 Fax#: 505-881-4025	E-mail: mikew@wallaengineering.com
Owner: DANIEL DAVIS	Contact: DANIEL DAVIS
Address: 1414 CAMINO GALLO NW, ALBUQUERQUE, N	
Phone#: 505-948-8975 Fax#:	E-mail:
Architect: EDI (ENVIRONMENTAL DYNAMICS, INC.)	Contact: KENT BEIERLE
Address: 142 TRUMAN ST NE, SUITE A1, ALBUQUERQUERQUERQUERQUERQUERQUERQUERQUERQUE	
Phone#: 505-242-2851 Fax#:	E-mail: kent@edi-arch.com
Surveyor: WAYJOHN SURVEYING, INC. Address: 330 LOUISIANA. NE, ALBUQUERQUE, NM 8710	Contact: THOMAS JOHNSTON
Phone#: 505-255-2025 Fax#: 505-255-2887	E-mail: info@wayjohn.com
Contractor:	Contact:
Address:	· · · · · · · · · · · · · · · · · · ·
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Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

- 1 Conceptual Grading and Drainage Plan. Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
- 2 Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- 3 Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- 4 Erosion and Sediment Control Plan: Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

Abiel X. Carrillo

From: Abiel X. Carrillo

Sent: Wednesday, June 08, 2016 11:54 AM

To: 'Mike Walla'

Cc: 'Kindel@edi-arch.com'

Subject: Davis Residence - J17D037 - Stamp Date 5-24-16

Mr. Walla,

This email is being sent in lieu of an attached letter in order to expedite initial reviews. A reply to these comments via email will not be considered a resubmittal.

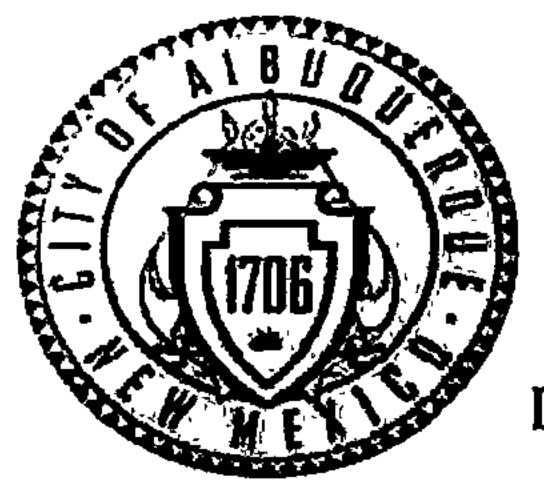
Based upon the information provided in the submittal received 5/27/2016, the Grading and Drainage Plan cannot be approved for Building Permit until the following items are addressed:

- 1. The outlet of the 2" PVC forced drain line should be set behind the property line, since PVC lines are not allowed in the Right of Way.
- 2. The sidewalk culvert needs to be inspected by the City, which is accomplished through the SO-19 procedure. Please attach the enclosed SO-19 Notes to the Grading Plan.
- 3. The sidewalk culvert plate should extend 1-foot behind the sidewalk.
- 4. Call out the City's Standard details for curb and sidewalk replacements associated with the removal of curb cuts. \frac{t}{2}
- 5. Add a note to the plans that removal of sidewalk and curb and gutter shall be done to the nearest joint.
- 6. Please consider incorporating a measure to keep the french drain from plugging with sediment and reducing the frequency of needed maintenance, such as wrapping the top rock layer, or the grate bottom with filter fabric. Depending on the proposed measure, the bottom mat under the CMP should also be wrapped to help preserve the capacity of the outlet.

If you have any question just let me know.

Abiel Carrillo, PE, CFM

Principal Engineer - Hydrology
Planning Department
Development Review Services Division
City of Albuquerque
505-924-3986
acarrillo@cabq.gov
600 2nd Street NW
Albuquerque, NM 87102



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

	(REV 02/2013)	J [[] DO 5 1
Project Title: DAVIS RESIDENCE	Building Permit #:	T201690845 City Drainage #:
DRB#: EPC#:	Dunding 1 Cillin #.	Work Order#:
Legal Description: LOT 12 & 13, BLOCK 8 OF LA RESOLAN	A ADDITION, ALBUQUEROUE, BERNA	
City Address: 4214 AVENIDA LA RESOLANA NE ALBUQUERQUE, NEW MEXICO 87110		
	1112120QCD11QCD,112	
Engineering Firm: WALLA ENGINEERING		Contact: MKE WALLA
Address: 6501 AMERICAS PWKY NE, ALB		······································
Phone#: 505-881-3008 Fax#: 50	5-881-4025	E-mail: mikew@wallaengineering.com
Owner: DANIEL DAVIS		Contact: DANIEL DAVIS
Address: 1414 CAMINO GALLO NW, ALBU	IOUEROUE NM 87107	Contact Division 1971 4 10
Phone#: 505-948-8975 Fax#:	JOLIKOU, IMIOTOT	E-mail:
1 11011011. <u>303 740 0773</u>		
Architect: EDI (ENVIRONMENTAL DYNA		Contact: KENT BEIERLE
Address: 142 TRUMAN ST NE, SUITE A1, A	ALBUQUERQUE, NM 8710	2
Phone#: 505-242-2851 Fax#:		E-mail: kent@edi-arch.com
Surveyor: WAYJOHN SURVEYING, INC.		Contact: THOMAS JOHNSTON
Address: 330 LOUISIANA. NE, ALBUQUER	OTTE NIM 27102	Confact. THOMAS JOINS TON
	5-255-2887	E-mail: info@wayjohn.com
1 ποποπ. 303-233-2023	J-2JJ-2001	E-man. <u>muoe way joini.com</u>
Contractor:		Contact:
Address:		
Phone#: Fax#:		E-mail:
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OTHER (SPECIFY)	GRADING CERTIFICATIO	N OTHER (SPECIFY)
WAS A PRE-DESIGN CONFERENCE ATTENDED:	Yes X No C	opy Provided
DATE SUBMITTED: 5-19-16	By: MIKE WALLA	
	 , 	
Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and		
scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following. 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres		
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