

# CITY OF ALBUQUERQUE

*Planning Department*  
Brennon Williams, Director



*Mayor Timothy M. Keller*

May 5, 2021

David Soule, P.E.  
Rio Grande Engineering  
P.O. Box 93924  
Albuquerque, NM 87199

**RE: 4231 Coe Dr. NE**  
**Grading and Drainage Plan**  
**Engineer's Stamp Date: 04/15/21**  
**Hydrology File: J17D038**

Dear Mr. Soule:

Based upon the information provided in your submittal received 04/21/2021, the Grading and Drainage Plan is approved for Building Permit and Grading Permit.

Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter. Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** 4231 COE NE **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** LOT 110 BLOCK 2 NEATS PARK ADDITION  
**City Address:** 4231 COE NE

**Applicant:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Other Contact:** RIO GRANDE ENGINEERING **Contact:** DAVID SOULE  
**Address:** PO BOX 93924 ALB NM 87199  
**Phone#:** 505.321.9099 **Fax#:** 505.872.0999 **E-mail:** david@riograndeengineering.com

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT ☒ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

Check all that Apply:

### DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE  
\_\_\_\_\_ TRAFFIC/ TRANSPORTATION

### TYPE OF SUBMITTAL:

\_\_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION  
\_\_\_\_\_ PAD CERTIFICATION  
\_\_\_\_\_ CONCEPTUAL G & D PLAN  
☒ GRADING PLAN  
\_\_\_\_\_ DRAINAGE REPORT  
\_\_\_\_\_ DRAINAGE MASTER PLAN  
\_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
\_\_\_\_\_ ELEVATION CERTIFICATE  
\_\_\_\_\_ CLOMR/LOMR  
\_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)  
\_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)  
\_\_\_\_\_ STREET LIGHT LAYOUT  
\_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_  
\_\_\_\_\_ PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL?: \_\_\_\_\_ Yes ☒ No

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL  
\_\_\_\_\_ CERTIFICATE OF OCCUPANCY  
\_\_\_\_\_ PRELIMINARY PLAT APPROVAL  
\_\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL  
\_\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL  
\_\_\_\_\_ FINAL PLAT APPROVAL  
\_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE  
\_\_\_\_\_ FOUNDATION PERMIT APPROVAL  
\_\_\_\_\_ GRADING PERMIT APPROVAL  
\_\_\_\_\_ SO-19 APPROVAL  
\_\_\_\_\_ PAVING PERMIT APPROVAL  
\_\_\_\_\_ GRADING/ PAD CERTIFICATION  
\_\_\_\_\_ WORK ORDER APPROVAL  
\_\_\_\_\_ CLOMR/LOMR  
\_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT  
\_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

BASIN DATA

| Basin                    | Area<br>(sf) | Area<br>(acres) | Treatment A |         | Treatment B |         | Treatment C |         | Treatment D |         | Q100<br>GENERATED | Q100<br>DISCHARGED |
|--------------------------|--------------|-----------------|-------------|---------|-------------|---------|-------------|---------|-------------|---------|-------------------|--------------------|
|                          |              |                 | %           | (acres) | %           | (acres) | %           | (acres) | %           | (acres) |                   |                    |
| EXISTING SITE DISCHARGE  | 14540.00     | 0.334           | 0%          | 0       | 24%         | 0.080   | 45%         | 0.1502  | 31%         | 0.103   | 1.06              | 1.06               |
| PROPOSED UNIMPACTED AREA | 9648.00      | 0.221           | 0%          | 0       | 24%         | 0.053   | 30%         | 0.0664  | 46%         | 0.102   | 0.75              | 0.75               |
| PROPOSED DEV AREA        | 4894.00      | 0.112           | 0%          | 0       | 34%         | 0.038   | 40%         | 0.0449  | 26%         | 0.029   | 0.35              | 0.22               |
| TOTAL EXISTING           |              |                 |             |         |             |         |             |         |             |         |                   | 1.06               |
| TOTAL PROPOSED           |              |                 |             |         |             |         |             |         |             |         |                   | 0.92               |

FIRST FLUSH/REDEVELOPMENT (0.48" PER SF IMP)

0.000 required  
42.000 provided

\* SITE DISCHARGE CALCULATED UTILIZING ARHYMO. THE DETENTION POND HAS DIFFERENT T<sub>D</sub> THEREFORE THE CUMULATIVE DISCHARGE IS SLIGHTLY LESS THAN THE SUMMATION OF EACH BASIN

Narrative

The subject property is located within a fully developed area of Albuquerque. All down stream drainage improvements have been completed. This is a new addition to an existing site that discharges 1.00 cfs to the adjacent roadway. The proposed improvements will continue to free discharge the undisturbed portion of the site at 0.75cfs. The addition will convey all its flow to an shallow detention area controlled by open joints at the bottom of a court yard wall. The 0.35 cfs generated by the disturbed area shall be attenuated to 0.22 cfs leaving the site. The total flow leaving the site in the developed condition is 0.92 cfs, which is .14 cfs less than historical

EROSION CONTROL NOTES:

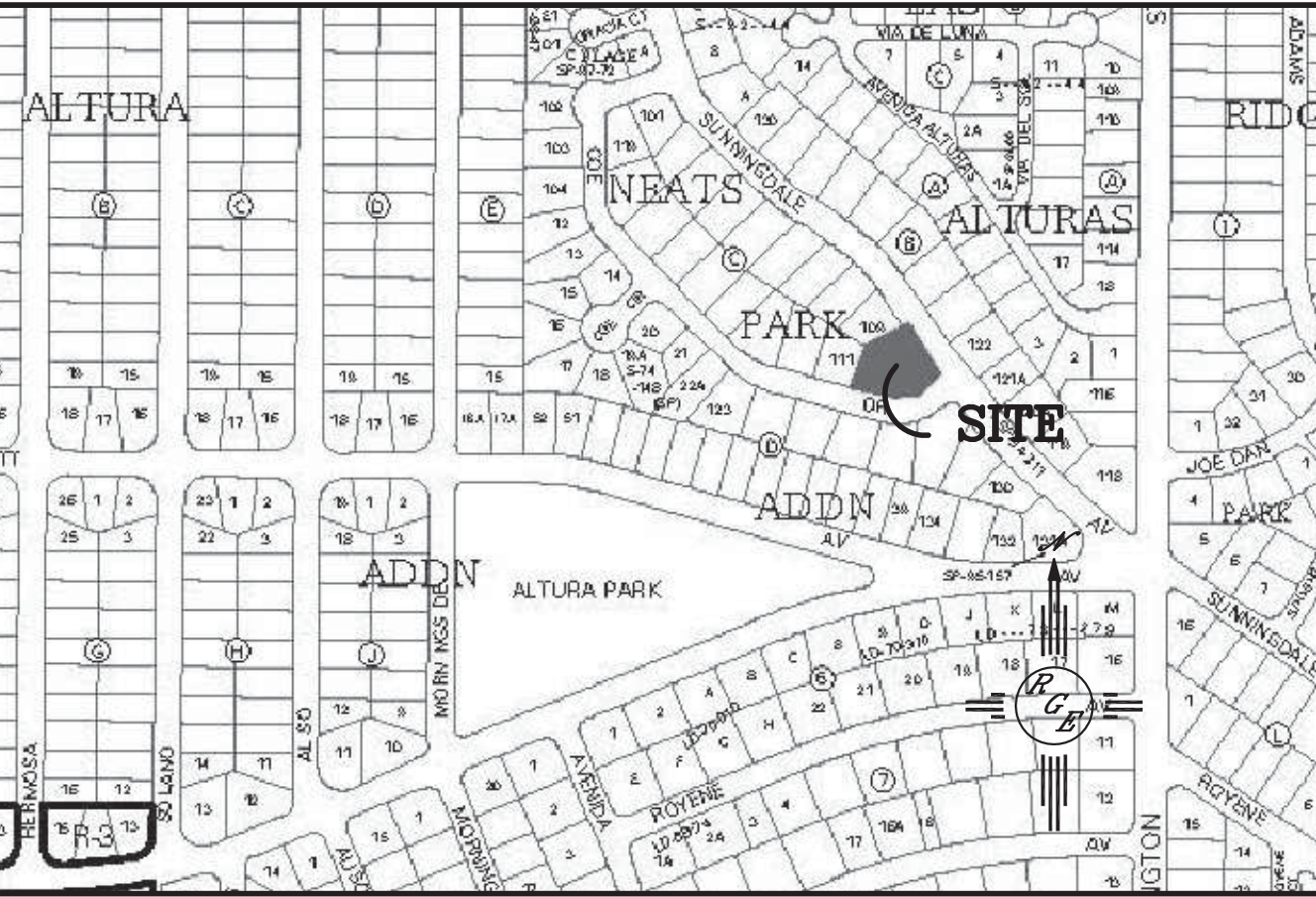
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.

2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.

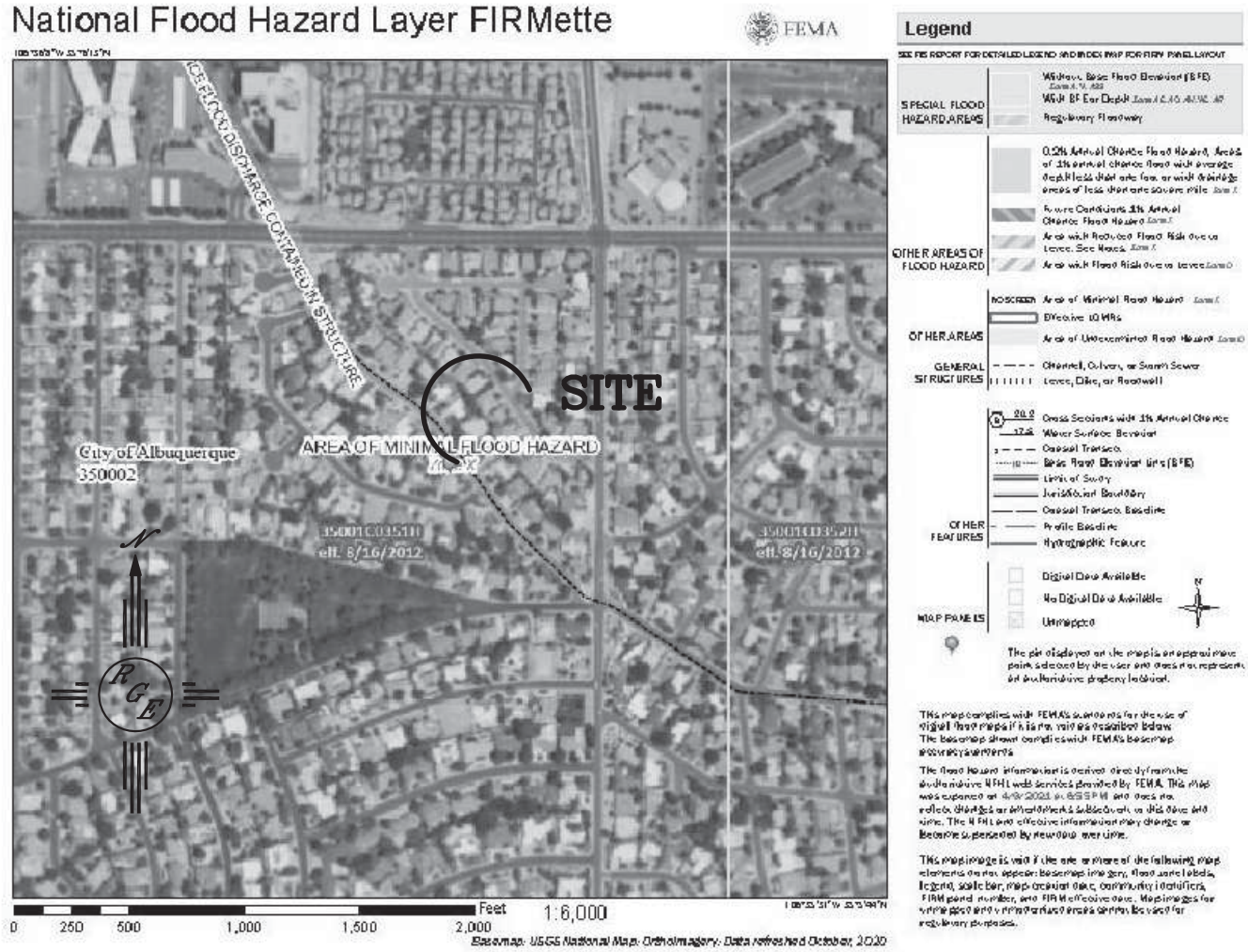
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.

4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.

5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



VICINITY MAP: J-17-Z



FIRM MAP:

LEGAL DESCRIPTION:

LOT 110, BLK C, NEATS ALTURAS PARK ADDITION

NOTES:

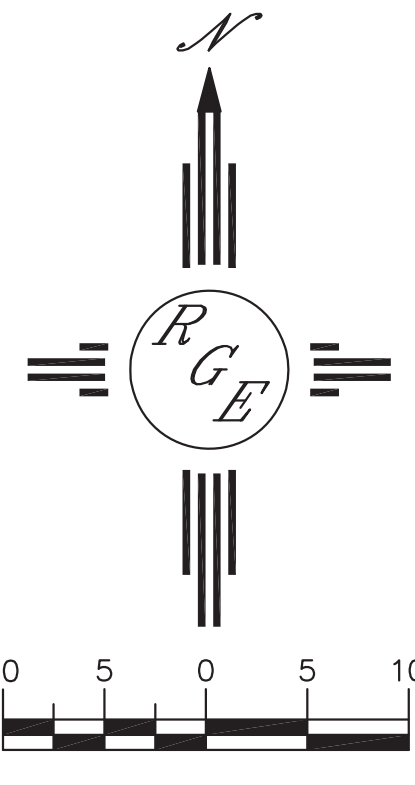
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.

LEGEND

- XXXX--- EXISTING CONTOUR
- - - - -XXXX- - - - - EXISTING INDEX CONTOUR
- XXXX----- PROPOSED CONTOUR
- XXXX----- PROPOSED INDEX CONTOUR
- XXXX----- SLOPE TIE
- + XXXX EXISTING SPOT ELEVATION
- + XXXX PROPOSED SPOT ELEVATION
- LOT LINE
- CENTERLINE
- RIGHT-OF-WAY
- PROPOSED 4" PVC SD
- GRAVEL LINED SWALE
- ===== EXISTING CURB AND GUTTER
- ===== PROPOSED CMU RETAINING WALL-DESIGN BY OTHERS

CAUTION:

EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



L=60.85  
R=69.81  
CH BRG=S77° 53' 47"W  
CH DIST=58.94

[illegible]

X22

0.24707036

|     |        |
|-----|--------|
| C = | 2.95   |
| L = | 0.0833 |

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THE APPROVAL OF THESE PLANS/REPORT SHALL NOT BE  
CONSTRUED TO PERMIT VIOLATIONS OF ANY CITY

|                                                                                                                                                                                                                      |                         |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------|
| 4321 COE                                                                                                                                                                                                             | DRAWN<br>BY WCUJ        |
|                                                                                                                                                                                                                      | 4-14-21<br>3-24-21      |
| GRADING AND<br>DRAINAGE PLAN                                                                                                                                                                                         | 21021040-LAYOUT-4-14-21 |
|  <p><i>Rio Grande<br/>Engineering</i><br/>1606 CENTRAL AVENUE SE<br/>SUITE 201<br/>ALBUQUERQUE, NM 87106<br/>(505) 872-0999</p> | SHEET #<br><br>2 OF 2   |
|                                                                                                                                                                                                                      | JOB #<br>21021040       |