

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

December 5, 2023

Minxuan (Jacky) Lin, P.E.  
NV5  
6501 Americas Parkway NE, Suite 400  
Albuquerque, NM 87110

**RE: Park Square Plaza Renovations  
Grading & Drainage Plans  
Engineer's Stamp Date: 11/15/23  
Hydrology File: J18D001**

Dear Mr. Lin:

Based upon the information provided in your submittal received 11/20/2023, the Grading and Drainage Plans are approved for Grading Permit and Paving Permit. Once the grading and paving of the project is complete, please provide an as-built for Hydrology's records.

PO Box 1293

Please pay the Payment-in-Lieu of \$ **14,064.00** by emailing the attached approved Waiver Application from Stormwater Quality Volume Management On-site to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov). Once this is received, a receipt will then be produced and email back. Follow the instructions on the bottom of the form and pay it at the Treasury in Plaza de Sol. Once paid, please provide me proof of payment.

Albuquerque

NM 87103

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

www.cabq.gov

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

**Project Title:** \_\_\_\_\_ **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** \_\_\_\_\_

**City Address:** \_\_\_\_\_

**Applicant:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Owner:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF SUBMITTAL:** \_\_\_\_\_ PLAT (\_\_\_# OF LOTS) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

**IS THIS A RESUBMITTAL?:** \_\_\_\_\_ Yes \_\_\_\_\_ No

**DEPARTMENT:** \_\_\_\_\_ TRAFFIC/ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/ DRAINAGE

Check all that Apply:

**TYPE OF SUBMITTAL:**

- \_\_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION
- \_\_\_\_\_ PAD CERTIFICATION
- \_\_\_\_\_ CONCEPTUAL G & D PLAN
- \_\_\_\_\_ GRADING PLAN
- \_\_\_\_\_ DRAINAGE MASTER PLAN
- \_\_\_\_\_ DRAINAGE REPORT
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- \_\_\_\_\_ ELEVATION CERTIFICATE
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)
- \_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_
- \_\_\_\_\_ PRE-DESIGN MEETING?

**TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

- \_\_\_\_\_ BUILDING PERMIT APPROVAL
- \_\_\_\_\_ CERTIFICATE OF OCCUPANCY
- \_\_\_\_\_ PRELIMINARY PLAT APPROVAL
- \_\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL
- \_\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL
- \_\_\_\_\_ FINAL PLAT APPROVAL
- \_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE
- \_\_\_\_\_ FOUNDATION PERMIT APPROVAL
- \_\_\_\_\_ GRADING PERMIT APPROVAL
- \_\_\_\_\_ SO-19 APPROVAL
- \_\_\_\_\_ PAVING PERMIT APPROVAL
- \_\_\_\_\_ GRADING/ PAD CERTIFICATION
- \_\_\_\_\_ WORK ORDER APPROVAL
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

**CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
HYDROLOGY DEVELOPMENT SECTION**

**WAIVER APPLICATION FROM STORMWATER  
QUALITY VOLUME MANAGEMENT ON-SITE**

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**GENERAL INFORMATION**

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APPLICANT: Minxuan Lin DATE: 12/5/2023

DEVELOPMENT: Park Square Plaza Renovations

LOCATION: 6565 AMERICAS PKWY NE ALBUQUERQUE NM 87110

LOTS 1A1, 1B1, 1C1A, 1E1A1, 1G1, 1H1A & PRIVATE STREET, BLOCK 0000, PARK SQUARE ADDITION

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**STORMWATER QUALITY POND VOLUME**

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Per the DPM Article 6-12 - Stormwater Quality and Low-Impact Development, the calculated sizing for required Stormwater Quality Pond volume is equal to the impervious area draining to the BMP multiplied by 0.42 inches for new development sites and by 0.26 inches for redevelopment sites.

The required volume is 1,758 cubic feet

The provided volume is 0 cubic feet

The deficient volume is 1,758 cubic feet

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**WAIVER JUSTIFICATION**

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Per the DPM Article 6-12(C), private off-site mitigation and payment-in-lieu may only be considered if management on-site is waived in accordance with the following criteria and procedures.

1. Management on-site shall be waived by the City Engineer if the following conditions are met:

- a. Stormwater quality can be effectively controlled through private off-site mitigation or through an arrangement (approved by the City) to use a cooperators existing regional stormwater management infrastructure or facilities that are available to control stormwater quality.
  - b. Any of the following conditions apply:
    - i. The lot is too small to accommodate management on site while also accommodating the full plan of development.
    - ii. The soil is not stable as demonstrated by a geotechnical report certified by a professional engineer licensed in the State of New Mexico.
    - iii. The site use is inconsistent with the capture and reuse of stormwater.
    - iv. Other physical conditions exist where compliance with on-site stormwater quality control leaves insufficient area.
    - v. Public or private off-site facilities provide an opportunity to effectively accomplish the mitigation requirements of the Drainage Ordinance (Part 14-5-2 ROA 1994) as demonstrated on as-built construction drawings and an approved drainage report.
    - vi. The developer constructs a project to replenish regional groundwater supplies at an off-site location.
    - vii. A waiver to State water law or acquisition of water rights would be required in order to implement management on site.
2. The basis for requesting payment-in-lieu or private off-site mitigation is to be clearly demonstrated on the drainage plan.

This projects justification: Existing drainage for project flow through sheet flow and curb gutter collected through on-site and off-site storm drain system. There are limited areas located downstream of each basin to provide retention system such as landscape areas, all those areas are existing private & public roadways. Underground detentions will not be an option as well due to existing underground utilities located downstream of the existing areas under private parking & road area and public roadway area. Also the project intend to save existing matured trees in the courtyard/plaza area, underground detention pond was not considered as well. Therefore, requested to waive treatment requirements for storm water quality for this re-development.

Minxuan Lin, PE NM# 20068  
 Professional Engineer or Architect



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**PAYMENT-IN-LIEU**

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Per the DPM Article 6-12(C)(1), the amount of payment-in-lieu is deficient volume (cubic feet) times \$6 per cubic feet for detached single-family residential projects or \$8 per cubic feet for all other projects.

AMOUNT OF PAYMENT-IN-LIEU = \$ 14,064.00

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**THIS SECTION IS FOR CITY USE ONLY**

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- Waiver is approved. The amount of payment-in-lieu from above must be paid prior to Certificate of Occupancy.
- Waiver is DENIED.

*Renée C. Brissette*

\_\_\_\_\_  
City of Albuquerque  
Hydrology Section

12/06/23



CONSULTANTS

**LANDSCAPE ARCHITECT**  
Groundwork Studio  
6501 Americas Pkwy NE, Ste. 350  
Albuquerque, NM 87110  
p\_505.212.9126

**CIVIL ENGINEER**  
NV5  
6501 Americas Pkwy NE, Ste. 400  
Albuquerque, NM 87110  
p\_505.510.0850

**LIGHTING**  
AE Design  
1900 Wazee Street #205  
Denver, CO 80202  
p\_303.296.3034



Park Square Plaza Renovation

6565 AMERICAS PKWY  
ALBUQUERQUE, NM 87110

NOVEMBER 2023

MARK	DATE	DESCRIPTION

ISSUE:	FOR PRICING
DATE:	NOVEMBER 10, 2023
PROJECT NO:	
DRAWN BY:	MJL/NVS
CHECKED BY:	MJL/JP

SHEET TITLE  
OVERALL DRAINAGE PLAN

C-200

City of Albuquerque  
Planning Department  
Development Review Services  
**HYDROLOGY SECTION**  
**APPROVED**  
DATE: 12/06/23  
BY: *Realy Brantle*  
HydroType # J18D001

APPROVAL OF GRADING & DRAINAGE PLANS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.

VICINITY MAP



FIRM MAP : MAP NUMBER 35001C0352H



PROJECT AREA BASIN-1

PROJECT LOCATION

PROJECT AREA BASIN-2

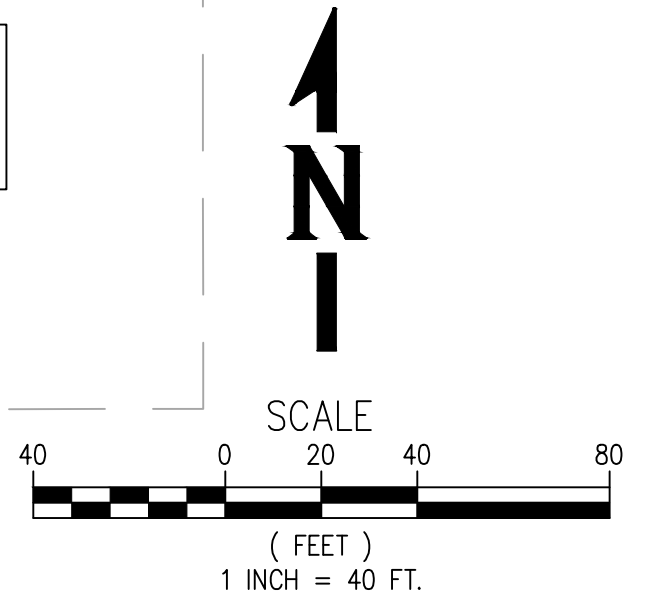
PROJECT AREA BASIN-3

**LEGAL DESCRIPTION**  
LOTS 1A1, 1B1, 1C1A, 1E1A1, 1G1, & 1H1A/PRIVATE STREET, BLOCK 0000, SUBDIVISION: PARK SQUARE ADDITION.

**DRAINAGE BASIN AREA**  
2.15 ACRE; 93,617 SF

**FLOOD ZONE DESIGNATION**  
NO PORTION OF THIS SITE LIES WITH A FLOOD PLAIN AS DESIGNATED ON PANEL 352 OF 825 OF THE FEMA FLOOD INSURANCE RATE MAPS, MAP NUMBER 35001C0163H DATED AUGUST 16, 2012.

**DRAINAGE CRITERIA**  
CALCULATIONS FOR EXISTING PEAK DISCHARGE AND VOLUMETRIC RUNOFF WERE PERFORMED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL CHAPTER 6, DRAINAGE, FLOOD CONTROL & EROSION CONTROL, HYDROLOGY'S DRAINAGE CRITERIA FOR THE 100-YR, 6 HOUR DESIGN STORM.





[DATE: 11/15/2023 12:05 PM] [AUTHOR: jpkaylin] [PLOTTER: DWC To PDF.pc3] [STYLE: WIP-Standard.ctb] [LAYOUT: C-201] [DATE: 11/15/2023 12:05 PM] [AUTHOR: jpkaylin] [PLOTTER: DWC To PDF.pc3] [STYLE: WIP-Standard.ctb] [LAYOUT: C-201] [DATE: 11/15/2023 12:05 PM] [AUTHOR: jpkaylin] [PLOTTER: DWC To PDF.pc3] [STYLE: WIP-Standard.ctb] [LAYOUT: C-201]

City of Albuquerque  
 Planning Department  
 Development Review Services  
**HYDROLOGY SECTION**  
**APPROVED**  
 DATE: 12/08/23  
 BY: *Ronald Brummitt*  
 HydroTeam # J18D001

APPROVAL OF GRADING & DRAINAGE PLANS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT

EX. BASIN 1  
 AREA = 3,152 SF  
 AREA = 0.07 ACRE

EXISTING BUILDING

EXISTING YARD INLETS

EXISTING YARD INLETS

EXISTING YARD INLET (DISCHARGE #3)

EX. BASIN 3B  
 AREA = 4,167 SF  
 AREA = 0.10 ACRE

EX. BASIN 2B  
 AREA = 8,385 SF  
 AREA = 0.18 ACRE

EXISTING BUILDING  
 FF=5267.67

EXISTING YARD INLETS

EXISTING BUILDING  
 FF=5267.71

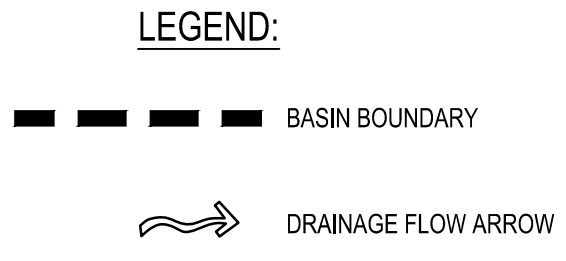
EX. BASIN 2A  
 AREA = 21,870 SF  
 AREA = 0.50 ACRE

EXISTING BUILDING  
 FF=5267.74

EXISTING CURB INLET (DISCHARGE #1)

EXISTING CURB INLET (DISCHARGE #2)

EXISTING CURB INLET



**HYDROLOGIC STUDY**

**EXISTING CONDITIONS**  
 THE SITE IS PRESENTLY FULLY DEVELOPED WITH IRRIGATED LANDSCAPED AREAS LOCATED WEST OF LOUISIANA BOULEVARD, SOUTH OF INDIAN SCHOOL ROAD & BOUNDED WITHIN AMERICAS PARKWAY N.E. EXISTING STORM DRAIN SYSTEMS ARE PROVIDED WITHIN THE PROJECT SITE. THERE ARE EXISTING STORM DRAIN SYSTEMS WITH INLETS ADJACENT TO THE PROPERTY WITHIN AMERICAS PARKWAY N.E. THAT DISCHARGE TO EXISTING CONCRETE CHANNEL LOCATED SOUTHWEST OF PROJECT SITE.

**SITE DRAINAGE**  
 TRENDED TO THE SOUTHWEST FROM LOUISIANA BOULEVARD TO AMERICAS PARKWAY N.E. AS SURFACE SHEET FLOW AT SLOPE APPROXIMATELY 2% MAX. THE EXISTING DRAINAGE BASIN IS DIVIDED INTO 5 BASIN FOR THE PROJECT AREA.

**EXISTING BASIN 1** CONSISTED OF EXISTING LOADING DOCK AND ASPHALT ROADWAY IN THE PRIVATE ROAD HAINES AVENUE, DRAINAGE FLOW THROUGH VALLEY GUTTERS AND CURB & GUTTER TO WEST SIDE @ AMERICAS PARKWAY.

**EXISTING BASIN 2A** CONSISTED OF EXISTING PARKING SQUARE COURT YARD BETWEEN 2 EXISTING BUILDINGS AND PORTION OF THE SIDEWALKS WITHIN THE SHARED PARKING LOT. EXISTING BASIN 2A CONSISTED OF CONCRETE SIDEWALKS AND LANDSCAPE AREA IN FRONT OF BUILDING AND MATURE TREES WITHIN THE COURT YARD AREA. EXISTING DRAINAGE COLLECTED THROUGH EXISTING YARD INLETS WITHIN THE COURTYARD AREA AND DISCHARGE TO THE EXISTING STORM DRAIN SYSTEM.

**EXISTING BASIN 2B** CONSISTED OF PAVED AND LANDSCAPE AREA EAST OF EXISTING PARK 2 SQUARE BUILDING. DRAINAGE FLOW COLLECTED THROUGH EXISTING YARD INLETS THAT CONNECTED THROUGH THE EXISTING STORM DRAIN SYSTEM IN THE COURTYARD WITHIN BASIN 2A.

**EXISTING BASIN 3A** CONSISTED OF ALL ASPHALT ROAD FOR MARRIOTT DRIVE FROM LOUISIANA BOULEVARD (EAST) TO AMERICAS PARKWAY (SOUTHWEST), AND PORTION OF EXISTING PARKING LOT. DRAINAGE FOR THIS BASIN FROM WITHIN EXISTING CURB & GUTTER ALONG MARRIOTT DRIVE TO EXISTING STORM CURB INLETS WITHIN AMERICAS PARKWAY, N.E.

**EXISTING BASIN 3B** CONSISTED OF PORTION OF EXISTING PARKING LOT ENTRANCE AND ASPHALT PARKING SPACES. EXISTING DRAINAGE PATTERN FOR THIS BASIN FLOW FROM EAST TO WEST COLLECTED THROUGH EXISTING STORM DRAIN INLET IN THE PARKING LOT.

SEE EXISTING DRAINAGE BASINS MAP IN THIS SHEET FOR REFERENCE.

**PROPOSED CONDITIONS**  
 THE PROPOSED SITE IMPROVEMENTS FOR THIS SITE WILL CONSIST REDUCE MARRIOTT DRIVE LANE WIDTH, REDUCE HAINES AVENUE ENTRANCE WIDTH, IMPROVE EXISTING CONCRETE LOADING DOCK LOCATED NORTH OF PARK ONE SQUARE BUILDING. ALL THE PROPOSED IMPROVEMENTS INVOLVED TO REMOVE & REPLACE EXISTING ASPHALT PAVEMENT, EXISTING CONCRETE CURB & GUTTER AND EXISTING CONCRETE PAVEMENT AND SIDEWALKS.

REMOVE & REPLACE EXISTING CONCRETE IN THE COURT YARD AREA BETWEEN PARK ONE AND TWO SQUARE BUILDING. MAJORITY OF EXISTING TREES WILL BE REMAINED IN THE COURTYARD AREA. EXISTING LANDSCAPE AND IRRIGATION WILL BE REMOVE AND REPLACED IN NEW LANDSCAPE AND PARKING ISLAND AREAS.

THE PROPOSED DRAINAGE WILL BE STAY THE SAME AS THE EXISTING DRAINAGE BASINS DIVIDED INTO 5 BASINS. PROPOSED BASIN 1, PROPOSED BASIN 2A & 2B, PROPOSED BASIN 3A & 3B. SEE PROPOSED DRAINAGE BASIN MAP FOR REFERENCE.

**DRAINAGE SUMMARY:**  
 EXISTING DISCHARGE TO STORM CURB INLET CONNECTED @ AMERICAS PARKWAY (DISCHARGE #1): EX. BASIN 1, DISCHARGE = 0.31 CFS, VOLUME = 0.02 AC-FT.

PROPOSED DISCHARGE TO STORM CURB INLET CONNECTED @ AMERICAS PARKWAY (DISCHARGE #1): PROP. BASIN 1, DISCHARGE = 0.31 CFS, VOLUME = 0.02 AC-FT.

NET DISCHARGE TO STORM CURB INLET = 0.00 CFS, VOLUME = 0.00 AC-FT.

EXISTING DISCHARGE TO PARK SQUARE STORM DRAIN SYSTEM: EX. BASIN 2A & EX. BASIN 2B, DISCHARGE = 2.95 CFS, VOLUME = 0.14 AC-FT.

PROPOSED DISCHARGE TO PARK SQUARE STORM DRAIN SYSTEM: PROP. BASIN 2A & PROP. BASIN 2B, DISCHARGE = 2.92 CFS, VOLUME = 0.13 AC-FT.

NET DISCHARGE TO PARK SQUARE STORM DRAIN SYSTEM = -0.03 CFS, VOLUME = 0.01 AC-FT.

EXISTING DISCHARGE TO STORM CURB INLET CONNECTED @ AMERICAS PARKWAY (DISCHARGE #2): EX. BASIN 3A, DISCHARGE = 5.73 CFS, VOLUME = 0.27 AC-FT.

PROPOSED DISCHARGE TO STORM CURB INLET CONNECTED @ AMERICAS PARKWAY (DISCHARGE #2): PROP. BASIN 3A, DISCHARGE = 5.60 CFS, VOLUME = 0.26 AC-FT.

NET DISCHARGE TO STORM CURB INLET = -0.13 CFS, VOLUME = 0.01 AC-FT.

EXISTING DISCHARGE TO YARD INLET @ NORTH PARKING LOT (DISCHARGE #3): EX. BASIN 3B, DISCHARGE = 0.45 CFS, VOLUME = 0.02 AC-FT.

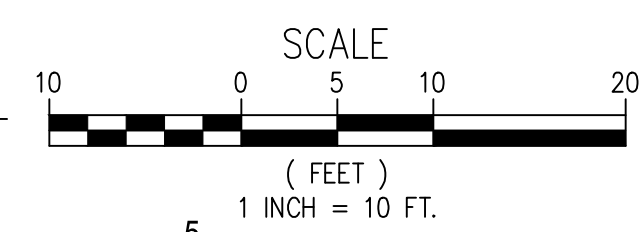
PROPOSED DISCHARGE TO YARD INLET @ NORTH PARKING LOT (DISCHARGE #3): PROP. BASIN 3B, DISCHARGE = 0.42 CFS, VOLUME = 0.02 AC-FT.

**HYDROLOGIC STUDY CONCLUSION**  
 THE EXISTING 100-YR RUNOFF DISCHARGE & VOLUME FROM THE PROJECT AREA IS 9.44 CFS & 0.44 AC-FT FOR THE 100-YR, 6HR EVENT. THE PROPOSED RUNOFF FROM THE PROPOSED RE-DEVELOPED AREA IS 9.25 CFS & 0.42 AC-FT SINCE THERE WILL BE MORE LANDSCAPE AREAS CONTRIBUTED TO THE PROJECT. THIS RESULTS IN A NET REDUCTION OF 0.19 CFS & 0.02 AC-FT FROM EXISTING TO PROPOSED CONDITIONS. THE PROPOSED RE-DEVELOPMENTS WILL HAVE NO IMPACT ON THE DOWNSTREAM AREAS SINCE THE RUNOFF AND DISCHARGE ARE LESS FROM THE PRE-DEVELOPED TO DEVELOPED CONDITION.

**100-YR & 10-YR HYDROLOGIC CALCULATIONS**

BASIN	AREA (ACRES)	LAND TREATMENT				100-YR			10-YR				
		A (%)	B (%)	C (%)	D (%)	UNIT PEAK DISCHARGE (CFS/AC)	WEIGHTED E (IN)	PEAK DISCHARGE (CFS)	VOLUME 6 HOUR (AC-FT)	UNIT PEAK DISCHARGE (CFS/AC)	WEIGHTED E (IN)	PEAK DISCHARGE (CFS)	VOLUME 6 HOUR (AC-FT)
EXISTING CONDITIONS													
EX 1	0.07	0.0	0.0	0.0	100.0	4.49	2.58	0.31	0.02	2.81	1.64	0.20	0.010
EX 2A	0.50	0.0	0.0	13.0	87.0	4.32	2.39	2.16	0.10	2.66	1.49	1.33	0.06
EX 2B	0.18	0.0	0.0	9.5	90.5	4.36	2.44	0.79	0.04	2.70	1.53	0.49	0.02
EX 3A	1.30	0.0	0.0	6.0	94.0	4.41	2.49	5.73	0.27	2.74	1.57	3.57	0.17
EX 3B	0.10	0.0	0.0	0.0	100.0	4.49	2.58	0.45	0.02	2.81	1.64	0.28	0.01
TOTALS	2.15							9.44	0.442			5.66	0.28
PROPOSED CONDITIONS													
Prop. 1	0.07	0.0	0.0	0.0	100.0	4.49	2.58	0.31	0.02	2.81	1.64	0.20	0.01
Prop. 2A	0.5	0.0	0.0	10.0	90.0	4.36	2.43	2.18	0.101	2.70	1.53	1.35	0.064
Prop. 2B	0.18	0.0	0.0	30.0	70.0	4.09	2.13	0.74	0.032	2.47	1.30	0.45	0.02
Prop. 3A	1.3	0.0	0.0	14.0	86.0	4.31	2.37	5.60	0.257	2.65	1.48	3.45	0.16
Prop. 3B	0.1	0.0	0.0	20.0	80.0	4.23	2.28	0.42	0.019	2.59	1.42	0.28	0.012
TOTALS	2.15							9.25	0.424			5.70	0.27
PROPOSED VS. EXISTING DIFFERENCE													
								-0.19	-0.02			-0.16	-0.01

**REFERENCE:**  
 ARTICLE 6-2, HYDROLOGY, DEVELOPMENT PROCESS MANUAL, CHAPTER 6, DRAINAGE, FLOOD CONTROL, & EROSION CONTROL, EFFECTIVE AS OF JUNE 8, 2020, CITY OF ALBUQUERQUE, NEW MEXICO  
 PRECIPITATION ZONES = ZONE 3



**Park Square Plaza Renovation**

6565 AMERICAS PKWY  
 ALBUQUERQUE, NM 87110

NOVEMBER 2023

MARK	DATE	DESCRIPTION

ISSUE: FOR PRICING  
 DATE: NOVEMBER 10, 2023  
 PROJECT NO:  
 DRAWN BY: MJL/NVS  
 CHECKED BY: MJL/JP

SHEET TITLE

DRAINAGE PLAN - EXISTING CONDITION

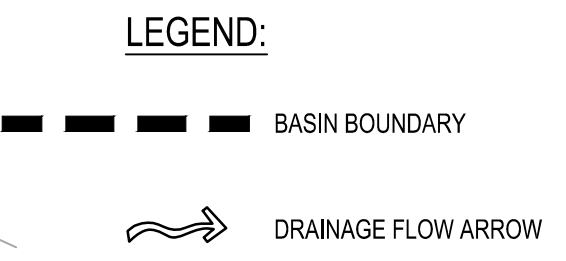
Park Square Plaza Renovation



[DATE: 11/15/2023 12:06 PM] [AUTOCAD: jpkylm] [PLOTTER: DWG To PDF.pc3] [STYLE: WIP-Standard.ctb] [PLOTTER: C-202] [PLOT: P:\VET\Architects\232023-00\Execution\Drawings\00\002\78-00-C-201\_DRAINAGE\_PLAN.dwg] [LAYOUT: C-202]

City of Albuquerque  
 Planning Department  
 Development Review Services  
**HYDROLOGY SECTION**  
**APPROVED**  
 DATE: 12/06/23  
 BY: *Ryan Smalls*  
 HydroTeam # J180001  
 THE APPROVAL OF THIS PLAN SHALL BE VALID FOR TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN FILED ON THE DEVELOPMENT.

Indian School Road, N.E



**HYDROLOGIC STUDY**

**EXISTING CONDITIONS**  
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SITE DRAINAGE TRENDED TO THE SOUTHWEST FROM LOUISIANA BOULEVARD TO AMERICAS PARKWAY N.E AS SURFACE SHEET FLOW AT SLOPE APPROXIMATELY 2% MAX. THE EXISTING DRAINAGE BASIN IS DIVIDED INTO 5 BASIN FOR THE PROJECT AREA.  
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EXISTING BASIN 2B CONSISTED OF PAVED AND LANDSCAPE AREA EAST OF EXISTING PARK 2 SQUARE BUILDING. DRAINAGE FLOW COLLECTED THROUGH EXISTING YARD INLETS THAT CONNECTED THROUGH THE EXISTING STORM DRAIN SYSTEM IN THE COURTYARD WITHIN BASIN 2A.

EXISTING BASIN 3A CONSISTED OF ALL ASPHALT ROAD FOR MARRIOTT DRIVE FROM LOUISIANA BOULEVARD (EAST) TO AMERICAS PARKWAY (SOUTHWEST), AND PORTION OF EXISTING PARKING LOT. DRAINAGE FOR THIS BASIN FROM WITHIN EXISTING CURB & GUTTER ALONG MARRIOTT DRIVE TO EXISTING STORM CURB INLETS WITHIN AMERICAS PARKWAY, N.E.

EXISTING BASIN 3B CONSISTED OF PORTION OF EXISTING PARKING LOT ENTRANCE AND ASPHALT PARKING SPACES. EXISTING DRAINAGE PATTERN FOR THIS BASIN FLOW FROM EAST TO WEST COLLECTED THROUGH EXISTING STORM DRAIN INLET IN THE PARKING LOT.

SEE EXISTING DRAINAGE BASINS MAP IN THIS SHEET FOR REFERENCE.

**PROPOSED CONDITIONS**  
 THE PROPOSED SITE IMPROVEMENTS FOR THIS SITE WILL CONSIST REDUCE MARRIOTT DRIVE LANE WIDTH, REDUCE HAINES AVENUE ENTRANCE WIDTH, IMPROVE EXISTING CONCRETE LOADING DOCK LOCATED NORTH OF PARK ONE SQUARE BUILDING. ALL THE PROPOSED IMPROVEMENTS INVOLVED TO REMOVE & REPLACE EXISTING ASPHALT PAVEMENT, EXISTING CONCRETE CURB & GUTTER AND EXISTING CONCRETE PAVEMENT AND SIDEWALKS.  
 REMOVE & REPLACE EXISTING CONCRETE IN THE COURT YARD AREA BETWEEN PARK ONE AND TWO SQUARE BUILDING. MAJORITY OF EXISTING TREES WILL BE REMAINED IN THE COURTYARD AREA. EXISTING LANDSCAPE AND IRRIGATION WILL BE REMOVE AND REPLACED IN NEW LANDSCAPE AND PARKING ISLAND AREAS.

THE PROPOSED DRAINAGE WILL BE STAY THE SAME AS THE EXISTING DRAINAGE BASINS DIVIDED INTO 5 BASINS. PROPOSED BASIN 1, PROPOSED BASIN 2A & 2B, PROPOSED BASIN 3A & 3B. SEE PROPOSED DRAINAGE BASIN MAP FOR REFERENCE.

**DRAINAGE SUMMARY:**  
 EXISTING DISCHARGE TO STORM CURB INLET CONNECTED @ AMERICAS PARKWAY (DISCHARGE #1): EX. BASIN 1, DISCHARGE = 0.31 CFS, VOLUME = 0.02 AC-FT.

PROPOSED DISCHARGE TO STORM CURB INLET CONNECTED @ AMERICAS PARKWAY (DISCHARGE #1): PROP. BASIN 1, DISCHARGE = 0.31 CFS, VOLUME = 0.02 AC-FT.

NET DISCHARGE TO STORM CURB INLET = 0.00 CFS, VOLUME = 0.00 AC-FT.

EXISTING DISCHARGE TO PARK SQUARE STORM DRAIN SYSTEM:  
 EX. BASIN 2A & EX. BASIN 2B, DISCHARGE = 2.95 CFS, VOLUME = 0.14 AC-FT.

PROPOSED DISCHARGE TO PARK SQUARE STORM DRAIN SYSTEM:  
 PROP. BASIN 2A & PROP. BASIN 2B, DISCHARGE = 2.92 CFS, VOLUME = 0.13 AC-FT.

NET DISCHARGE TO PARK SQUARE STORM DRAIN SYSTEM = -0.03 CFS, VOLUME = 0.01 AC-FT.

EXISTING DISCHARGE TO STORM CURB INLET CONNECTED @ AMERICAS PARKWAY (DISCHARGE #2): EX. BASIN 3A, DISCHARGE = 5.73 CFS, VOLUME = 0.27 AC-FT.

PROPOSED DISCHARGE TO STORM CURB INLET CONNECTED @ AMERICAS PARKWAY (DISCHARGE #2): PROP. BASIN 3A, DISCHARGE = 5.60 CFS, VOLUME = 0.26 AC-FT.

NET DISCHARGE TO STORM CURB INLET = -0.13 CFS, VOLUME = 0.01 AC-FT.

EXISTING DISCHARGE TO YARD INLET @ NORTH PARKING LOT (DISCHARGE #3): EX. BASIN 3B, DISCHARGE = 0.45 CFS, VOLUME = 0.02 AC-FT.

PROPOSED DISCHARGE TO YARD INLET @ NORTH PARKING LOT (DISCHARGE #3): PROP. BASIN 3B, DISCHARGE = 0.42 CFS, VOLUME = 0.02 AC-FT.

**HYDROLOGIC STUDY CONCLUSION**  
 THE EXISTING 100-YR RUNOFF DISCHARGE & VOLUME FROM THE PROJECT AREA IS 9.44 CFS & 0.44 AC-FT FOR THE 100-YR, 6HR EVENT. THE PROPOSED RUNOFF FROM THE PROPOSED RE-DEVELOPED AREA IS 9.25 CFS & 0.42 AC-FT SINCE THERE WILL BE MORE LANDSCAPE AREAS CONTRIBUTED TO THE PROJECT. THIS RESULTS IN A NET REDUCTION OF 0.19 CFS & 0.02 AC-FT FROM EXISTING TO PROPOSED CONDITIONS. THE PROPOSED RE-DEVELOPMENTS WILL HAVE NO IMPACT ON THE DOWNSTREAM AREAS SINCE THE RUNOFF AND DISCHARGE ARE LESS FROM THE PRE-DEVELOPED TO DEVELOPED CONDITION.

**STORMWATER QUALITY AND LOW-IMPACT DEVELOPMENT**  
 ALL NEW DEVELOPMENT AND REDEVELOPMENT PROJECTS SHALL APPLY BEST MANAGEMENT PRACTICES (BMPs) TO MANAGE THE STORMWATER QUALITY VOLUME (SWQV) BY MANAGEMENT ON-SITE, OR PAYMENT-IN-LIEU, OR PRIVATE OFF-SITE MITIGATION PER ARTICLE 6-12 STORMWATER QUALITY AND LOW-IMPACT DEVELOPMENT, CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, DRAINAGE, FLOOD CONTROL, AND EROSION CONTROL.

THE PROJECT WILL ADOPT TO USE "PAYMENT-IN-LIEU" METHOD DUE TO LIMITED CONSTRAINTS. TO CALCULATE THE REQUIRED SWQV, MULTIPLY 0.26 INCHES TO THE IMPERVIOUS AREA FOR REDEVELOPMENT SITES.

THE AMOUNT OF PAYMENT-IN-LIEU IS \$8.00/CUBIC FOOT OF IMPERVIOUS FOR THIS PROJECT PER SECTION 6-12(C)(1) PAYMENT-IN-LIEU, DPM.

**SUMMARY OF PAYMENT-IN-LIEU FEE:**

PROPOSED BASIN 1 - IMPERVIOUS AREA = 3,152 SF, SWQV = 68 CF, PAYMENT-IN-LIEU = \$544.00

PROPOSED BASIN 2A - IMPERVIOUS AREA = 19,683 SF, SWQV = 426 CF, PAYMENT-IN-LIEU = \$3,408.00

PROPOSED BASIN 2B - IMPERVIOUS AREA = 5,870 SF, SWQV = 127 CF, PAYMENT-IN-LIEU = \$1,016.00

PROPOSED BASIN 3A - IMPERVIOUS AREA = 49,145 SF, SWQV = 1,065 CF, PAYMENT-IN-LIEU = \$8,520.00

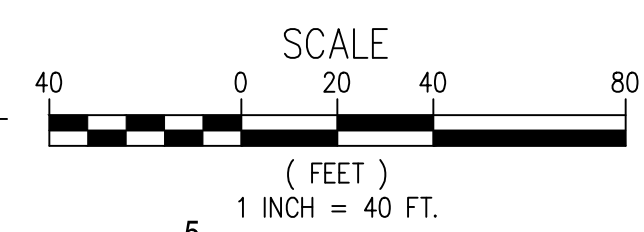
PROPOSED BASIN 3B - IMPERVIOUS AREA = 3,334 SF, SWQV = 72 CF, PAYMENT-IN-LIEU = \$576.00

TOTAL PAYMENT-IN-LIEU = \$14,064.00

**100-YR & 10-YR HYDROLOGIC CALCULATIONS**

BASIN	AREA (ACRES)	LAND TREATMENT				100-YR			10-YR				
		A (%)	B (%)	C (%)	D (%)	UNIT PEAK DISCHARGE (CFS/AC)	WEIGHTED E (IN)	PEAK DISCHARGE (CFS)	VOLUME 6 HOUR (AC-FT)	UNIT PEAK DISCHARGE (CFS/AC)	WEIGHTED E (IN)	PEAK DISCHARGE (CFS)	VOLUME 6 HOUR (AC-FT)
EXISTING CONDITIONS													
EX 1	0.07	0.0	0.0	0.0	100.0	4.49	2.58	0.31	0.02	2.81	1.64	0.20	0.010
EX 2A	0.50	0.0	0.0	13.0	87.0	4.32	2.39	2.16	0.10	2.66	1.49	1.33	0.06
EX 2B	0.18	0.0	0.0	9.5	90.5	4.36	2.44	0.79	0.04	2.70	1.53	0.49	0.02
EX 3A	1.30	0.0	0.0	6.0	94.0	4.41	2.49	5.73	0.27	2.74	1.57	3.57	0.17
EX 3B	0.10	0.0	0.0	0.0	100.0	4.49	2.58	0.45	0.02	2.81	1.64	0.26	0.01
<b>TOTALS</b>	<b>2.15</b>					<b>9.44</b>	<b>0.442</b>			<b>5.86</b>	<b>0.28</b>	<b>0.28</b>	
PROPOSED CONDITIONS													
Prop. 1	0.07	0.0	0.0	0.0	100.0	4.49	2.58	0.31	0.02	2.81	1.64	0.20	0.01
Prop. 2A	0.5	0.0	0.0	10.0	90.0	4.36	2.43	2.18	0.101	2.70	1.53	1.35	0.064
Prop. 2B	0.18	0.0	0.0	30.0	70.0	4.09	2.13	0.74	0.032	2.47	1.30	0.45	0.02
Prop. 3A	1.3	0.0	0.0	14.0	86.0	4.31	2.37	5.60	0.257	2.65	1.48	3.45	0.16
Prop. 3B	0.1	0.0	0.0	20.0	80.0	4.23	2.28	0.42	0.019	2.59	1.42	0.26	0.012
<b>TOTALS</b>	<b>2.15</b>					<b>9.25</b>	<b>0.424</b>			<b>5.70</b>	<b>0.27</b>	<b>0.27</b>	
PROPOSED VS. EXISTING DIFFERENCE													
-0.19    -0.02          -0.16    -0.01													

REFERENCE:  
 ARTICLE 6-2 HYDROLOGY, DEVELOPMENT PROCESS MANUAL, CHAPTER 6, DRAINAGE, FLOOD CONTROL, & EROSION CONTROL, EFFECTIVE AS OF JUNE 8, 2020, CITY OF ALBUQUERQUE, NEW MEXICO  
 PRECIPITATION ZONES = ZONE 3



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**Park Square Plaza Renovation**

6565 AMERICAS PKWY  
 ALBUQUERQUE, NM 87110

NOVEMBER 2023

MARK	DATE	DESCRIPTION
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ISSUE: FOR PRICING  
 DATE: NOVEMBER 10, 2023  
 PROJECT NO:  
 DRAWN BY: MJL/NJS  
 CHECKED BY: MJL/JVP

SHEET TITLE  
 DRAINAGE PLAN -  
 PROPOSED CONDITION



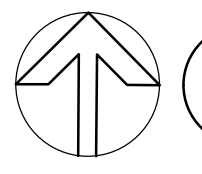
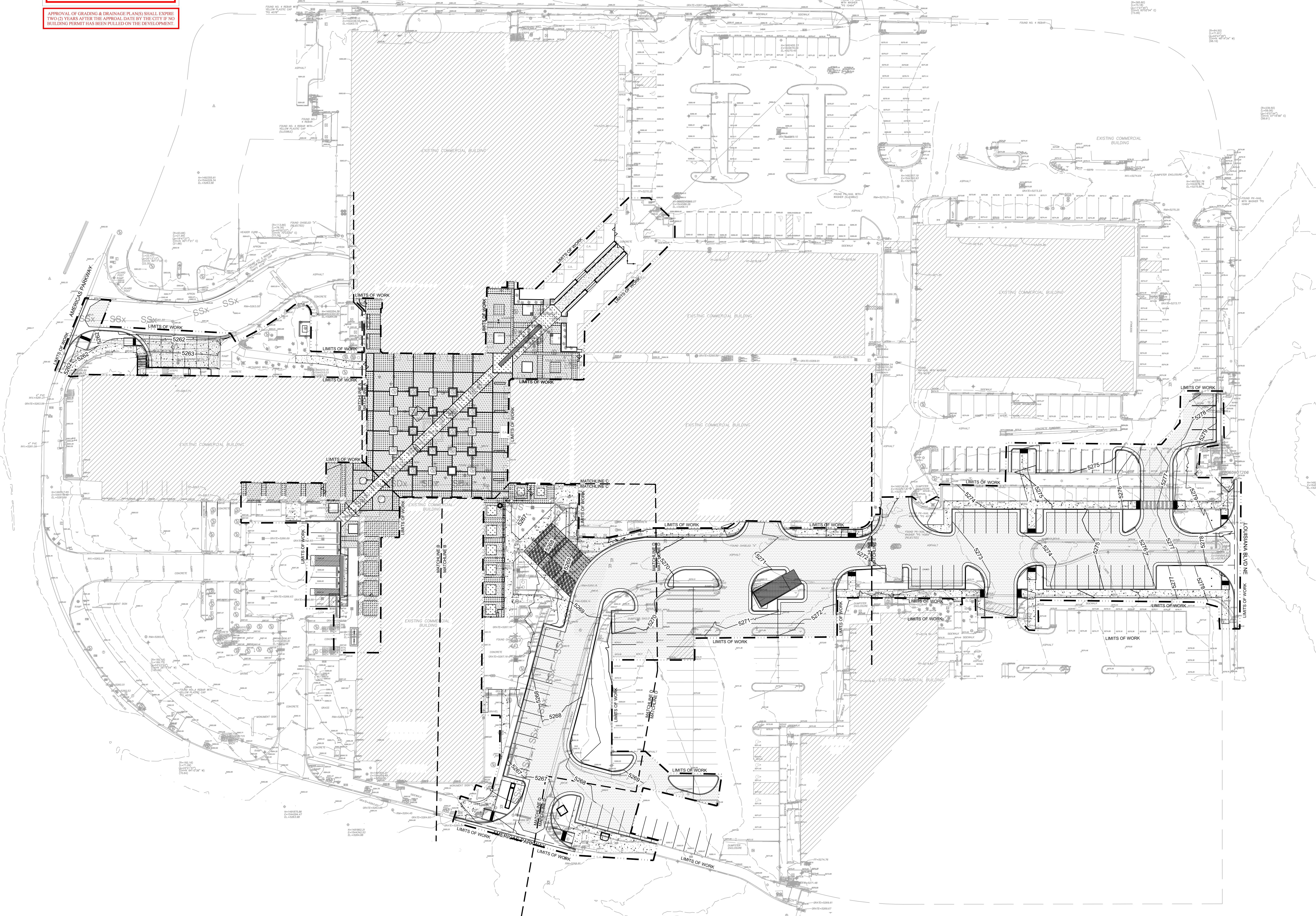
**C-202**

**A1 PARK SQUARE PLAZA DRAINAGE PLAN - PROPOSED CONDITION**  
 SCALE: 1" = 40'

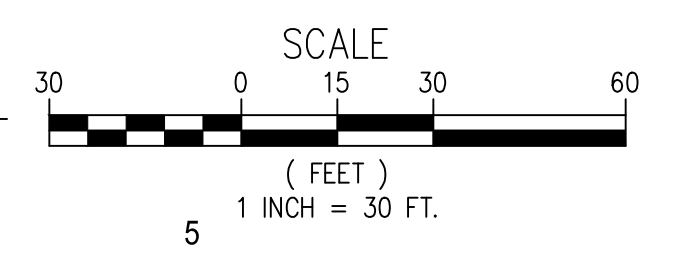


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City of Albuquerque  
Planning Department  
Development Review Services  
**HYDROLOGY SECTION**  
**APPROVED**  
DATE: 12/06/23  
BY: *Rene Smith*  
Hydrology # J18D001  
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APPROVAL OF GRADING & DRAINAGE PLANS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.



**A1** PARK SQUARE PLAZA GRADING PLAN  
SCALE: 1" = 30'



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**Park Square Plaza  
Renovation**

6565 AMERICAS PKWY  
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NOVEMBER 2023

MARK	DATE	DESCRIPTION
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ISSUE:	FOR PRICING
DATE:	NOVEMBER 10, 2023
PROJECT NO:	
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CHECKED BY:	MJL/JP

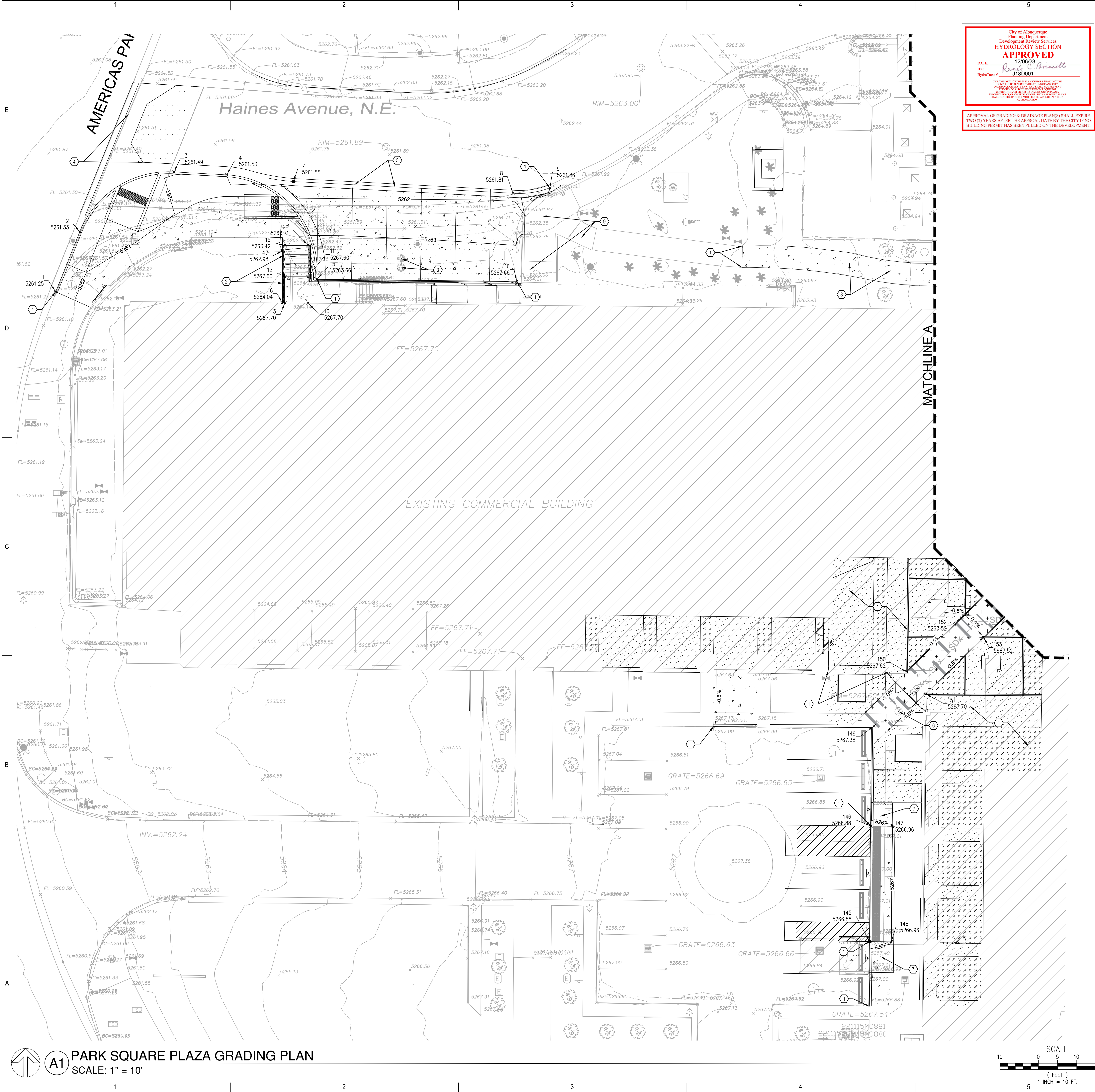
SHEET TITLE  
OVERALL GRADING PLAN

**C-300**

Park Square Plaza Renovation



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City of Albuquerque  
 Planning Department  
 Development Review Services  
**HYDROLOGY SECTION**  
**APPROVED**  
 DATE: 12/06/23  
 BY: *[Signature]*  
 Hydrologist: JFB001  
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- ALL PROPOSED ELEVATIONS ARE ATE FLOWLINE OF CURB, FINISHED GRADE AT SIDEWALK OR CONCRETE, TOP OF ASPHALT PAVEMENT SURFACE, BOTTOM AND TOP OF WALL UNLESS OTHERWISE NOTED.
- ALL EXISTING UTILITY LINE SHOWN ON THIS PLAN ARE APPROXIMATE, CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITY LOCATION AND ELEVATIONS BEFORE ANY DEMOLITION AND NEW CONSTRUCTION.

**CONSTRUCTION KEYNOTES:**

- MATCH EXISTING GRADE ELEVATION, CONTRACTOR TO FIELD VERIFY ELEVATION.
- SEE ARCHITECTURE & STRUCTURAL PLAN FOR RETAINING WALL AND STAIR DETAILS.
- ADJUST EXISTING SEWER CLEANOUTS TO FINISHED GRADE, CONTRACTOR TO FIELD VERIFY.
- REMOVE & REPLACE EXISTING CONCRETE VALLEY GUTTER AT ENTRANCE PER STANDARD COA CONCRETE VALLEY GUTTER DETAIL.
- CONSTRUCT CONCRETE VALLEY GUTTER PER COA STANDARD DETAILS.
- ADJUST EXISTING STORM SEWER MANHOLE TO FINISHED GRADE ELEVATION.
- CONSTRUCT ADA RAMP PER COA STANDARD, SEE SITE PLAN FOR DETAILS.
- REMOVE & REPLACE EXISTING CONCRETE SIDEWALK FOR SEWER SERVICE LINE INSTALLATION.
- DEMO, REMOVE & REPLACE EXISTING CONCRETE SIDEWALK RAMP PER COA STANDARD DETAILS.

GRADING POINT CONTROL TABLE			
POINT #	NORTHING	EASTING	DESCRIPTION
1	1492205.23	1544123.71	5261.25 FL-CURB
2	1492220.88	1544130.02	5261.33 FL-CURB
3	1492236.51	1544154.60	5261.49 FL-CURB
4	1492235.75	1544168.35	5261.53 FL-CURB
5	1492208.51	1544191.94	5263.66 WALL-BOTTOM
6	1492207.94	1544244.07	5263.66 WALL-BOTTOM
7	1492233.99	1544185.79	5261.55 FL-CURB
8	1492230.93	1544243.07	5261.81 FL-CURB
9	1492232.34	1544252.71	5261.86 FL-CURB
10	1492202.24	1544189.57	5267.70 FG-DOCK
11	1492209.16	1544189.57	5267.60 TOP-STAIR
12	1492209.16	1544183.57	5267.60 TOP-STAIR
13	1492202.35	1544183.57	5267.70 FG-DOCK
14	1492217.32	1544189.57	5263.71 STAIR-BOTTOM
15	1492217.33	1544183.57	5263.42 STAIR-BOTTOM
16	1492202.37	1544182.81	5264.04 WALL-BOTTOM
17	1492215.87	1544182.81	5262.98 FG
145	1492035.61	1544336.11	5266.88 FL-CURB
146	1492065.75	1544336.50	5266.88 FL-CURB
147	1492065.70	1544342.06	5266.96 SWLK
148	1492035.56	1544341.76	5266.96 SWLK
149	1492091.91	1544337.33	5267.38 TOP OF CURB
150	1492106.00	1544345.81	5267.62 SWLK
151	1492100.27	1544350.73	5267.70 SWLK
152	1492120.96	1544361.11	5267.52 SWLK
153	1492115.03	1544365.83	5267.52 SWLK

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**Park Square Plaza Renovation**

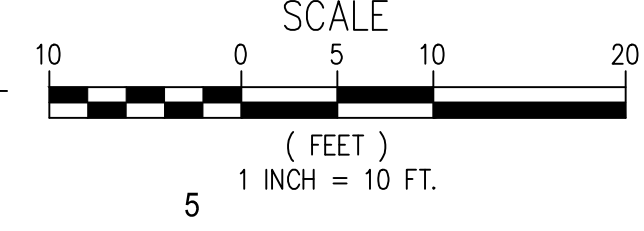
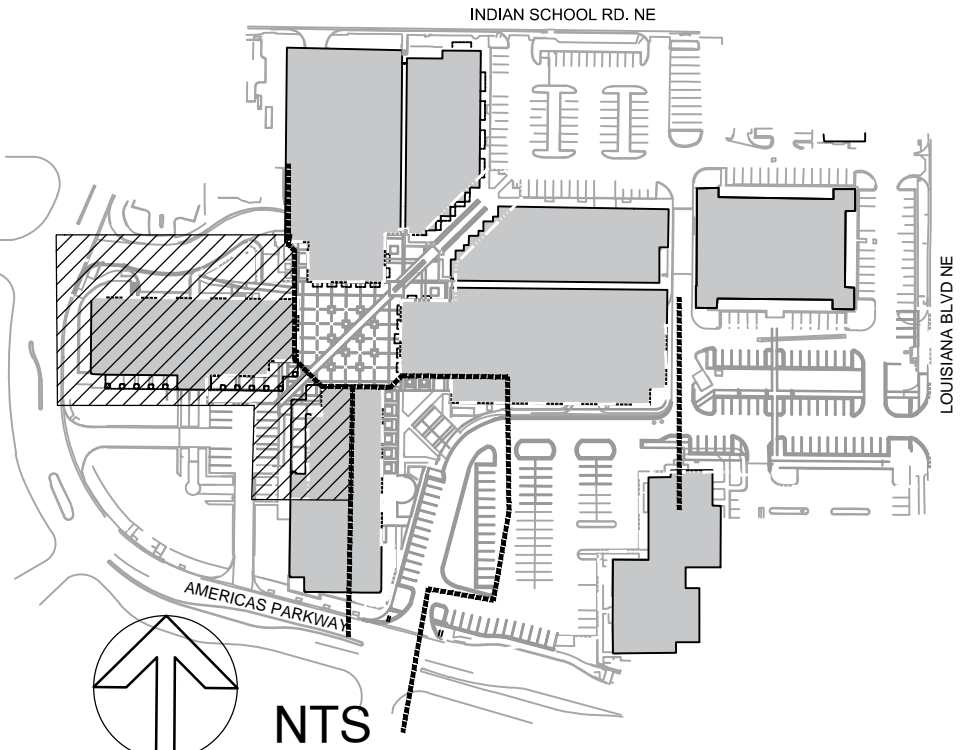
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NOVEMBER 2023

MARK	DATE	DESCRIPTION



**KEY MAP**



**A1 PARK SQUARE PLAZA GRADING PLAN**  
 SCALE: 1" = 10'

Park Square Plaza Renovation



[DATE: 11/15/2023 1:55 PM] [AUTHOR: jpeylin] [PLOTTER: DWG To PDF.pc3] [STYLE: WHP-Standard.ctb] [LAYOUT: C-302]  
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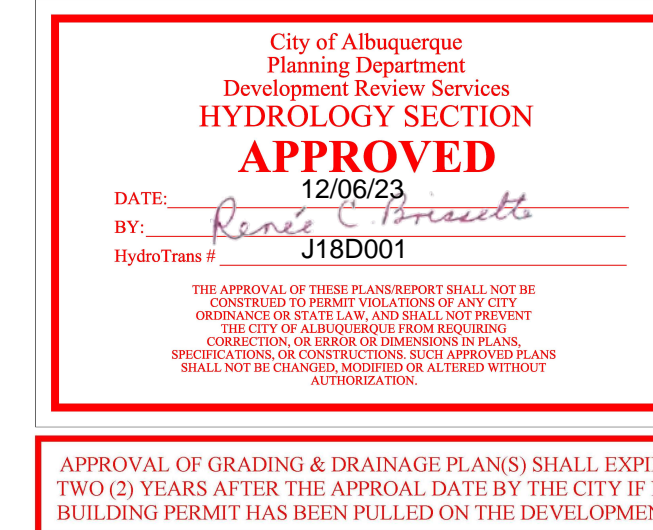
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**CONSTRUCTION KEYNOTES:**

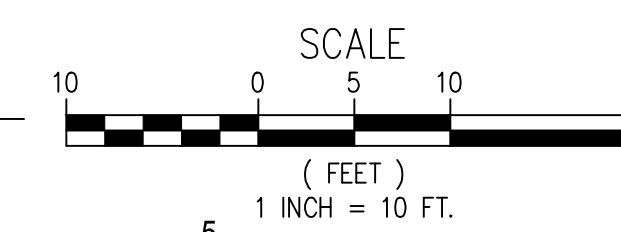
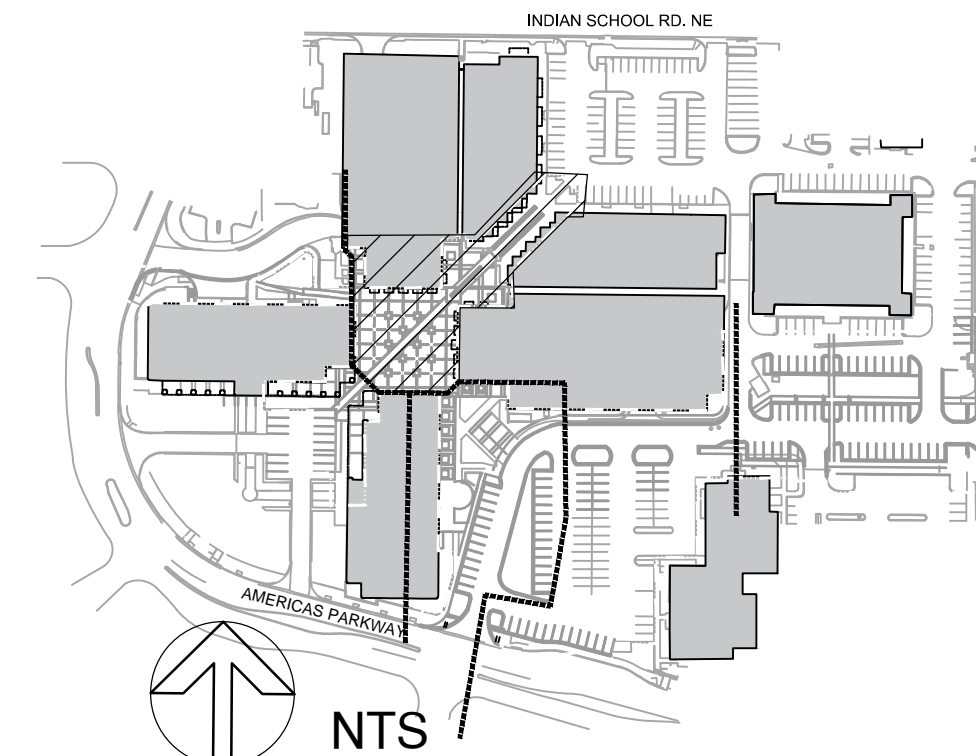
- MATCH EXISTING GRADE ELEVATION, CONTRACTOR TO FIELD VERIFY ELEVATION.
- NEW PLANTER BENCH, SEE LANDSCAPE PLAN FOR DETAILS.
- REMOVE AND REPLACE EXISTING STORM DRAIN GRATE. SEE SITE PLAN OR LANDSCAPE PLAN FOR TYPE AND DETAILS.
- REMOVE EXISTING STORM INLET, REPLACE NEW GRATE WITH PEDESTRIAN SAFE TYPE, REPLACE DRAIN BASIN AS NECESSARY FOR NEW CONNECTION, SEE SITE PLAN OR LANDSCAPE PLAN FOR DETAILS.
- ADJUST EXISTING STORM DRAIN MANHOLE RIM TO FINISHED GRADE, CONTRACTOR TO FIELD VERIFY FOR ANY ADDITIONAL MANHOLES TO BE ADJUST AS NECESSARY.
- ADJUST EXISTING CLEANOUTS TO FINISHED GRADE.
- REMOVE EXISTING STORM DRAIN INLET, CONSTRUCT NEW STORM DRAIN GRATE AND BASIN IN PLANTING AREA, SEE SITE PLAN OR LANDSCAPE PLAN FOR DETAILS.



APPROVAL OF GRADING & DRAINAGE PLANS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.

POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
154	1492129.96	1544370.33	5267.36	SWLK
155	1492125.12	1544376.15	5267.34	SWLK
156	1492130.00	1544381.14	5267.25	SWLK
157	1492135.76	1544376.25	5267.26	SWLK
158	1492150.25	1544391.08	5267.00	SWLK
159	1492144.87	1544396.36	5266.98	SWLK
160	1492147.76	1544393.52	5266.98	GRATE
161	1492162.71	1544403.82	5267.18	SWLK
162	1492157.32	1544409.09	5267.18	SWLK
163	1492175.34	1544416.75	5266.96	SWLK/GRATE
164	1492172.46	1544419.58	5266.96	GRATE
165	1492169.96	1544422.02	5267.00	SWLK
166	1492194.94	1544436.79	5267.41	SWLK
167	1492189.27	1544441.77	5267.41	SWLK
168	1492210.04	1544452.11	5267.77	SWLK
169	1492204.09	1544457.04	5267.76	SWLK
170	1492210.77	1544456.08	5267.71	SWLK
171	1492208.60	1544458.20	5267.68	SWLK
172	1492219.07	1544458.48	5267.56	SWLK
173	1492211.36	1544467.10	5267.55	SWLK
174	1492230.98	1544476.74	5267.39	SWLK
175	1492228.73	1544478.80	5267.39	SWLK
176	1492225.69	1544481.77	5267.35	SWLK
177	1492224.08	1544483.22	5267.32	GRATE
178	1492234.02	1544473.77	5267.34	SWLK
179	1492235.18	1544472.46	5267.33	GRATE
180	1492234.32	1544460.93	5267.49	SWLK
181	1492244.48	1544484.47	5267.24	SWLK
182	1492241.06	1544487.06	5267.29	SWLK
183	1492238.89	1544489.19	5267.32	SWLK
184	1492235.85	1544492.16	5267.27	SWLK
185	1492233.91	1544495.45	5267.24	GRATE
186	1492247.60	1544482.46	5267.21	GRATE
187	1492254.96	1544495.19	5267.54	SWLK
188	1492246.89	1544503.46	5267.70	SWLK
189	1492162.50	1544439.34	5267.31	SWLK
190	1492147.67	1544439.19	5267.21	SWLK
191	1492126.77	1544439.03	5267.39	SWLK
192	1492126.92	1544418.05	5267.35	SWLK
193	1492127.09	1544388.39	5267.35	SWLK
194	1492157.27	1544373.68	5267.27	SWLK
195	1492157.08	1544388.68	5267.07	SWLK
196	1492192.99	1544373.93	5267.38	SWLK
197	1492192.81	1544394.82	5267.22	SWLK
198	1492192.48	1544424.77	5267.35	SWLK
199	1492177.74	1544409.61	5267.10	SWLK
200	1492172.00	1544394.74	5266.92	GRATE
201	1492147.90	1544418.15	5267.00	GRATE

**KEY MAP**



**A1 PARK SQUARE PLAZA GRADING PLAN**  
 SCALE: 1" = 10'

**Park Square Plaza Renovation**

6565 AMERICAS PKWY  
 ALBUQUERQUE, NM 87110

NOVEMBER 2023

MARK	DATE	DESCRIPTION

ISSUE: FOR PRICING  
 DATE: NOVEMBER 10, 2023  
 PROJECT NO:  
 DRAWN BY: MJL/NVS  
 CHECKED BY: MJL/JP

SHEET TITLE  
 GRADING PLAN

Park Square Plaza Renovation



DATE: 11/15/2023 1:56 PM [AUTHOR: jpekylin] [PLOTTER: DWG To PDF.pc3] [STYLE: WRP-Standard.ctb] [PLOT: P:\VET\Architects\23\2023-AM00278\00-Grading\PLAN.dwg] [LAYOUT: C-303]

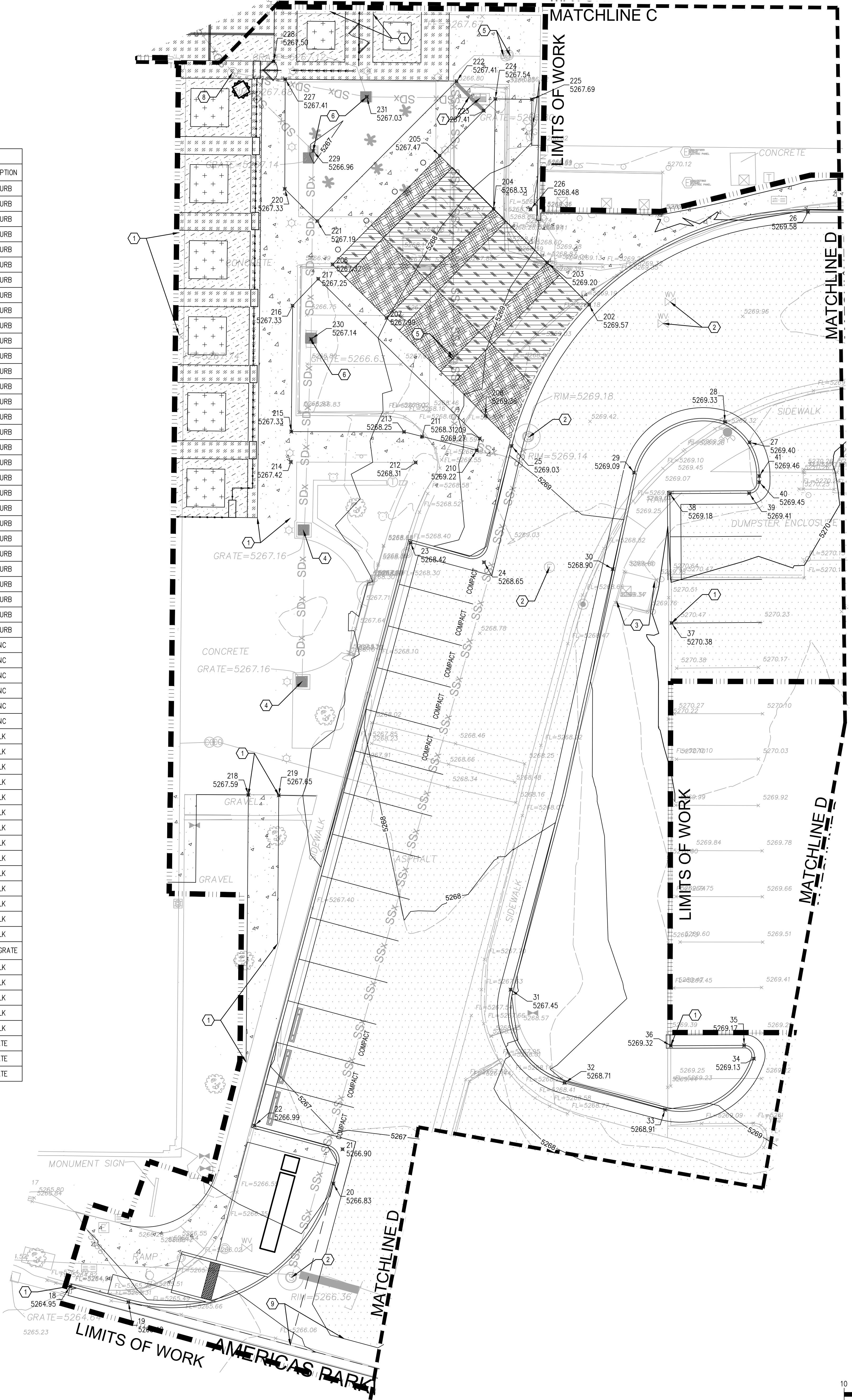
**CONSULTANTS**

**LANDSCAPE ARCHITECT**  
**Groundwork Studio**  
 6501 Americas Pkwy NE, Ste. 350  
 Albuquerque, NM 87110  
 p\_505.212.9126

**CIVIL ENGINEER**  
**NVS**  
 6501 Americas Pkwy NE, Ste. 400  
 Albuquerque, NM 87110  
 p\_505.510.0850

**LIGHTING**  
**AE Design**  
 1900 Wazee Street #205  
 Denver, CO 80202  
 p\_303.296.3034

GRADING POINT CONTROL TABLE				
POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
18	1491867.64	1544423.73	5264.95	FL-CURB
19	1491864.57	1544435.21	5265.40	FL-CURB
20	1491887.91	1544475.62	5266.83	FL-CURB
21	1491894.69	1544477.44	5266.90	FL-CURB
22	1491899.35	1544460.05	5266.99	FL-CURB
23	1492014.29	1544490.85	5268.42	FL-CURB
24	1492010.41	1544505.33	5268.65	FL-CURB
25	1492033.34	1544510.78	5269.03	FL-CURB
26	1492079.47	1544569.21	5269.58	FL-CURB
27	1492034.07	1544557.68	5269.40	FL-CURB
28	1492038.09	1544552.87	5269.33	FL-CURB
29	1492028.10	1544534.93	5269.09	FL-CURB
30	1492009.07	1544530.72	5268.90	FL-CURB
31	1491926.14	1544510.59	5267.45	FL-CURB
32	1491907.77	1544521.21	5268.71	FL-CURB
33	1491902.48	1544541.03	5268.91	FL-CURB
34	1491912.55	1544558.55	5269.13	FL-CURB
35	1491915.16	1544556.63	5269.17	FL-CURB
36	1491915.10	1544542.17	5269.32	FL-CURB
37	1491998.44	1544542.32	5270.38	FL-CURB
38	1492023.94	1544542.00	5269.18	FL-CURB
39	1492024.03	1544557.62	5269.41	FL-CURB
40	1492026.21	1544559.61	5269.45	FL-CURB
41	1492027.41	1544559.61	5269.46	FL-CURB
42	1491864.31	1544514.20	5267.59	FL-CURB
43	1491881.51	1544518.79	5267.41	FL-CURB
44	1491883.96	1544517.37	5267.38	FL-CURB
45	1491884.56	1544515.10	5267.36	FL-CURB
46	1491873.99	1544496.74	5267.01	FL-CURB
47	1491844.47	1544510.49	5266.53	FL-CURB
203	1492069.52	1544517.78	5269.20	CONC
204	1492080.11	1544507.23	5268.33	CONC
205	1492090.60	1544496.61	5267.47	CONC
206	1492069.16	1544475.48	5267.32	CONC
207	1492058.59	1544486.12	5267.99	CONC
208	1492039.30	1544505.65	5269.36	CONC
209	1492034.82	1544504.50	5269.27	SWLK
210	1492032.50	1544503.90	5269.22	SWLK
211	1492035.22	1544493.14	5268.31	SWLK
212	1492030.09	1544491.85	5268.31	SWLK
213	1492036.12	1544489.56	5268.25	SWLK
214	1492030.17	1544467.26	5267.42	SWLK
215	1492036.17	1544467.32	5267.33	SWLK
216	1492061.01	1544467.59	5267.33	SWLK
217	1492066.29	1544472.64	5267.25	SWLK
218	1491964.55	1544458.86	5267.59	SWLK
219	1491964.47	1544464.86	5267.65	SWLK
220	1492084.02	1544466.04	5267.33	SWLK
221	1492077.69	1544472.45	5267.19	SWLK
222	1492105.28	1544499.92	5267.41	SWLK
223	1492099.45	1544505.29	5267.41	SWLK/GRATE
224	1492101.77	1544507.56	5267.54	SWLK
225	1492101.68	1544514.77	5267.69	SWLK
226	1492080.03	1544514.50	5268.48	SWLK
227	1492105.66	1544466.13	5267.41	SWLK
228	1492109.18	1544463.86	5267.50	SWLK
229	1492091.52	1544471.63	5266.96	GRATE
230	1492054.42	1544471.24	5267.14	GRATE
231	1492102.18	1544482.21	5267.03	GRATE

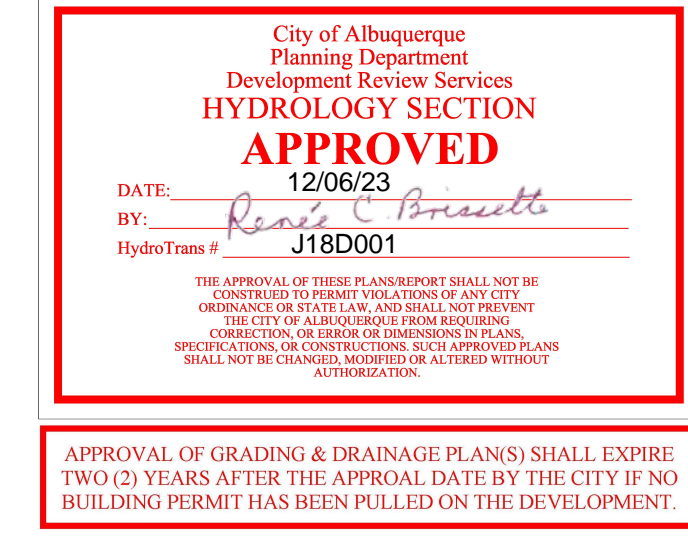


**GENERAL NOTES:**

- ALL NEW CONSTRUCTION SHALL BE INSTALLED PER CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND STANDARD DETAIL DRAWINGS, LATEST EDITION, UNLESS OTHERWISE NOTED.
- ALL PROPOSED ELEVATIONS ARE AT FLOWLINE OF CURB, FINISHED GRADE AT SIDEWALK OR CONCRETE, TOP OF ASPHALT PAVEMENT SURFACE, BOTTOM AND TOP OF WALL UNLESS OTHERWISE NOTED.
- ALL EXISTING UTILITY LINE SHOWN ON THIS PLAN ARE APPROXIMATE, CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITY LOCATION AND ELEVATIONS BEFORE ANY DEMOLITION AND NEW CONSTRUCTION.

**CONSTRUCTION KEYNOTES:**

- MATCH EXISTING GRADE ELEVATION, CONTRACTOR TO FIELD VERIFY ELEVATION.
- ADJUST EXISTING SEWER MANHOLE RIM & WATER VALVE BOXES TO FINISHED GRADE AS NECESSARY, CONTRACTOR TO FIELD VERIFY ELEVATION.
- EXISTING ELECTRICAL TRANSFORMER TO REMAIN & PROTECTED THROUGH CONSTRUCTION.
- EXISTING STORM DRAIN INLET TO REMAIN & PROTECTED THROUGH CONSTRUCTION.
- ADJUST EXISTING SEWER CLEANOUTS TO FINISHED GRADE, CLEANOUTS NEED TO BE TRAFFIC RATED.
- REMOVE & REPLACE EXISTING STORM DRAIN GRATE, ADJUST TO FINISHED GRADE, SEE SITE PLAN OR LANDSCAPE PLAN FOR NEW GRATE DETAILS.
- REMOVE EXISTING CURB INLET, REPLACE WITH PEDESTRIAN SAFE TYPE STORM GRATE, SEE SITE PLAN OR LANDSCAPE PLAN FOR DETAILS.
- ADJUST EXISTING STORM MANHOLE RIM TO FINISHED GRADE.
- CONSTRUCT CONCRETE VALLEY GUTTER PER COA STANDARD DETAILS.



**Park Square Plaza Renovation**

6565 AMERICAS PKWY  
 ALBUQUERQUE, NM 87110

NOVEMBER 2023

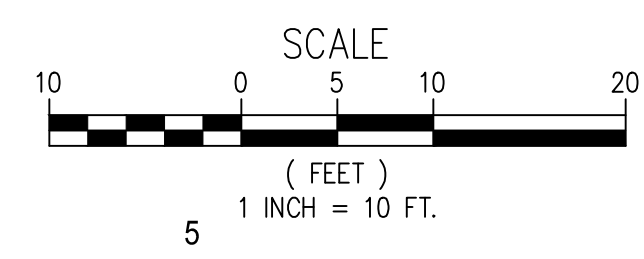
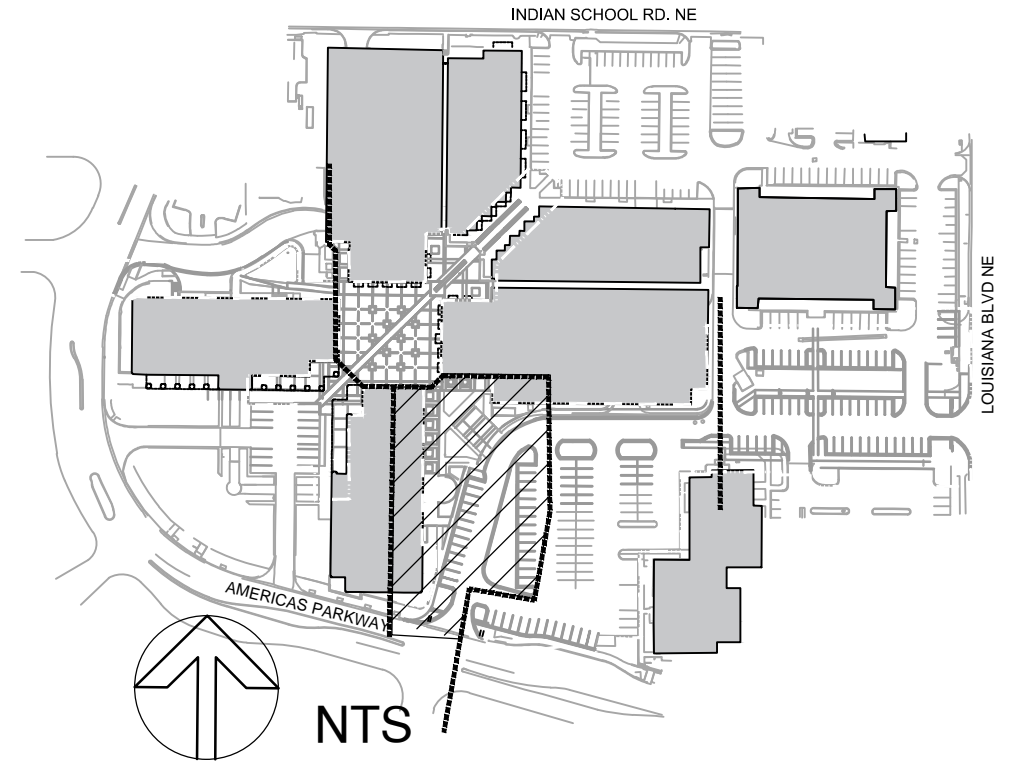
MARK	DATE	DESCRIPTION

ISSUE:	FOR PRICING
DATE:	NOVEMBER 10, 2023
PROJECT NO:	
DRAWN BY:	MJL/NVS
CHECKED BY:	MJL/JP

SHEET TITLE  
 GRADING PLAN

**C-303**

**KEY MAP**



**A1 PARK SQUARE PLAZA GRADING PLAN**  
 SCALE: 1" = 10'







[DATE: 11/15/2023 2:04 PM] [AUTHOR: jacy.lin] [PLOTTER: DWG To PDF.pc3] [STYLE: WIP-Standard.ctb] [DATE: 11/15/2023 2:04 PM] [AUTHOR: jacy.lin] [PLOTTER: DWG To PDF.pc3] [STYLE: WIP-Standard.ctb]  
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**GENERAL NOTES:**

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- ALL EXISTING UTILITY LINE SHOWN ON THIS PLAN ARE APPROXIMATE, CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITY LOCATION AND ELEVATIONS BEFORE ANY DEMOLITION AND NEW CONSTRUCTION.

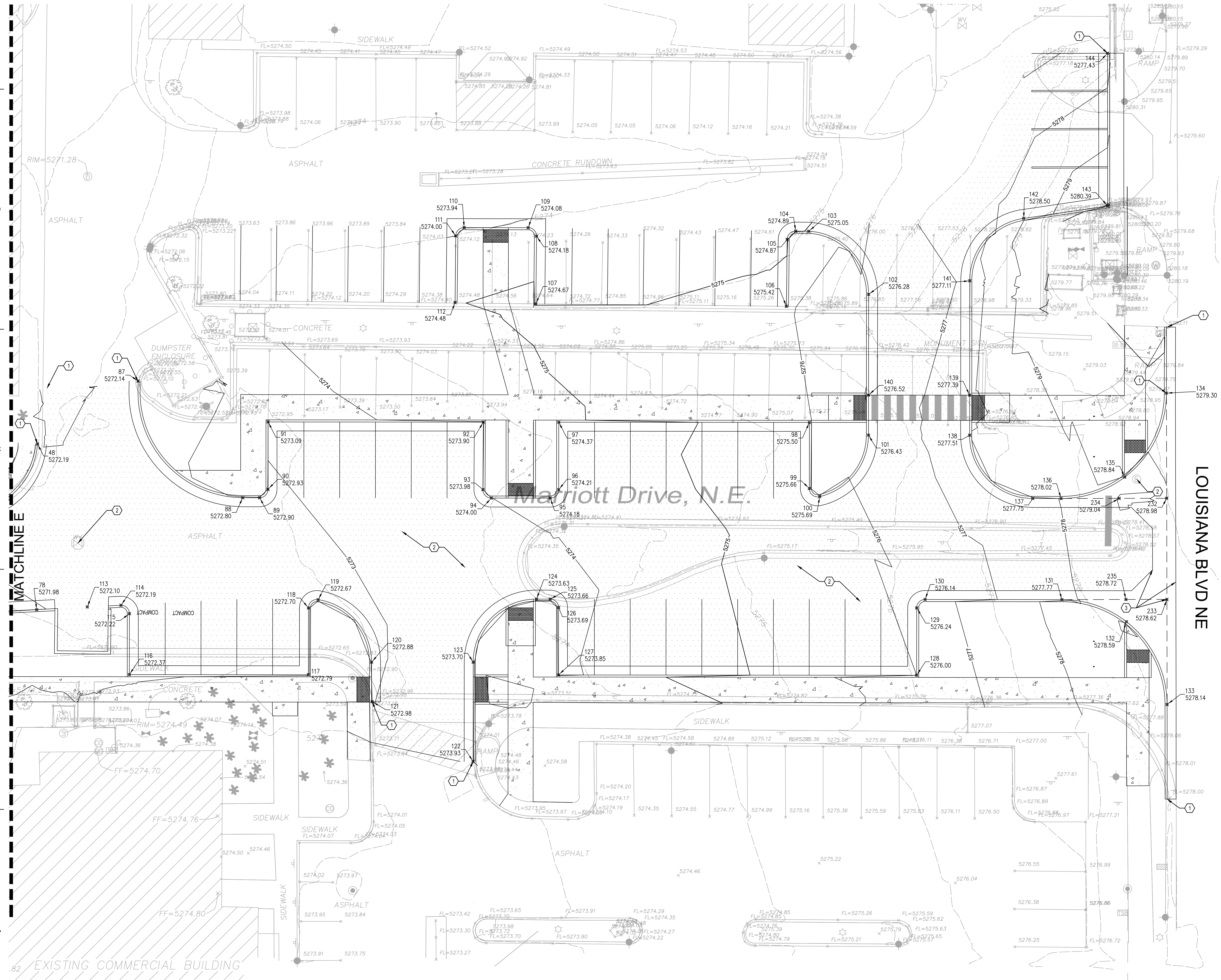
**CONSTRUCTION KEYNOTES:**

- MATCH EXISTING GRADE ELEVATION, CONTRACTOR TO FIELD VERIFY ELEVATION.
- ADJUSTING EXISTING SEWER MANHOLE RIM & WATER VALVE BOX AND COMMUNICATION MANHOLES TO FINISHED GRADE AS NECESSARY, CONTRACTOR TO FIELD VERIFY ELEVATION.
- CONSTRUCT CONCRETE VALLEY GUTTER PER COA STANDARD DETAILS.

City of Albuquerque  
 Planning Department  
 Development Review Services  
**HYDROLOGY SECTION**  
**APPROVED**  
 DATE: 12/06/23  
 BY: *[Signature]*  
 Hydrologist: JRB001

THE APPROVAL OF THIS PLAN SHALL NOT BE CONSIDERED AS A GUARANTEE OF ACCURACY OR A WARRANTY OF ANY KIND. THE CITY OF ALBUQUERQUE ASSUMES NO LIABILITY FOR ANY DAMAGE OR LOSS OF ANY KIND, INCLUDING BUT NOT LIMITED TO, CONSEQUENTIAL DAMAGES, ARISING FROM THE USE OF THIS PLAN.

APPROVAL OF GRADING & DRAINAGE PLANS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN FILED ON THE DEVELOPMENT.



GRADING POINT CONTROL TABLE				
POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
87	1492110.40	1544768.72	5272.14	FL-CURB
88	1492082.70	1544793.55	5272.80	FL-CURB
89	1492082.69	1544797.56	5272.90	FL-CURB
90	1492084.69	1544799.56	5272.93	FL-CURB
91	1492100.70	1544799.58	5273.09	FL-CURB
92	1492100.65	1544850.67	5273.90	FL-CURB
93	1492084.64	1544850.57	5273.98	FL-CURB
94	1492082.62	1544852.57	5274.00	FL-CURB
95	1492082.61	1544866.56	5274.18	FL-CURB
96	1492084.61	1544868.56	5274.21	FL-CURB
97	1492100.63	1544868.58	5274.37	FL-CURB
98	1492100.58	1544928.08	5275.50	FL-CURB
99	1492084.90	1544928.06	5275.66	FL-CURB
100	1492082.96	1544930.52	5275.69	FL-CURB
101	1492097.56	1544942.10	5276.43	FL-CURB
102	1492130.97	1544942.13	5276.28	FL-CURB
103	1492145.96	1544927.92	5275.05	FL-CURB
104	1492146.00	1544924.82	5274.89	FL-CURB
105	1492144.02	1544922.80	5274.87	FL-CURB
106	1492128.13	1544922.61	5275.42	FL-CURB
107	1492128.73	1544863.34	5274.67	FL-CURB
108	1492144.79	1544863.30	5274.18	FL-CURB
109	1492146.82	1544861.33	5274.08	FL-CURB
110	1492146.83	1544866.12	5274.00	FL-CURB
111	1492144.85	1544844.12	5274.00	FL-CURB
112	1492129.01	1544843.95	5274.48	FL-CURB
113	1492056.78	1544756.66	5272.10	FL-CURB
114	1492057.19	1544764.66	5272.19	FL-CURB
115	1492055.19	1544766.66	5272.22	FL-CURB
116	1492040.72	1544766.65	5272.37	FL-CURB
117	1492040.68	1544809.14	5272.79	FL-CURB
118	1492056.53	1544809.16	5272.70	FL-CURB

GRADING POINT CONTROL TABLE				
POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
119	1492058.50	1544811.47	5272.67	FL-CURB
120	1492043.67	1544824.15	5272.88	FL-CURB
121	1492034.28	1544824.31	5272.98	FL-CURB
122	1492020.07	1544848.25	5273.93	FL-CURB
123	1492043.65	1544848.27	5273.70	FL-CURB
124	1492058.64	1544863.29	5273.63	FL-CURB
125	1492058.64	1544866.54	5273.66	FL-CURB
126	1492056.63	1544868.53	5273.69	FL-CURB
127	1492040.63	1544868.52	5273.85	FL-CURB
128	1492040.55	1544953.52	5276.00	FL-CURB
129	1492056.55	1544953.53	5276.24	FL-CURB
130	1492058.55	1544955.54	5276.14	FL-CURB
131	1492058.52	1544988.01	5277.77	FL-CURB
132	1492053.26	1545003.32	5278.59	FL-CURB
133	1492033.62	1545012.98	5278.14	FL-CURB
134	1492107.53	1545012.82	5279.30	FL-CURB
135	1492087.60	1545002.93	5278.84	FL-CURB
136	1492082.52	1544987.80	5278.02	FL-CURB
137	1492082.53	1544981.08	5277.75	FL-CURB
138	1492097.54	1544966.09	5277.51	FL-CURB
139	1492107.04	1544966.10	5277.39	FL-CURB
140	1492107.06	1544942.10	5276.52	FL-CURB
141	1492134.19	1544966.13	5277.11	FL-CURB
142	1492149.02	1544978.94	5278.50	FL-CURB
143	1492151.96	1544988.87	5280.39	FL-CURB
232	1492082.57	1545012.88	5278.98	FL-VG
233	1492058.57	1545012.93	5278.62	FL-VG
234	1492082.55	1545001.61	5279.04	FL
235	1492058.55	1545003.20	5278.72	FL

**fbt|architects**

6501 Americas Pkwy NE, Ste. 300  
 Albuquerque, NM 87110  
 P\_505.883.5200 WEB: www.fbtarch.com

**CONSULTANTS**

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**Groundwork Studio**  
 6501 Americas Pkwy NE, Ste. 350  
 Albuquerque, NM 87110  
 p\_505.212.9126

**CIVIL ENGINEER**  
**NV5**  
 6501 Americas Pkwy NE, Ste. 400  
 Albuquerque, NM 87110  
 p\_505.510.0850

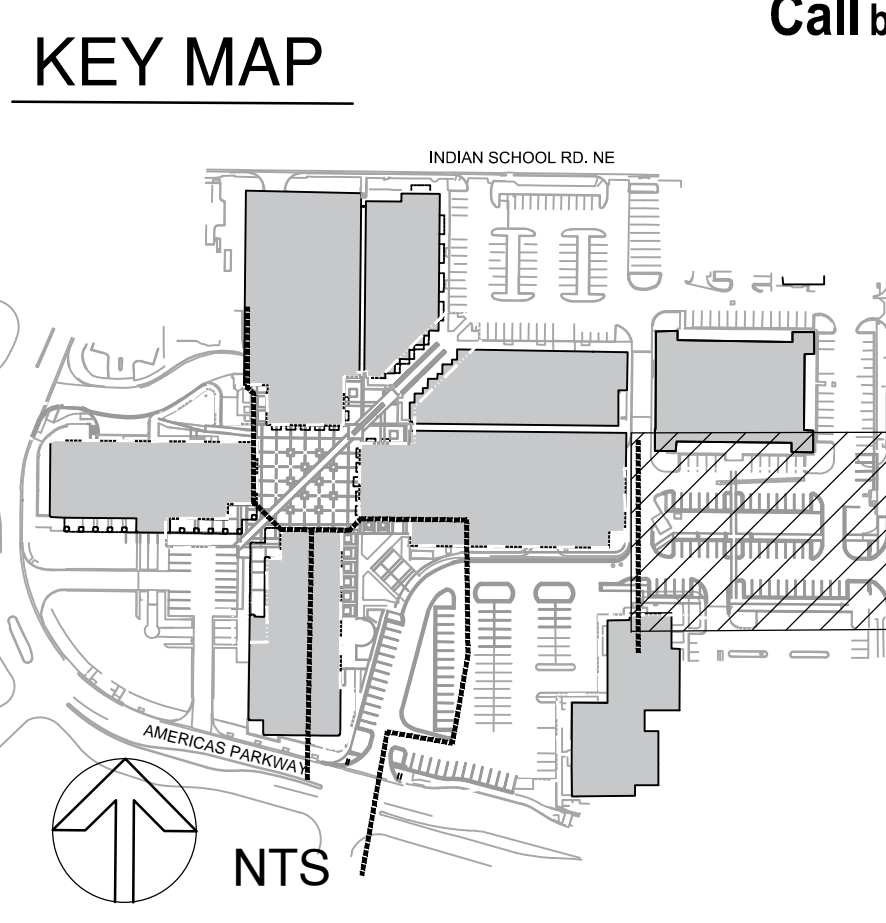
**LIGHTING**  
**AE Design**  
 1900 Wazee Street #205  
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 p\_303.296.3034



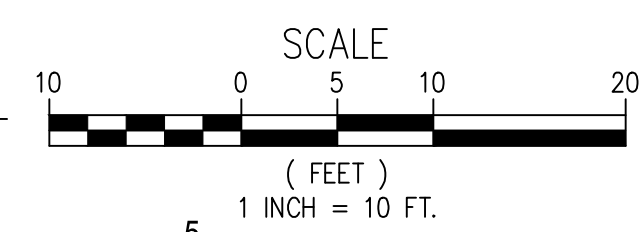
**Park Square Plaza Renovation**

6565 AMERICAS PKWY  
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 SCALE: 1" = 10'



Park Square Plaza Renovation