



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

August 22, 2001

Amy Driscoll
Mark Goodwin & Assoc.
P.O. Box 90606
Albuquerque, NM 87199

**Re: Grading and Drainage Plan for Uptown E-Suites, (J18/D33),
Engineer stamp dated July 16, 2001.**

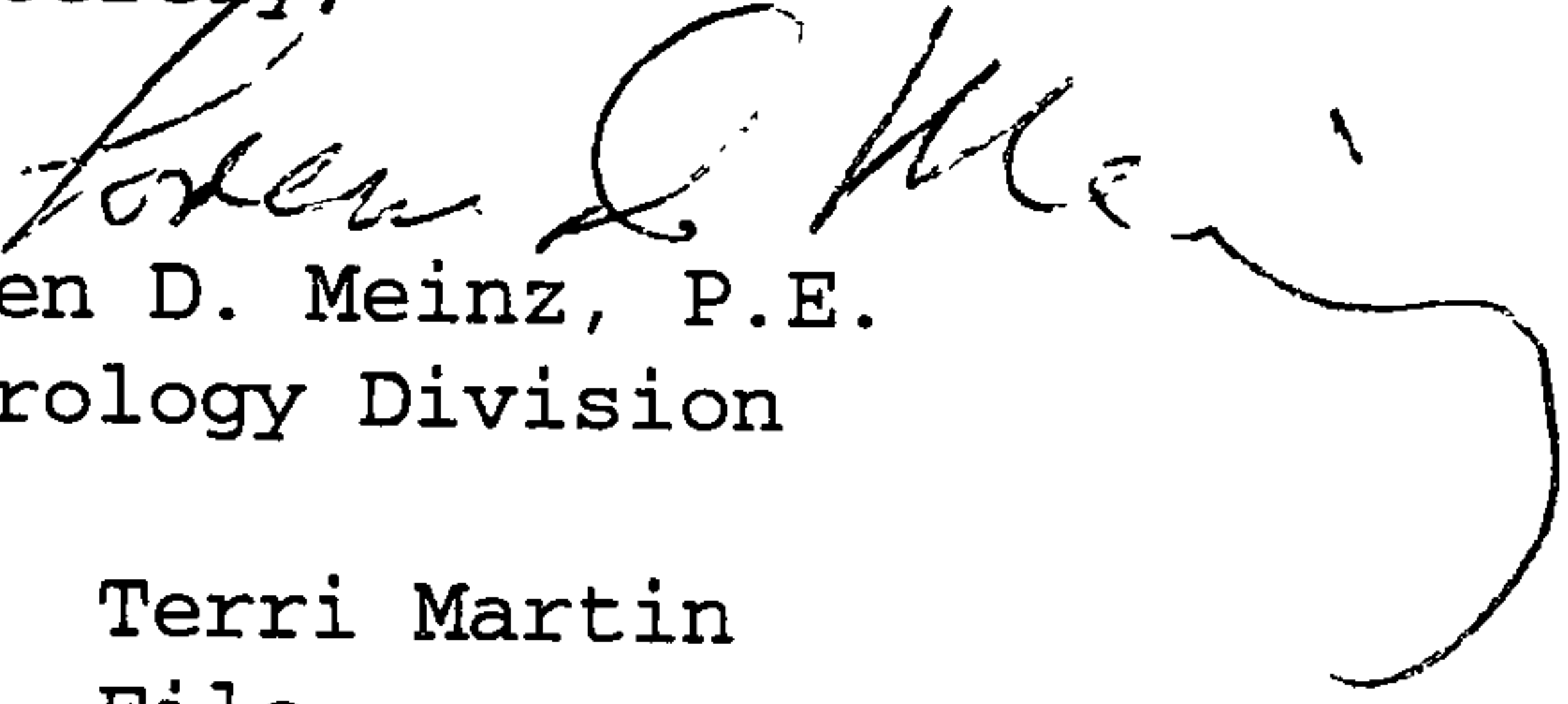
Dear Ms. Driscoll,

The above referenced plan modification is approved for Site Plan for Building Permit, Building Permit, and for Grading and Drainage. Please attach a copy of this plan to the construction set for Hydrology sign-off of Building Permit.

Prior to release of Certificate of Occupancy, Engineer's Certification, per the DPM checklist, of final site grading and drainage is required for final approval by Hydrology.

If you have any questions, please call me at 924-3980.

Sincerely,


Loren D. Mainz, P.E.
Hydrology Division

c: Terri Martin
File



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 23, 2001

Mark Goodwin, P.E.
Mark Goodwin & Assoc,
P.O. Box 90606
Albuquerque, NM 87199

Attn: Amy Driscoll

***RE: UPTOWN E-SUITES (J18-D33). GRADING AND DRAINAGE PLAN FOR
BUILDING PERMIT APPROVAL. ENGINEER'S STAMP DATED DECEMBER 11,
2000.***

Dear Mr. Goodwin:

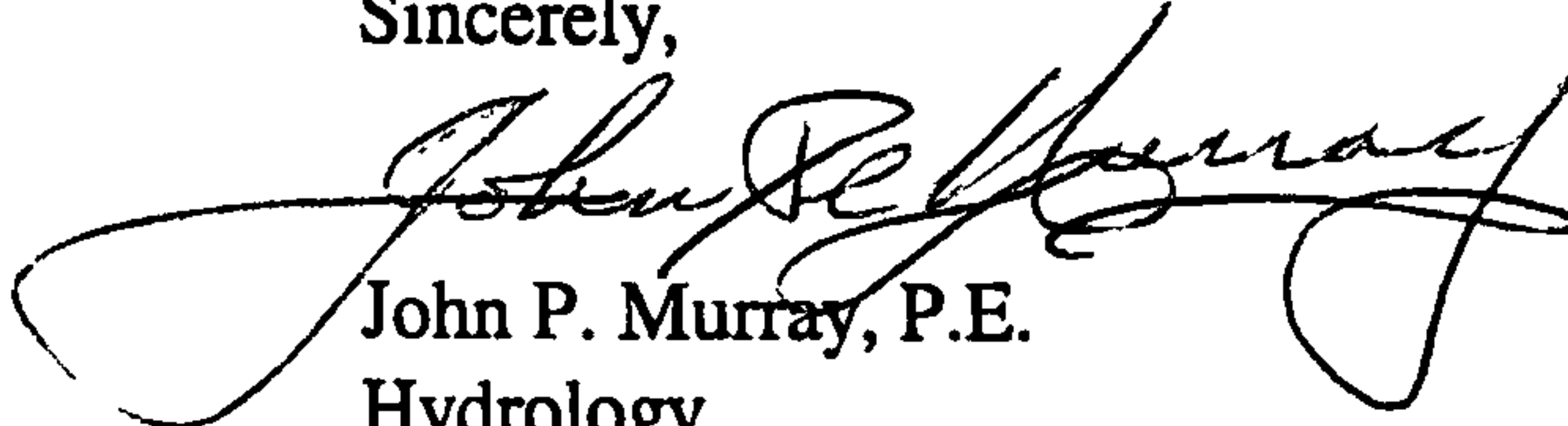
Based on the information provided on your December 14, 2000 submittal, the above referenced project is approved for Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy approval, an Engineer's Certification per the DPM will be required.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,

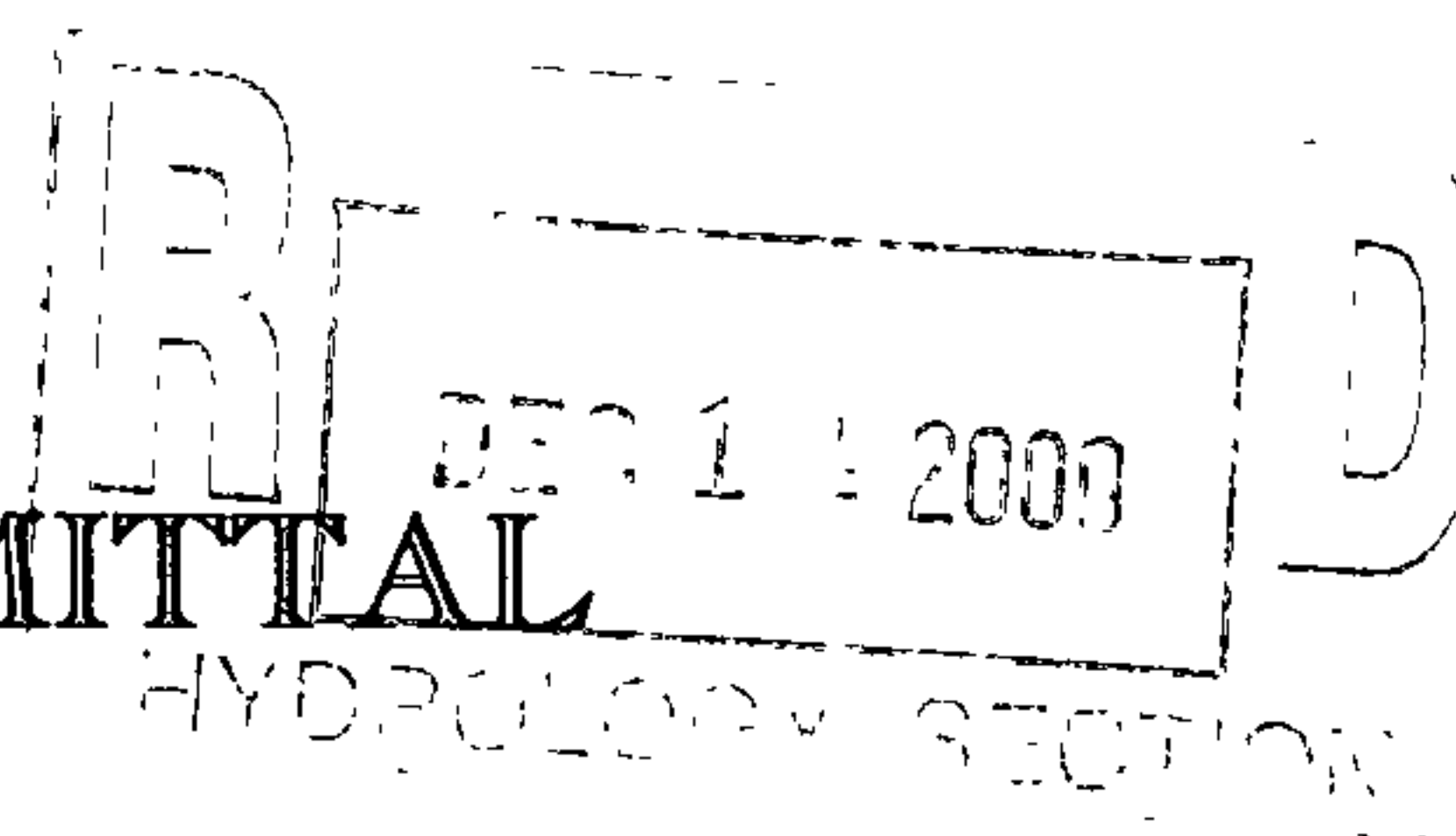

John P. Murray, P.E.
Hydrology

c: Whitney Reiersen
✓ File

D. Mark Goodwin and Associates, P.A.
Consulting Engineers

P.O. Box 90606 ♦ Albuquerque, NM 87199
(505) 828-2200 ♦ (505) 797-9539 fax
e-mail: dm@swcp.com

LETTER OF TRANSMITTAL



TO: STUART REEDER
CoA

DATE: 12/13/00
RE: E-SUITES/UPDOWN SUITES
J-18/DO33

We are sending:

2 12/13/00 GTD PLAN

____ For your approval

☒ For your information

____ As you requested

____ For your comments

____ Pre-Design Meeting

NOTES: THE GTD PLAN WAS APPROVED BY HYDROLOGY
ON 11/24/00. THIS PLAN IS BEING PROVIDED SO IT
MATCHES THE BUILDING PERMIT PLAN. SOME ISLE WIDTHS
HAVE CHANGED AND SPOT ELEVATIONS IN THE PARKING LOT HAVE
CHANGED. THE DRAINAGE CONCEPT IS THE SAME.

Project Engineer _____

SIGNED: _____

A large, stylized handwritten signature in black ink, written over a horizontal line.

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Uptown Suites/E-Suites (J-18/DO33) ZONE ATLAS#: J-18
DRB#: _____ EPC# _____ WORKORDER#: _____
LEGAL DESCRIPTION: Westerly Portion of Tract 2, Park Square Addition
CITY ADDRESS: _____

ENGINEERING FIRM:	<u>Mark Goodwin & Associates, PA</u>	CONTACT:	<u>Amy Driscoll</u>
ADDRESS:	<u>P.O. Box 90606, Albuquerque, NM 87199</u>	PHONE:	<u>828-2200</u>
OWNER:	<u>H. Davidson & Associates</u>	CONTACT:	<u>Perry Mann</u>
ADDRESS:	<u>124 10th Street NW, Albuquerque, NM 87102</u>	PHONE:	<u>247-4455</u>
ARCHITECT:	<u>Design Collaborative SW</u>	CONTACT:	<u>Rick Garcia</u>
ADDRESS:	<u>320 Central SW, Albuquerque, NM 87102</u>	PHONE:	<u>843-9639</u>
SURVEYOR:	<u>Albuquerque Surveying Co.</u>	CONTACT:	<u>Viadmir Jirik</u>
ADDRESS:	<u>2119 Menaul Blvd, Albuquerque, NM 87107</u>	PHONE:	<u>884-2036</u>
CONTRACTOR:	_____	CONTACT:	_____
ADDRESS:	_____	PHONE:	_____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL
☐ ENGINEER'S CERTIFICATION
☐ OTHER
☐ EASEMENT VACATION

PRE-DESIGN MEETING:

☒ YES
☐ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. PLAN FOR BLDG PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATION OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☒ OTHER ~~JUST FYI~~
☐ RELEASE OF FINANCIAL GUARANTY
☐ TRAFFIC CIRCULATION LAYOUT

DATE SUBMITTED: 12/13/00

BY: Amy Driscoll

Amy Driscoll

Rec'd
12/14/00



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 8, 2002

Mark Goodwin, P.E.
Mark Goodwin & Assoc.
P.O. Box 90606
Albuquerque, New Mexico 87199

RE: UPTOWN E-SUITES PHASE 1 (RESTAURANT) (J-18/D33)
(6520 Americas Parkway NE)
ENGINEERS CERTIFICATION FOR CERTIFICATE OF OCCUPANCY
ENGINEERS STAMP DATED 7/16/2001
ENGINEERS CERTIFICATION DATED 1/8/2002

Dear Mr. Goodwin:

Based upon the information provided in your Engineers Certification submittal dated 1/8/2002, the above referenced site is approved for a Permanent Certificate of Occupancy for Phase 1.

If I can be of further assistance, please contact me at 924-3981.

Sincerely,

Teresa A. Martin
Hydrology Plan Checker
Public Works Department

BLB

C: Vickie Chavez, COA
drainage file
approval file

DRAINAGE INFORMATION SHEET

(REV. 11/01/2001)

PROJECT TITLE: UPDOWN SUITES/E-SUITES ZONE MAP/DRG. FILE #: J-18 D33
DRB #: 1000551 EPC#: _____ WORK ORDER#: 66081

LEGAL DESCRIPTION: WESTERLY PORTION OF TRACT 2, PARK SQUARE ADDITION
CITY ADDRESS: 6520 AMERICA'S PARKWAY

ENGINEERING FIRM: MARIC GOODWIN + ASSOC
ADDRESS: PO BOX 9000
CITY, STATE: MB, MN

CONTACT: AMY L. DRISCOLL, PE
PHONE: 828-2200
ZIP CODE: 57199

OWNER: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

ARCHITECT: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☒ ENGINEERS CERTIFICATION (TCL) FOR HYDROLOGY + TRAFFIC
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

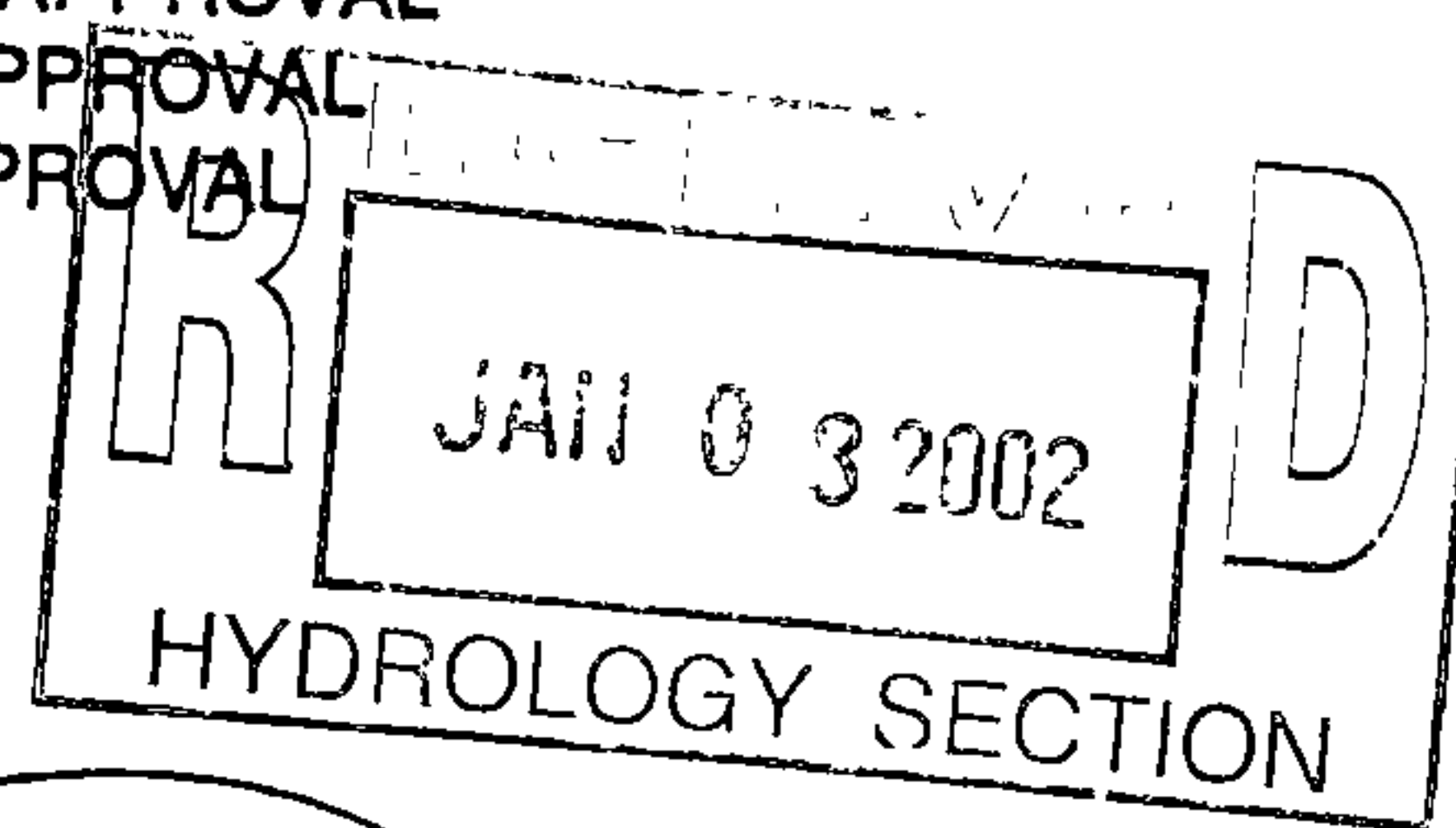
- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 1/8/01

BY: [Signature]



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

August 22, 2001

Amy Driscoll
Mark Goodwin & Assoc.
P.O. Box 90606
Albuquerque, NM 87199

**Re: Grading and Drainage Plan for Uptown E-Suites, (J18/D33),
Engineer stamp dated July 16, 2001.**

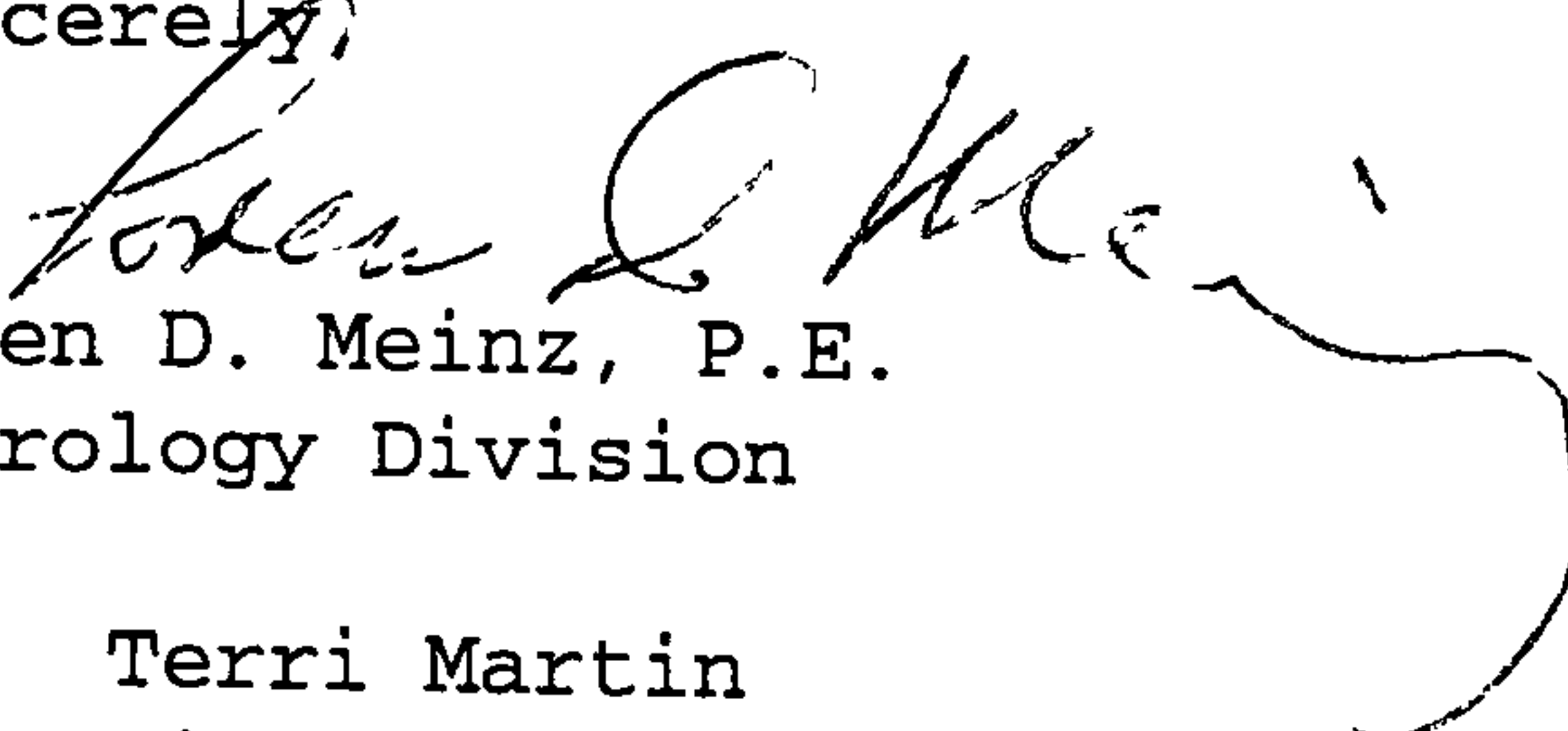
Dear Ms. Driscoll,

The above referenced plan modification is approved for Site Plan for Building Permit, Building Permit, and for Grading and Drainage. Please attach a copy of this plan to the construction set for Hydrology sign-off of Building Permit.

Prior to release of Certificate of Occupancy, Engineer's Certification, per the DPM checklist, of final site grading and drainage is required for final approval by Hydrology.

If you have any questions, please call me at 924-3980.

Sincerely,


Loren D. Mainz, P.E.
Hydrology Division

c: Terri Martin
File



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 18, 2001

Mark Goodwin, P.E.
Mark Goodwin & Assoc.
P.O. Box 90606
Albuquerque, NM 87199

Attn: Amy Driscoll

***RE: UPTOWN E-SUITES (J18-D33). GRADING AND DRAINAGE PLAN FOR SITE
DEVELOPMENT PLAN FOR SUBDIVISION AND BUILDING PERMIT
APPROVALS. ENGINEER'S STAMP DATED DECEMBER 11, 2000.***

Dear Mr. Goodwin:

Based on the information provided on your April 10, 2001 submittal, the above referenced project is approved for Site Development Plan for Subdivision and Building Permit

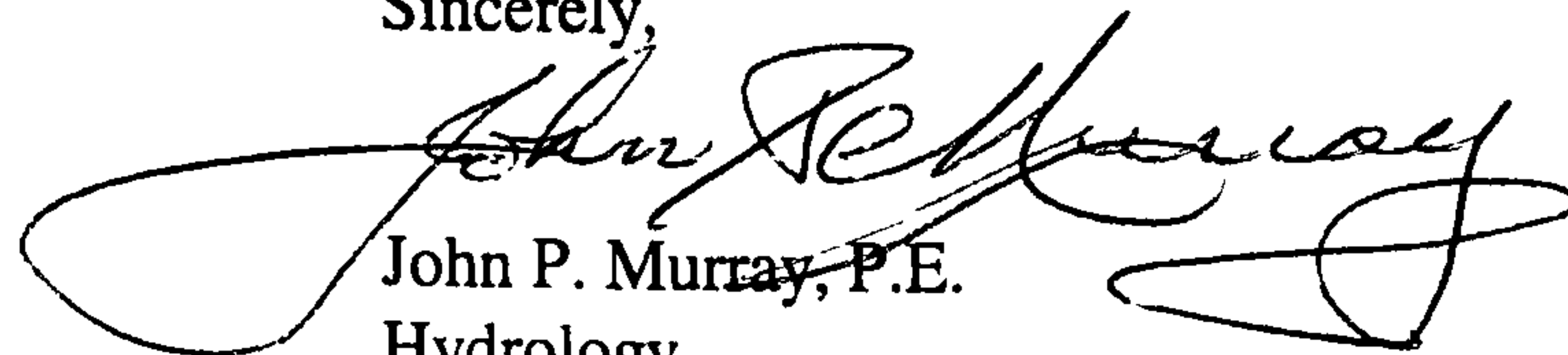
See also C.O.A. letter dated 1/23/01 approving Building Permit..

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology,

Prior to Certificate of Occupancy approval, an Engineer's Certification per the DPM will be required.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,


John P. Murray, P.E.
Hydrology

c: Terri Martin
✓ File

DRAINAGE INFORMATION SHEET

PROJECT TITLE:	Uptown Suites/E-Suites (J-18/DO33)		ZONE ATLAS#:	J-18
DRB#:	1000551	EPC#	WORKORDER#:	66081
LEGAL DESCRIPTION:	Westerly Portion of Tract 2, Park Square Addition			
CITY ADDRESS:				

ENGINEERING FIRM:	Mark Goodwin & Associates, PA	CONTACT:	Amy Driscoll
ADDRESS:	P.O. Box 90606, Albuquerque, NM 87199	PHONE:	828-2200
OWNER:	Matrix Lodging	CONTACT:	Taze Lamb
ADDRESS:	601 Cleveland St, Clearwater, FL 33755	PHONE:	(727) 469-8868
ARCHITECT:	Design Collaborative SW	CONTACT:	David Palacios
ADDRESS:	320 Central SW, Albuquerque, NM 87102	PHONE:	843-9639
SURVEYOR:	Albuquerque Surveying Co.	CONTACT:	Viadmir Jirik
ADDRESS:	2119 Menaul Blvd, Albuquerque, NM 87107	PHONE:	884-2036
CONTRACTOR:		CONTACT:	
ADDRESS:		PHONE:	

TYPE OF SUBMITTAL:

	DRAINAGE REPORT
X	DRAINAGE PLAN
	CONCEPTUAL GRADING & DRAINAGE PLAN
X	GRADING PLAN
	EROSION CONTROL
	ENGINEER'S CERTIFICATION
	OTHER
	EASEMENT VACATION

PRE-DESIGN MEETING:

<u> </u> X	YES
<u> </u>	NO
<u> </u>	COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

	SKETCH PLAT APPROVAL
	PRELIMINARY PLAT APPROVAL
X	S. DEV. PLAN FOR SUB'D APPROVAL
x	S. DEV. PLAN FOR BLDG PERMIT APPROVAL
	SECTOR PLAN APPROVAL
	FINAL PLAT APPROVAL
	FOUNDATION PERMIT APPROVAL
	BUILDING PERMIT APPROVAL
	CERTIFICATION OF OCCUPANCY APPROVAL
	GRADING PERMIT APPROVAL
	PAVING PERMIT APPROVAL
	S.A.D. DRAINAGE REPORT
	DRAINAGE REQUIREMENTS
	OTHER
	RELEASE OF FINANCIAL GUARANTY
	TRAFFIC CIRCULATION LAYOUT

DATE SUBMITTED:

BY:

Amy L. Driscoll

TRAFFIC CIRCULATION LAYOUT

Rev'd 4/10/01

Sec-Ltd of Traders

JH

D. Mark Goodwin and Associates, P.A.
Consulting Engineers

P.O. Box 90606 ♦ Albuquerque, NM 87199
(505) 828-2200 ♦ (505) 797-9539 fax
e-mail: dm@swcp.com

LETTER OF TRANSMITTAL

TO: JOHN MURPHY DATE: 4/10/01
CoA
HYDROLOGY RE: ALBUQUERQUE E-SUITES
J-18/DO33

We are sending:

1 STD PLAN DATED 12/11/00

☒ For your approval

☐ As you requested

R	APR 10 2001	D
	HYDROLOGY SECTION	

For your information
For your comments

MA
2:45 pm

☐ Pre-Design Meeting

NOTES: WE RECEIVED BLDG PERMIT APPROVAL FOR THIS
ON 1/23/01. WE ARE NOW REQUESTING SITE
DEVELOPMENT PLAN APPROVAL

Project Engineer _____

SIGNED: _____

[Signature]



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 23, 2001

Mark Goodwin, P.E.
Mark Goodwin & Assoc,
P.O. Box 90606
Albuquerque, NM 87199

Attn: Amy Driscoll

**RE: UPTOWN E-SUITES (J18-D33). GRADING AND DRAINAGE PLAN FOR
BUILDING PERMIT APPROVAL. ENGINEER'S STAMP DATED DECEMBER 11,
2000.**

Dear Mr. Goodwin:

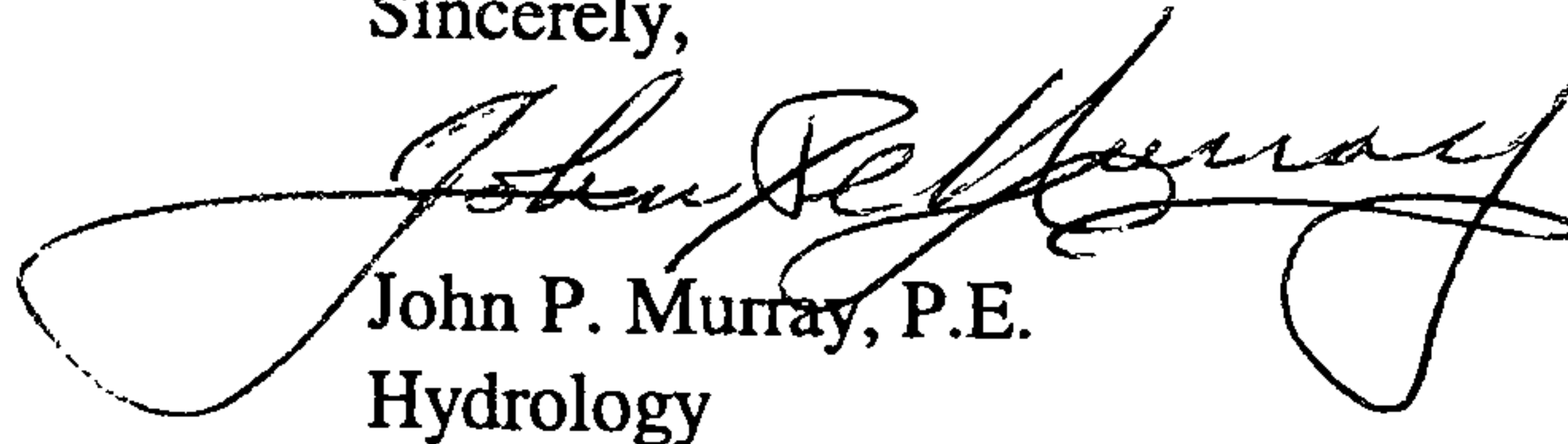
Based on the information provided on your December 14, 2000 submittal, the above referenced project is approved for Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy approval, an Engineer's Certification per the DPM will be required.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,


John P. Murray, P.E.
Hydrology

c: Whitney Reiersen
File

**New Mexico
State Highway and Transportation Department**

**Preliminary Design Bureau
Drainage Section**

INTRA - DEPARTMENTAL CORRESPONDENCE

October 24, 2000

SUBJECT: Uptown Suites Development along I-40 and West of Louisiana
Boulevard, Albuquerque, New Mexico

TO: Kathy Trujillo
District Three Traffic Engineer

FROM: Raymunda A. Van Hoven
Drainage Engineer

R. Van Hoven

I have reviewed the Grading and Drainage Plan for the Uptown Suites development along I-40 and to the West of Louisiana Boulevard. I found the recommendation to be reasonable. The existing site has impermeable surface that discharges to a concrete swale in the southwest corner of the site and drains into I-40 north side ditch.

I do not anticipate the proposed project will cause a drainage impact. There are proposed landscaped areas than there is existing. The Drainage Section has no comments. Please process the necessary permit as maybe required.

XC: George Herrera
Mir Amiri, DO#3
Amy Driscoll, DMG



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

November 21, 2000

Mark Goodwin, P.E.
Amy L. Driscoll, EIT
D. Mark Goodwin & Associates, P.A.
P.O. Box 90606
Albuquerque, NM 87199

RE: GRADING & DRAINAGE PLAN FOR UPTOWN SUITES (J-18 /D033)
ENGINEER'S STAMP DATED 11/16/00, SUBMITTED FOR BUILDING
PERMIT APPROVAL

Dear Mr. Goodwin,

Based upon the information provided in your November 17, 2000, submittal, the project referred to above is approved for Building Permit. Please attach copies of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to release of the Certificate of Occupancy, an Engineer's Certification, per the DPM checklist, will be required.

If you have any questions, please call me at 924-3988.

Sincerely,

Stuart Reeder, P.E.

Stuart Reeder, P.E.
Hydrology Division

xc: Whitney Reiersen
✓File



D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539
e-mail: dmgs@swcp.com

September 26, 2000

Ms. Raymunda Van Hoven
NMSHTD
Highway Planning Bureau, Room SB-1
PO Box 1149
Santa Fe, NM 87504-1149

Re: Uptown Suites

Dear Ms. Van Hoven

Enclosed is a Grading and Drainage Plan for Uptown Suites which was submitted to the City of Albuquerque for hydrology review. Currently on the site, there is a vacant movie theater and parking lot. This site now freely discharges to a concrete swale in the southwest corner of the property that leads to a swale along I-40. The proposed project is to construct a hotel and restaurant on the site. The discharge will be to the same swale, and the peak flow will be less because the proposed project will have more landscaping than is there now. Lauren Meinz of the City has requested acceptance from the NMSHTD for the discharge to the swale along I-40. Your assistance in this matter would be appreciated.

Please call if you have any questions or concerns.

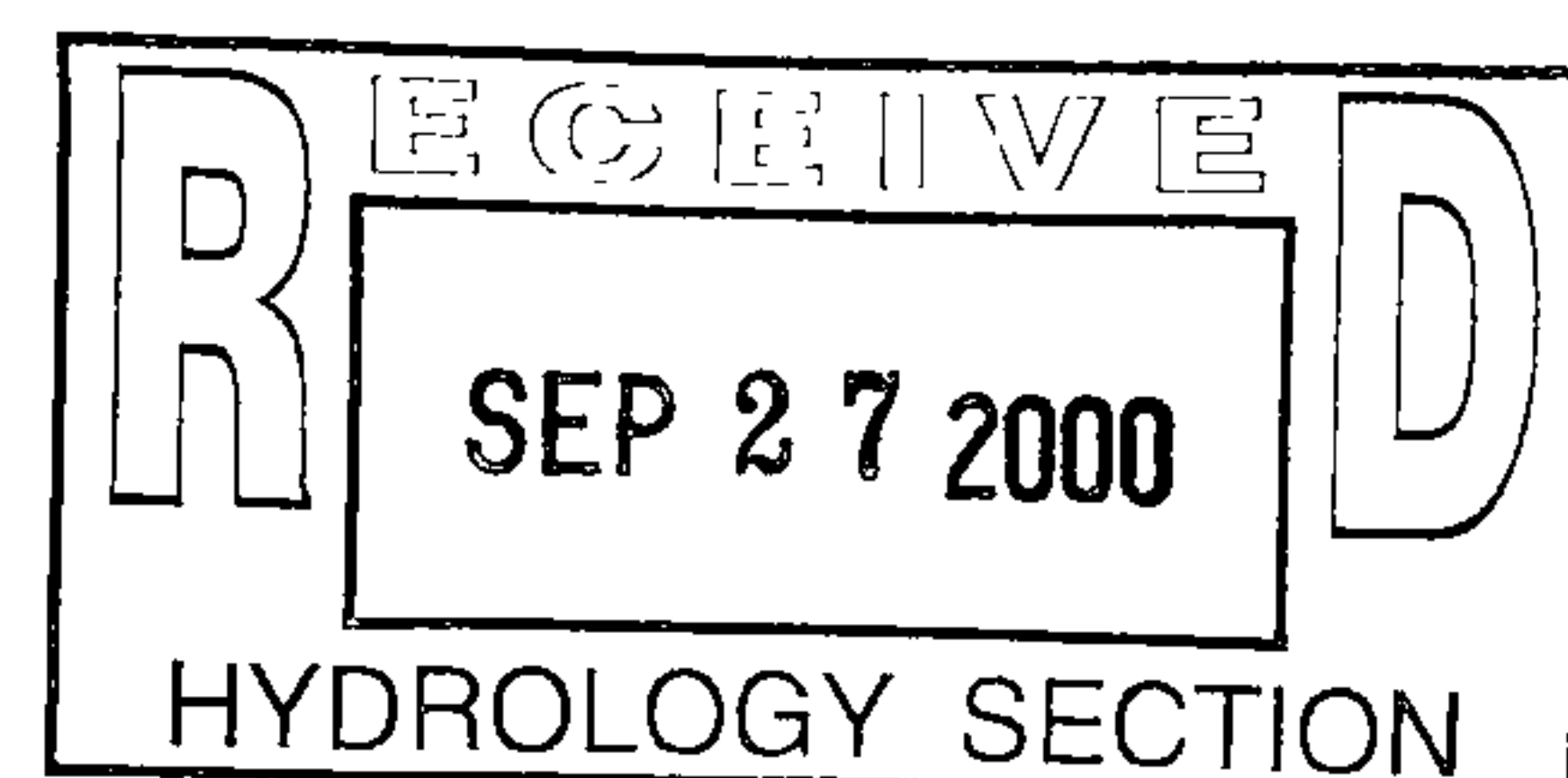
Sincerely,

MARK GOODWIN & ASSOCIATES, P.A.


Amy L. Driscoll, EI
Project Engineer

cc: Lauren Meinz, City of Albuquerque, Hydrology
Dave Decker, DCSW

f:\gibsonco\nmshtd





City of Albuquerque

September 26, 2000

D. Mark Goodwin, P.E.
D. Mark Goodwin & Assoc.
P.O. Box 90606
Albuquerque, NM 87199

RE: CONCEPTUAL GRADING & DRAINAGE PLAN FOR UPTOWN SUITES
(J18/D33) ENGINEER'S STAMP DATED SEPTEMBER 25, 2000,
SUBMITTED FOR SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
APPROVAL.

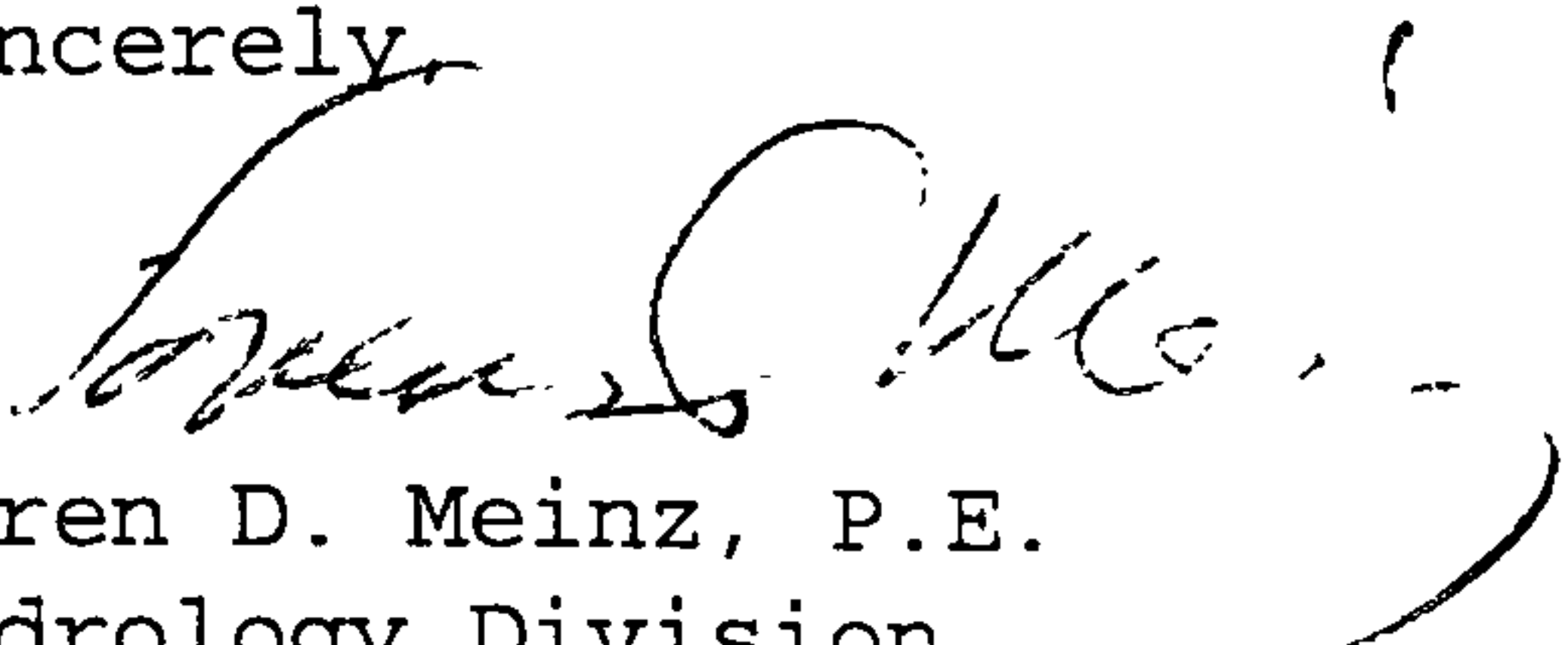
Dear Mr. Goodwin,

Based upon the information provided in your September 25, 2000
submittal, the project referred to above is approved for
Conceptual Grading and Drainage for Site Plan for Building Permit.

Prior to issuance of Building Permit, please submit a Final
Grading and Drainage Plan for approval that addresses the
following; any offsite drainage that impacts the site, letter of
approval from State Highway Dept. for discharge to highway
facilities/right-of-way, identify landscaping areas on the plan.

If you have any questions, please call me at 924-3980.

Sincerely,


Loren D. Mainz, P.E.
Hydrology Division

xc: Whitney Reiersen
File

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Uptown Suites ZONE ATLAS#: J-18
DRB#: _____ EPC# _____ WORKORDER#: _____
LEGAL DESCRIPTION: Westerly Portion of Tract 2, Park Square Addition
CITY ADDRESS: _____

ENGINEERING FIRM:	<u>Mark Goodwin & Associates, PA</u>	CONTACT:	<u>Amy Driscoll</u>
ADDRESS:	<u>P.O. Box 90606, Albuquerque, NM 87199</u>	PHONE:	<u>828-2200</u>
OWNER:	<u>H. Davidson & Associates</u>	CONTACT:	<u>Perry Mann</u>
ADDRESS:	<u>124 10th Street NW, Albuquerque, NM 87102</u>	PHONE:	<u>247-4455</u>
ARCHITECT:	<u>Design Collaborative SW</u>	CONTACT:	<u>Rick Garcia</u>
ADDRESS:	<u>320 Central SW, Albuquerque, NM 87102</u>	PHONE:	<u>843-9639</u>
SURVEYOR:	<u>Albuquerque Surveying Co.</u>	CONTACT:	<u>Viadmir Jirik</u>
ADDRESS:	<u>2119 Menaul Blvd, Albuquerque, NM 87107</u>	PHONE:	<u>884-2036</u>
CONTRACTOR:	_____	CONTACT:	_____
ADDRESS:	_____	PHONE:	_____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN
☒ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL
☐ ENGINEER'S CERTIFICATION
☐ OTHER
☐ EASEMENT VACATION

PRE-DESIGN MEETING:

☐ YES
☒ NO
☐ COPY PROVIDED

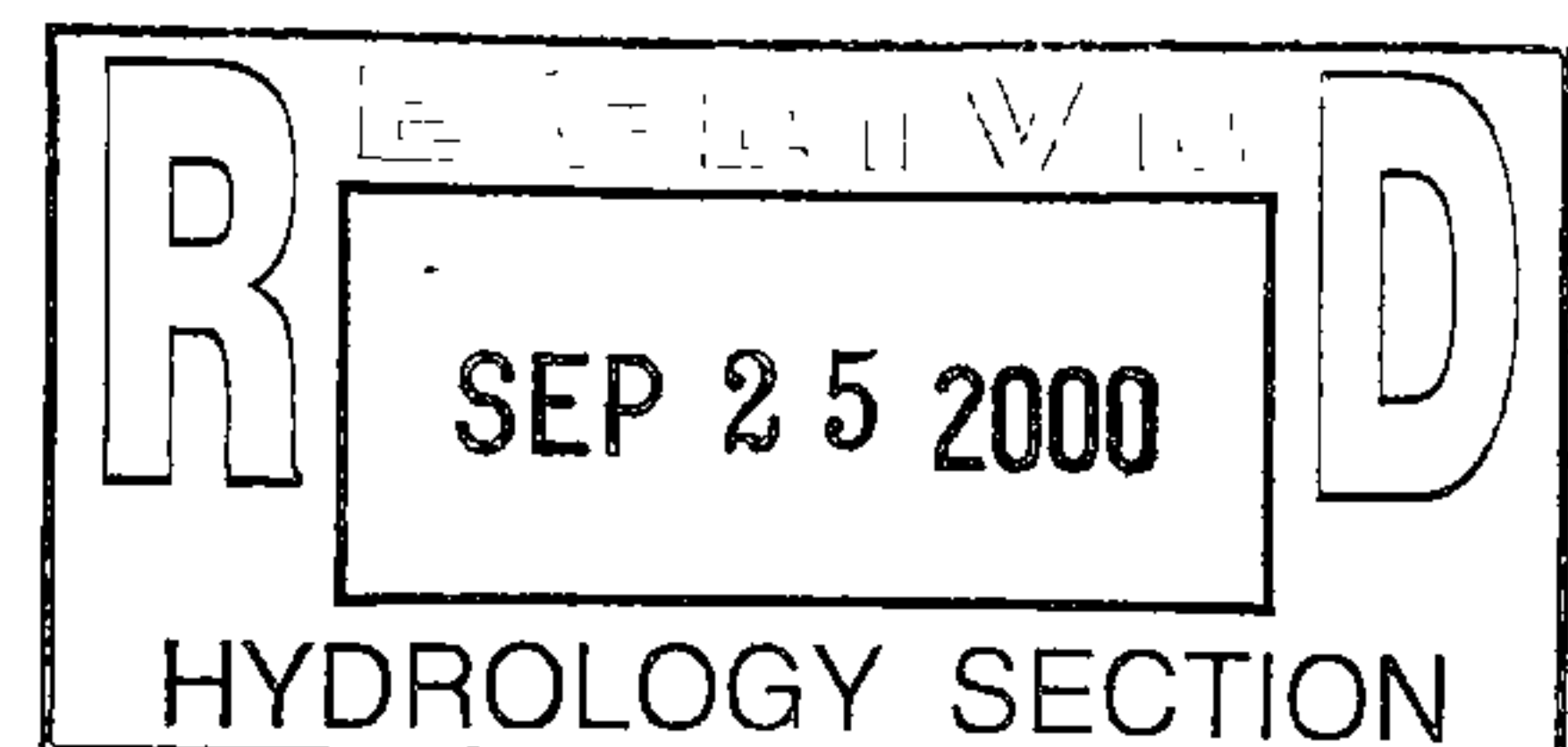
CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
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☒ S. DEV. PLAN FOR BLDG PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATION OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER
☐ RELEASE OF FINANCIAL GUARANTY
☐ TRAFFIC CIRCULATION LAYOUT

DATE SUBMITTED: 9/25/00

BY: _____

Amy Driscoll





D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539
e-mail: dmgs@swcp.com

PROJECT UPDOWN SUITES
SUBJECT _____
BY AMY DATE 9/22/00
CHECKED _____ DATE _____
SHEET 1 OF 2

CONCRETE RUNDOWN AT SW CORNER

$$Q = \frac{1.49 A R^{2/3} S^{1/2}}{n}$$

$$S = 0.01$$

$$n = 0.015$$

$$Q_{\text{needed}} = 23.56 \text{ CFS (FREE DISCHARGE FLOW FROM ENTIRE SITE)}$$

TRY 3' x .5'

$$A = 3 \times .5 = 1.5$$

$$R = \frac{A}{WP} = \frac{1.5}{.5 + 3 + .5} = 0.375$$

$$Q = \frac{1.49 (1.5) (0.375)^{2/3} \sqrt{.01}}{.015} = 7.75$$

TRY 8' x .5'

$$A = 8(.5) = 4$$

$$R = \frac{4}{.5 + 8 + .5} = 0.444$$

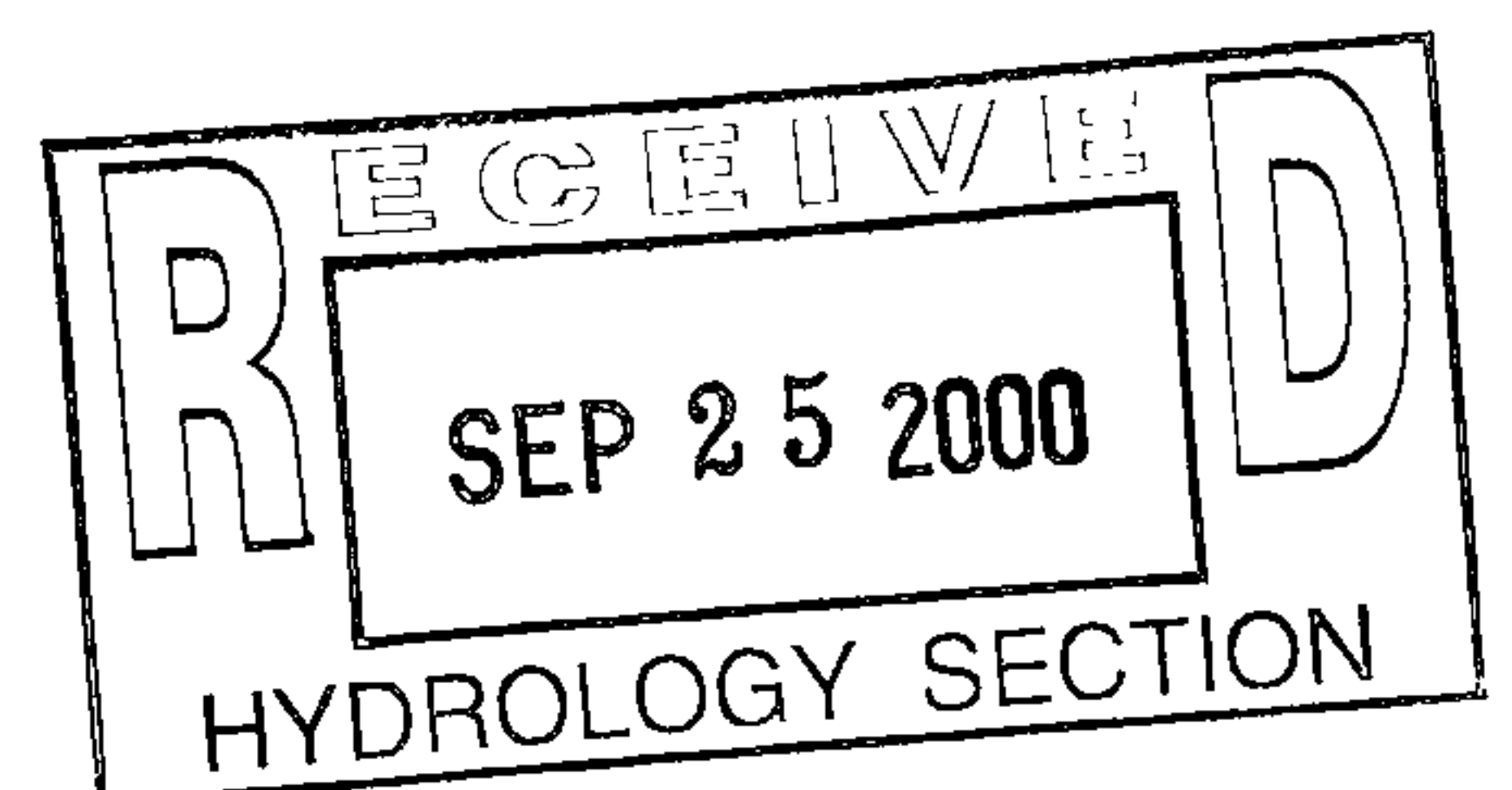
$$Q = \frac{1.49 (4) (.444)^{2/3} \sqrt{.01}}{.015} = 23.14$$

TRY 8.5' x .5'

$$A = 8.5(.5) = 4.25$$

$$R = \frac{4.25}{.5 + .5 + 8.5} = 0.447$$

$$Q = \frac{1.49 (4.25) (.447)^{2/3} \sqrt{.01}}{.015} = 24.69 > 23.56$$





D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539
e-mail: dmgs@swcp.com

PROJECT UPDOWN SUITES

SUBJECT _____

BY AMY DATE 9/22/00

CHECKED _____ DATE _____

SHEET 2 OF 2

CONCRETE RUNDOWN IN MIDDLE

$$\text{AREA CONTRIBUTING FLOW} = 180 \times 200 + \frac{1}{2}(130)(180) = 47,700 \text{ SF} = 1.10 \text{ AC}$$

FROM HYMN 4.587 CFS/AC

$$\frac{4.587 \text{ CFS}}{\text{AC}} \times 1.10 \text{ AC} = 5.02 \text{ CFS}$$

$$S = 0.0271$$

$$n = 0.015$$

$$Q_{\text{NEEDED}} = 5.02 \text{ CFS}$$

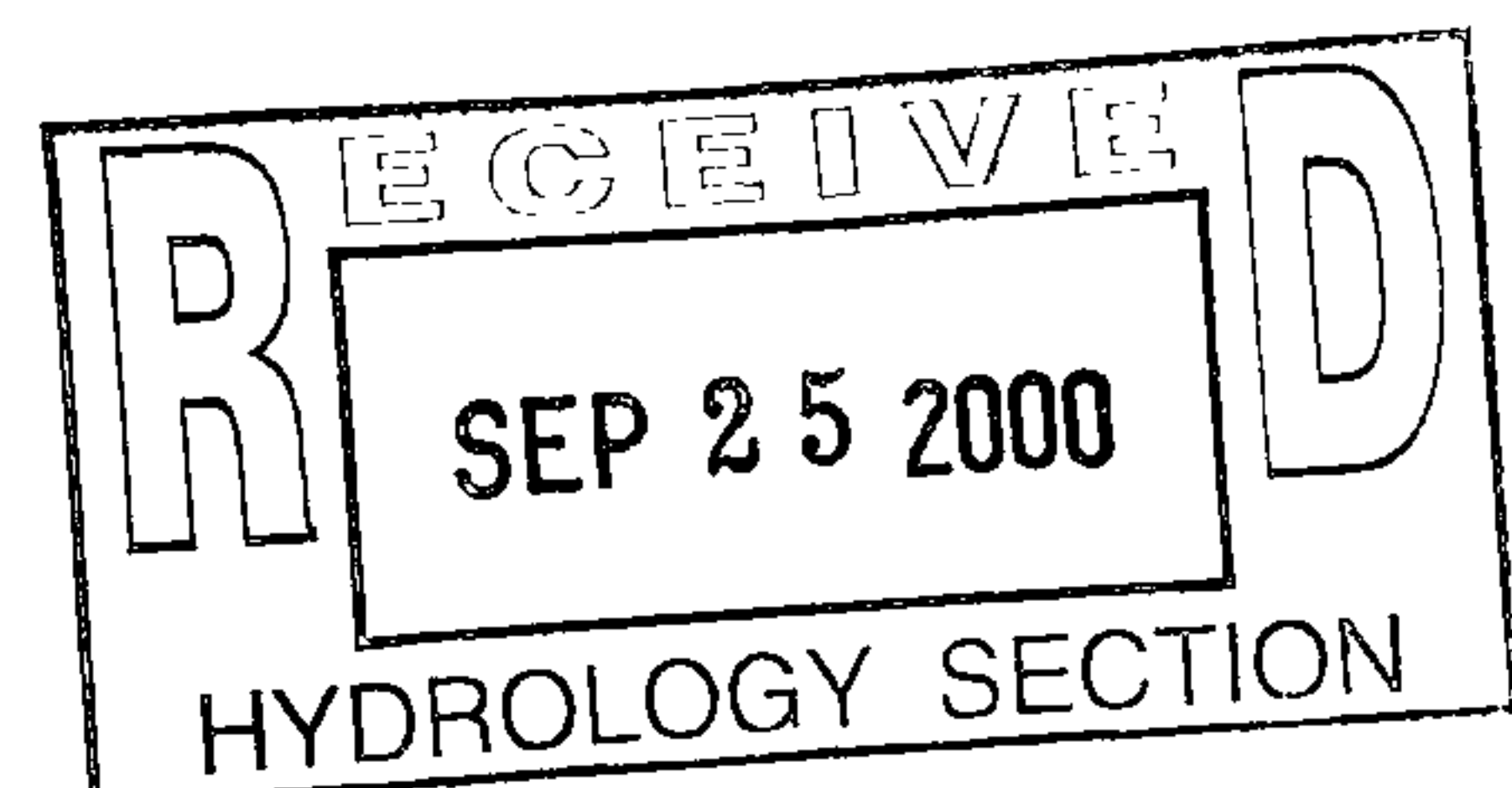
TRY

$$2' \times .5'$$

$$A = 2 \times .5 = 1$$

$$R = \frac{1}{.5 + 2 + .5} = .333$$

$$Q = \frac{1.49 (1) (.333)^{2/3} \sqrt{.0271}}{.015} = 7.86 \text{ CFS} > 5.02 \checkmark$$





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 25, 2000

Mark Goodwin, P.E.
Amy Driscoll, EIT
Mark Goodwin & Associates, P.A.
P.O. Box 90606
Albuquerque, NM 87199

RE: GRADING & DRAINAGE PLAN FOR UPTOWN SUITES (J-18 /D033)
ENGINEER'S STAMP DATED 9-25-00, SUBMITTED FOR BUILDING
PERMIT APPROVAL

Dear Mr. Goodwin,

Prior to final Building Permit approval, the following items must be addressed:

1. The submittal should be titled GRADING AND DRAINAGE REPORT; please delete the word CONCEPTUAL;
2. Per the September 26, 00, letter from Loren Mainz, please address offsite flows onto the site; and,
3. Please provide the letter from the State Highway Department approving your plan for discharge to their facility.

With these three items, we will be happy to approve your plan for Building Permit.

If you have any questions, please call me at 924-3988.

Sincerely,

Stuart Reeder, P.E.

Stuart Reeder, P.E.
Hydrology Division

xc: Whitney Reiersen
✓File



D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539
e-mail: dmg@swcp.com

LETTER OF TRANSMITTAL

J-18/D033

DATE	10/3/00	JOB NO.
ATTENTION		
RE:	UPDOWN SUITES	

TO LAUREN MENZ
CoA
Hydrology

WE ARE SENDING YOU ☒ Attached ☐ Under separate cover via _____ the following items:

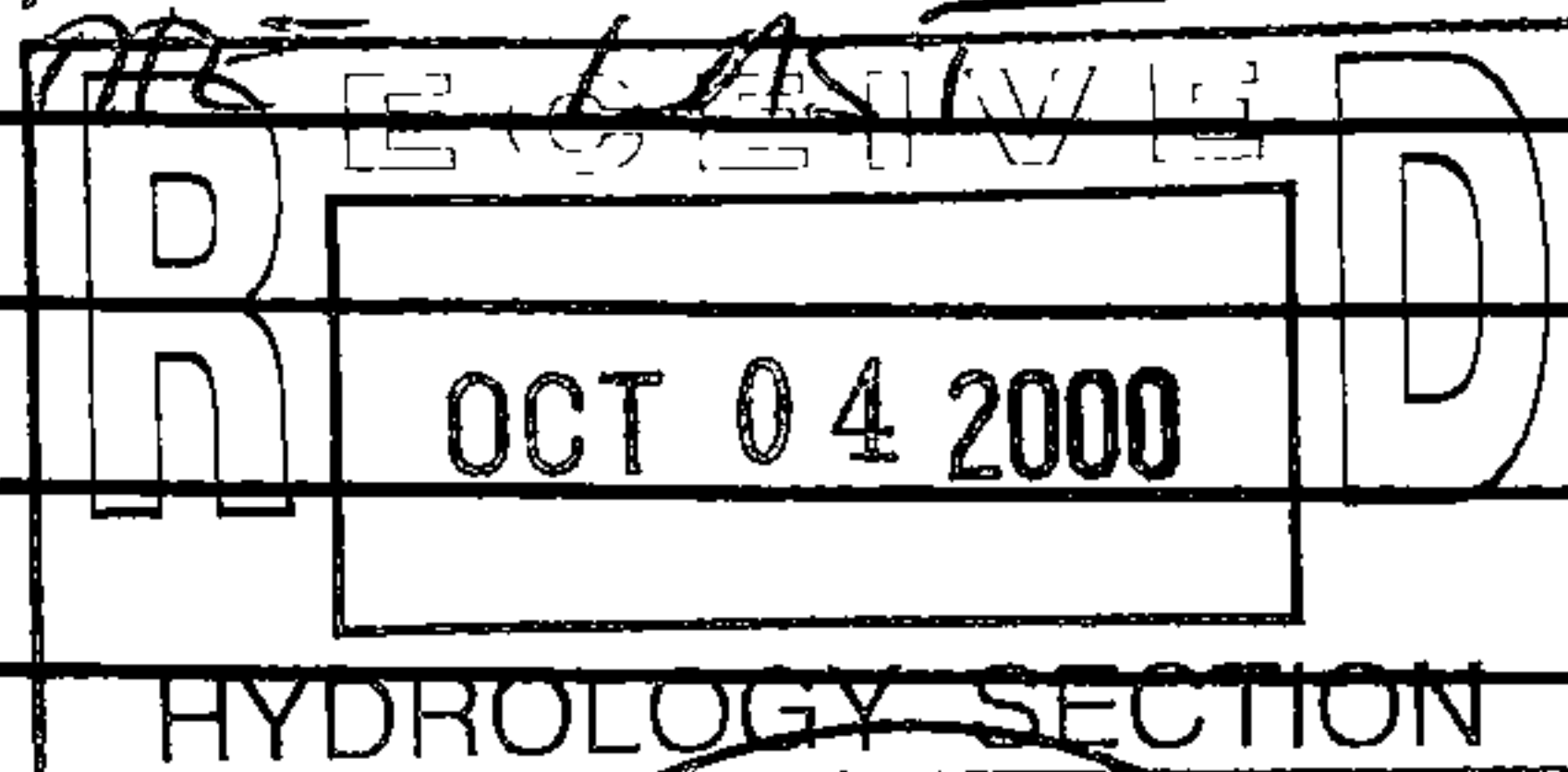
- | | | | | |
|---|---------------------------------------|--------------------------------|----------------------------------|---|
| <input type="checkbox"/> Shop drawings | <input type="checkbox"/> Prints | <input type="checkbox"/> Plans | <input type="checkbox"/> Samples | <input type="checkbox"/> Specifications |
| <input type="checkbox"/> Copy of letter | <input type="checkbox"/> Change order | <input type="checkbox"/> _____ | | |

COPIES	DATE	NO.	DESCRIPTION
2	9/25/00		G + D PLAN

THESE ARE TRANSMITTED as checked below:

- | | | |
|--|---|---|
| <input checked="" type="checkbox"/> For approval | <input type="checkbox"/> Approved as submitted | <input type="checkbox"/> Resubmit _____ copies for approval |
| <input type="checkbox"/> For your use | <input type="checkbox"/> Approved as noted | <input type="checkbox"/> Submit _____ copies for distribution |
| <input type="checkbox"/> As requested | <input type="checkbox"/> Returned for corrections | <input type="checkbox"/> Return _____ corrected prints |
| <input type="checkbox"/> For review and comment | <input type="checkbox"/> _____ | |
| <input type="checkbox"/> FOR BIDS DUE _____ 19 _____ <input type="checkbox"/> PRINTS RETURNED AFTER LOAN TO US | | |

REMARKS THIS IS NOW BEING SUBMITTED FOR FINAL
APPROVAL. NOTHING HAS CHANGED SINCE THE LAST
SUBMITAL EXCEPT FOR THE REQUESTED TYPE OF
APPROVAL. I HAVE SUBMITTED THE PLAN TO RAYMOND
VAN HORN OF THE NMSHD. ALL OF YOUR OTHER
COMMENTS & WERE ADDRESSED WITH THE LAST
SUBMITAL.



COPY TO _____

SIGNED:

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Uptown Suites ZONE ATLAS#: J-18 D033
DRB#: _____ EPC# _____ WORKORDER#: _____
LEGAL DESCRIPTION: Westerly Portion of Tract 2, Park Square Addition
CITY ADDRESS: _____

ENGINEERING FIRM:	<u>Mark Goodwin & Associates, PA</u>	CONTACT:	<u>Amy Driscoll</u>
ADDRESS:	<u>P.O. Box 90606, Albuquerque, NM 87199</u>	PHONE:	<u>828-2200</u>
OWNER:	<u>H. Davidson & Associates</u>	CONTACT:	<u>Perry Mann</u>
ADDRESS:	<u>124 10th Street NW, Albuquerque, NM 87102</u>	PHONE:	<u>247-4455</u>
ARCHITECT:	<u>Design Collaborative SW</u>	CONTACT:	<u>Rick Garcia</u>
ADDRESS:	<u>320 Central SW, Albuquerque, NM 87102</u>	PHONE:	<u>843-9639</u>
SURVEYOR:	<u>Albuquerque Surveying Co.</u>	CONTACT:	<u>Viadmir Jirik</u>
ADDRESS:	<u>2119 Menaul Blvd, Albuquerque, NM 87107</u>	PHONE:	<u>884-2036</u>
CONTRACTOR:	_____	CONTACT:	_____
ADDRESS:	_____	PHONE:	_____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL
☐ ENGINEER'S CERTIFICATION
☐ OTHER
☐ EASEMENT VACATION

PRE-DESIGN MEETING:

☒ YES
☐ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. PLAN FOR BLDG PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATION OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER
☐ RELEASE OF FINANCIAL GUARANTY
☐ TRAFFIC CIRCULATION LAYOUT

DATE SUBMITTED: 10/4/00

BY: Amy Driscoll

Amy Driscoll