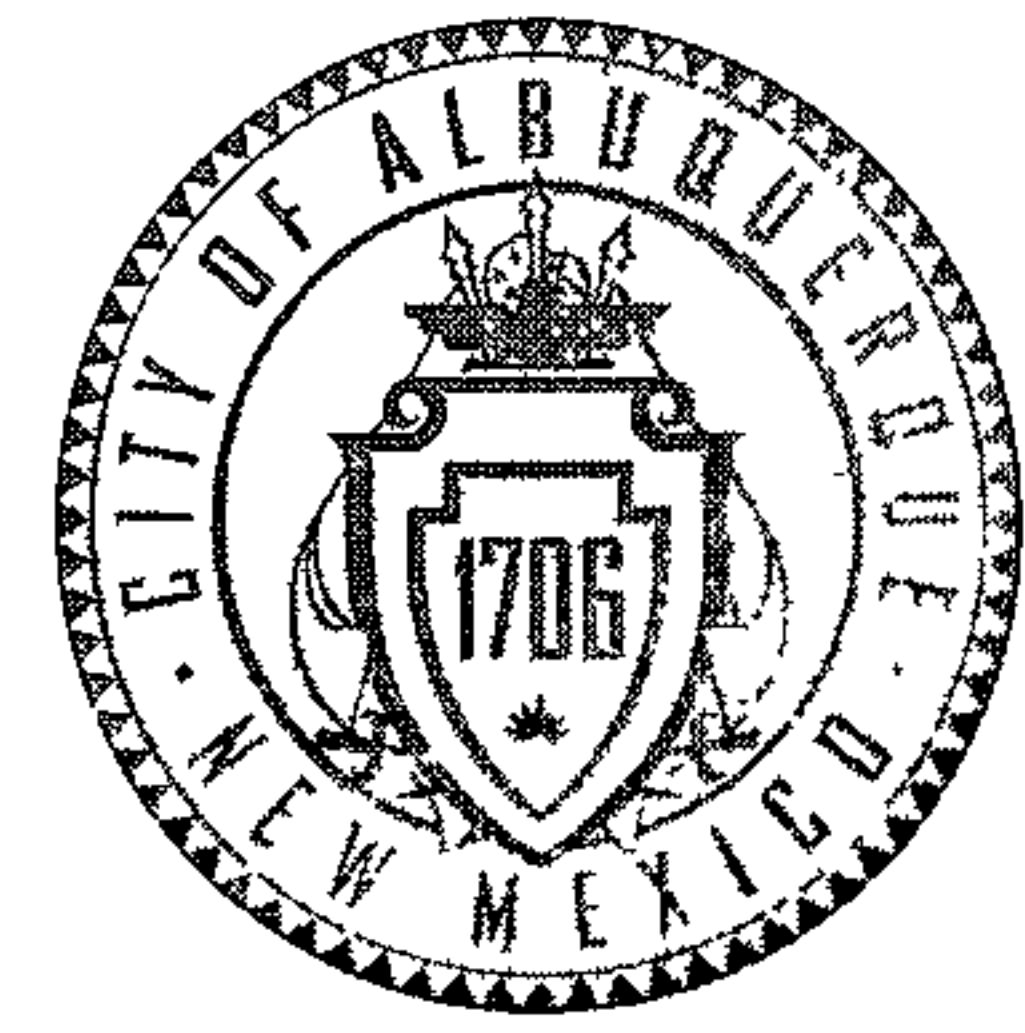


# CITY OF ALBUQUERQUE



June 13, 2016

Richard J. Berry, Mayor

Mike Walla, P.E.  
Walla Engineering, Ltd  
6501 Americas Parkway NE, Suite 301  
Albuquerque, NM, 87110

**RE: Davis Residence  
Grading and Drainage Plan  
Engineer's Stamp Date 6-9-2016 (File: J17D037)**

Dear Mr. Walla:

Based upon the information provided in your submittal received 6-10-2016, the above-referenced revised plan is approved for Building Permit (Including Grading Permit) and SO-19 Permit.

PO Box 1293

Please attach a copy of this approved plan in the construction sets when submitting for the building permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required. Please ensure that the existing piping under the sidewalk is completely cleaned.

Albuquerque

Please make sure the Contractor is aware of the coordination required to complete the sidewalk culvert in the Right of Way (SO-19 Notes included in the Grading Plan).

If you have any questions, you can contact me at 924-3986.

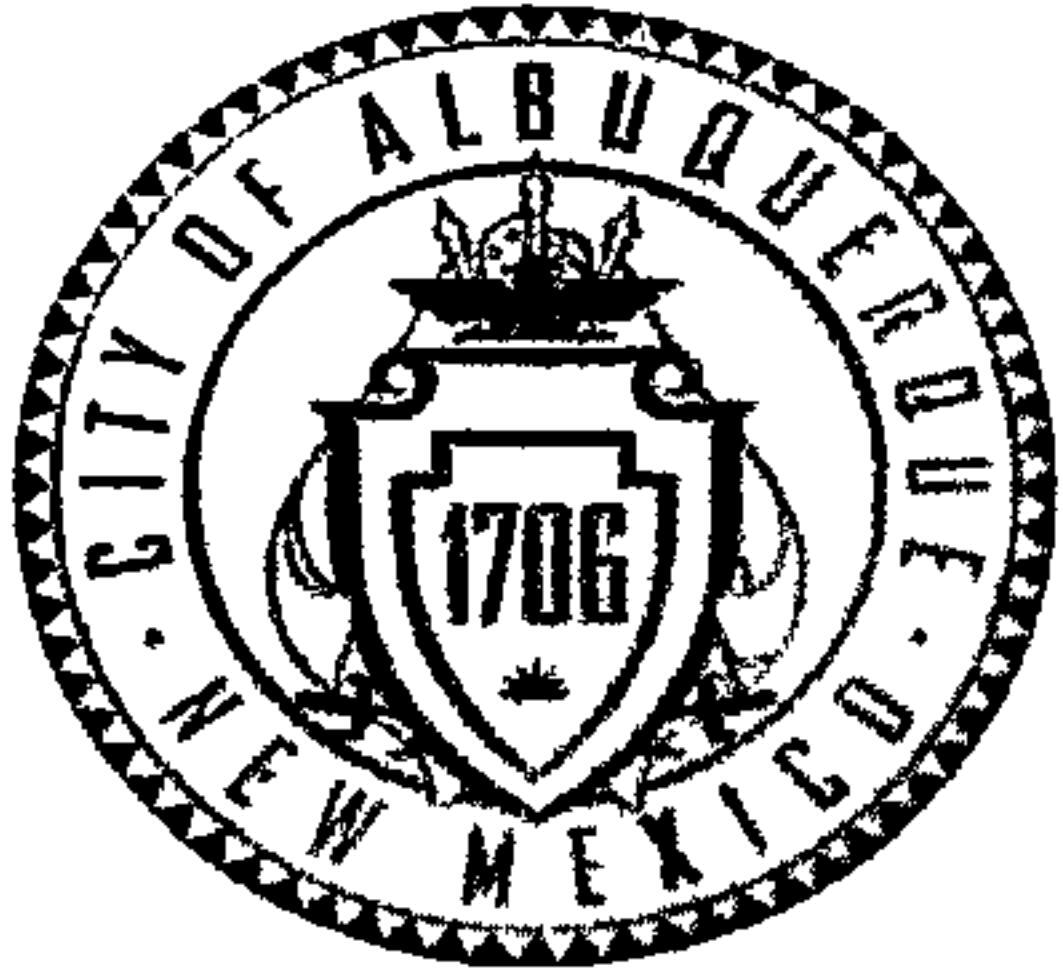
New Mexico 87103

Sincerely,

Abiel Carrillo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

[www.cabq.gov](http://www.cabq.gov)

Orig: Drainage file



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: DAVIS RESIDENCE Building Permit #: T20169084 City Drainage #: J170037

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: LOT 12 & 13, BLOCK 8 OF LA RESOLANA ADDITION, ALBUQUERQUE, BERNALILLO, NEW MEXICO

City Address: 4214 AVENIDA LA RESOLANA NE ALBUQUERQUE, NEW MEXICO 87110

Engineering Firm: WALLA ENGINEERING

Contact: MIKE WALLA

Address: 6501 AMERICAS PWKY NE, ALBUQ., NM 87110 SUITE 301

Phone#: 505-881-3008

Fax#: 505-881-4025

E-mail: mikew@wallaengineering.com

Owner: DANIEL DAVIS

Contact: DANIEL DAVIS

Address: 1414 CAMINO GALLO NW, ALBUQUERQUE, NM 87107

Phone#: 505-948-8975

Fax#: \_\_\_\_\_

E-mail: \_\_\_\_\_

Architect: EDI (ENVIRONMENTAL DYNAMICS, INC.)

Contact: KENT BEIERLE

Address: 142 TRUMAN ST NE, SUITE A1, ALBUQUERQUE, NM 87102

Phone#: 505-242-2851

Fax#: \_\_\_\_\_

E-mail: kent@edi-arch.com

Surveyor: WAYJOHN SURVEYING, INC.

Contact: THOMAS JOHNSTON

Address: 330 LOUISIANA. NE, ALBUQUERQUE, NM 87108

Phone#: 505-255-2025

Fax#: 505-255-2887

E-mail: info@wayjohn.com

Contractor: \_\_\_\_\_

Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_

Fax#: \_\_\_\_\_

E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☐ DRAINAGE PLAN 1st SUBMITTAL

☒ DRAINAGE PLAN RESUBMITTAL

☐ CONCEPTUAL G & D PLAN

☒ GRADING PLAN

☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ ENGINEER'S CERT (HYDROLOGICAL DEVELOPMENT SECTION)

☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)

☐ ENGINEER'S CERT (TCL)

☐ ENGINEER'S CERT (DRB SITE PLAN)

☐ ENGINEER'S CERT (ESC)

☒ SO-19

☐ OTHER (SPECIFY) \_\_\_\_\_

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ STATE FINANCIAL GUARANTEE RELEASE

☐ PRELIMINARY PLAT APPROVAL

☐ SITE DEV. PLAN FOR SUB'D APPROVAL

☐ SITE DEV. FOR BLDG. PERMIT APPROVAL

☐ SECTOR PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☐ CERTIFICATE OF OCCUPANCY (PERM)

☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)

☐ FOUNDATION PERMIT APPROVAL

☒ BUILDING PERMIT APPROVAL

☒ GRADING PERMIT APPROVAL

☐ PAVING PERMIT APPROVAL

☐ WORK ORDER APPROVAL

☐ GRADING CERTIFICATION

☐ SO-19 APPROVAL

☐ ESC PERMIT APPROVAL

☐ ESC CERT. ACCEPTANCE

☐ OTHER (SPECIFY) \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_

Yes ☒ No ☐ Copy Provided

DATE SUBMITTED: 6-9-16

By: MIKE WALLA

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1 **Conceptual Grading and Drainage Plan.** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
- 2 **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- 3 **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- 4 **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

## **Abiel X. Carrillo**

---

**From:** Abiel X. Carrillo  
**Sent:** Wednesday, June 08, 2016 11:54 AM  
**To:** 'Mike Walla'  
**Cc:** 'Kindel@edi-arch.com'  
**Subject:** Davis Residence - J17D037 - Stamp Date 5-24-16

Mr. Walla,

This email is being sent in lieu of an attached letter in order to expedite initial reviews. A reply to these comments via email will not be considered a resubmittal.

Based upon the information provided in the submittal received 5/27/2016, the Grading and Drainage Plan cannot be approved for Building Permit until the following items are addressed:

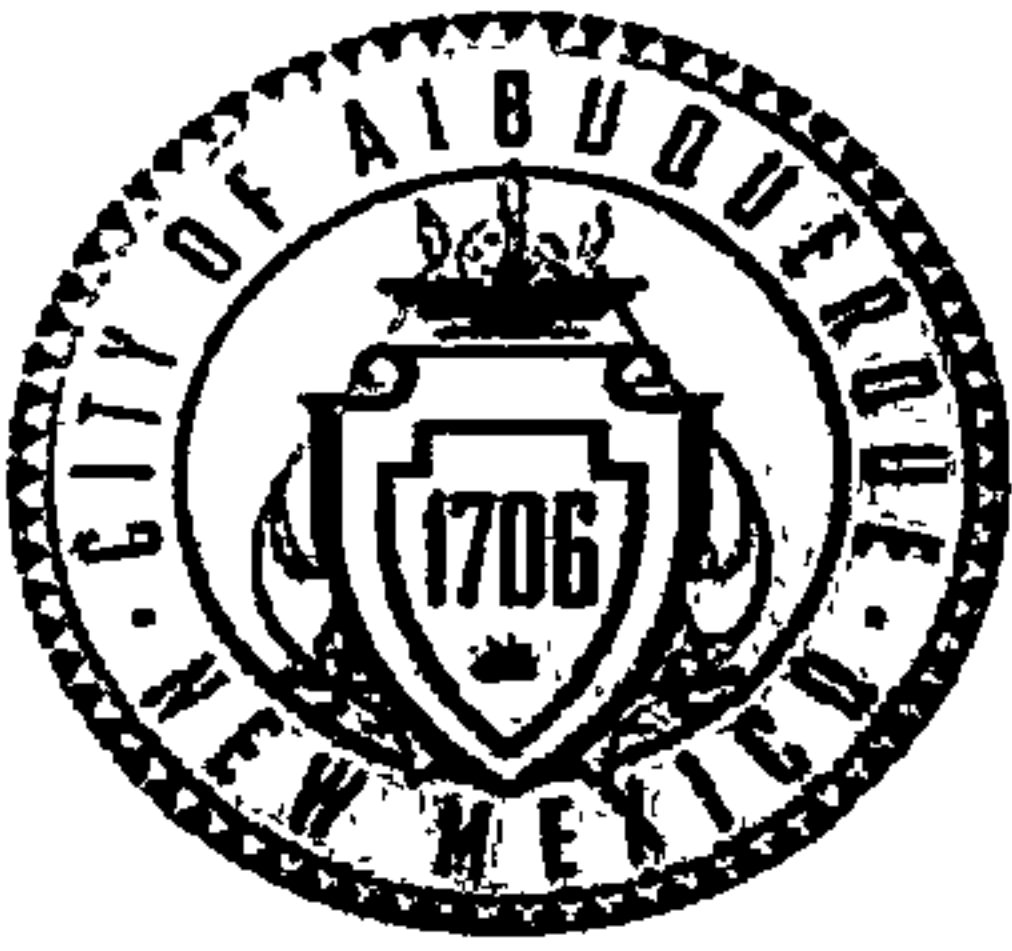
1. The outlet of the 2" PVC forced drain line should be set behind the property line, since PVC lines are not allowed in the Right of Way.
2. The sidewalk culvert needs to be inspected by the City, which is accomplished through the SO-19 procedure. Please attach the enclosed SO-19 Notes to the Grading Plan.
3. The sidewalk culvert plate should extend 1-foot behind the sidewalk.
4. Call out the City's Standard details for curb and sidewalk replacements associated with the removal of curb cuts.
5. Add a note to the plans that removal of sidewalk and curb and gutter shall be done to the nearest joint.
6. Please consider incorporating a measure to keep the french drain from plugging with sediment and reducing the frequency of needed maintenance, such as wrapping the top rock layer, or the grate bottom with filter fabric. Depending on the proposed measure, the bottom mat under the CMP should also be wrapped to help preserve the capacity of the outlet.

If you have any question just let me know.

### **Abiel Carrillo, PE, CFM**

**Principal Engineer - Hydrology**  
**Planning Department**  
Development Review Services Division  
City of Albuquerque  
505-924-3986  
[acarrillo@cabq.gov](mailto:acarrillo@cabq.gov)  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102





# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

J17D037  
~~J17D037~~

Project Title: DAVIS RESIDENCE Building Permit #: T201690845 City Drainage #: ~~J17D037~~  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: LOT 12 & 13, BLOCK 8 OF LA RESOLANA ADDITION, ALBUQUERQUE, BERNALILLO, NEW MEXICO  
City Address: 4214 AVENIDA LA RESOLANA NE ALBUQUERQUE, NEW MEXICO 87110

Engineering Firm: WALLA ENGINEERING Contact: MIKE WALLA  
Address: 6501 AMERICAS PWKY NE, ALBUQ., NM 87110 SUITE 301  
Phone#: 505-881-3008 Fax#: 505-881-4025 E-mail: mikew@wallaengineering.com

Owner: DANIEL DAVIS Contact: DANIEL DAVIS  
Address: 1414 CAMINO GALLO NW, ALBUQUERQUE, NM 87107  
Phone#: 505-948-8975 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Architect: EDI (ENVIRONMENTAL DYNAMICS, INC.) Contact: KENT BEIERLE  
Address: 142 TRUMAN ST NE, SUITE A1, ALBUQUERQUE, NM 87102  
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Phone#: 505-255-2025 Fax#: 505-255-2887 E-mail: info@wayjohn.com

Contractor: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

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☒ DRAINAGE PLAN 1st SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☒ GRADING PLAN  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ ENGINEER'S CERT (TCL)  
☐ ENGINEER'S CERT (DRB SITE PLAN)  
☐ ENGINEER'S CERT (ESC)  
☒ SO-19  
☐ OTHER (SPECIFY) \_\_\_\_\_

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TCL)  
☐ FOUNDATION PERMIT APPROVAL  
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☒ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ GRADING CERTIFICATION  
☐ SO-19 APPROVAL  
☐ ESC PERMIT APPROVAL  
☐ ESC CERT. ACCEPTANCE  
☐ OTHER (SPECIFY) \_\_\_\_\_

RECEIVED  
MAY 25 2016  
LAND DEVELOPMENT SECTION  
\$0.00  
\$50.00

WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_

Yes ☒ No ☐ Copy Provided \_\_\_\_\_

DATE SUBMITTED: 5-19-16

By: MIKE WALLA

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RECEIVED  
MAY 25 2016  
LAND DEVELOPMENT SECTION