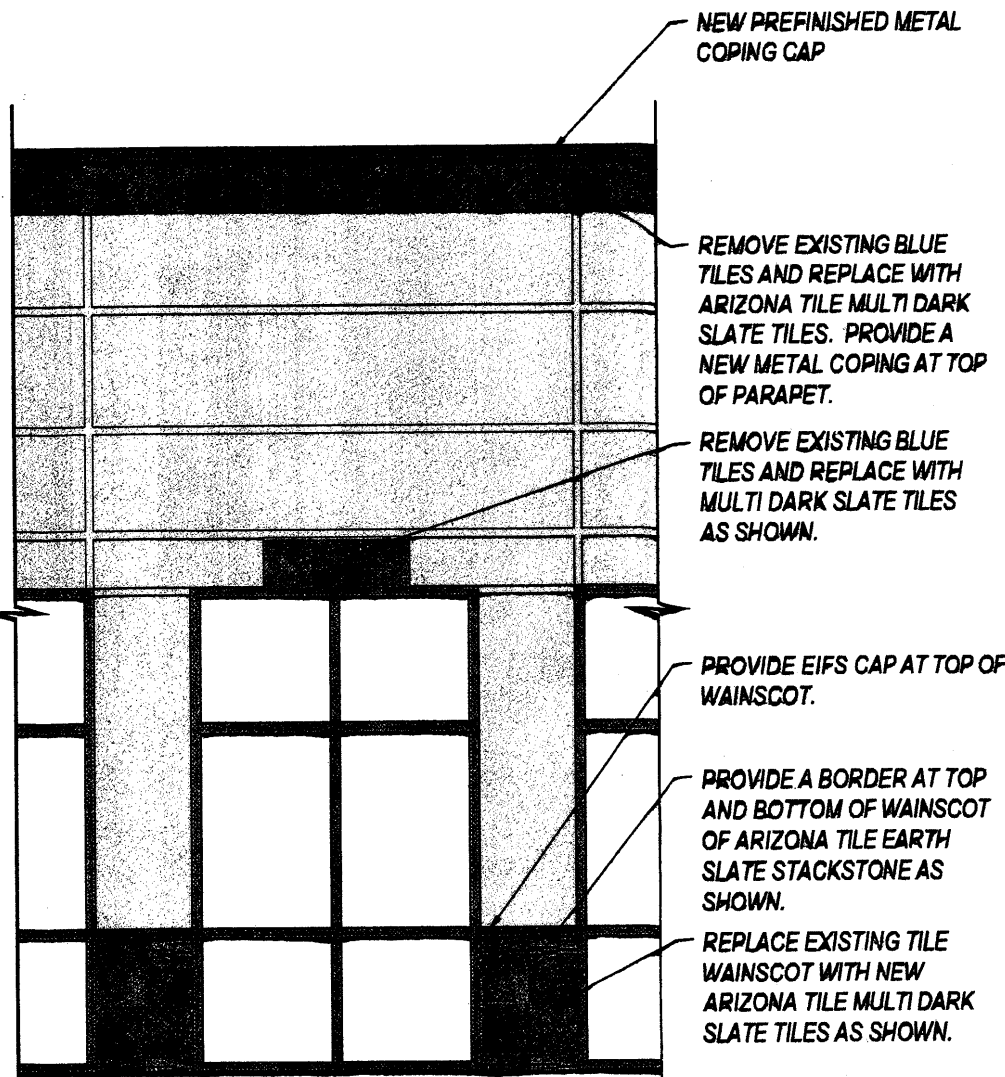
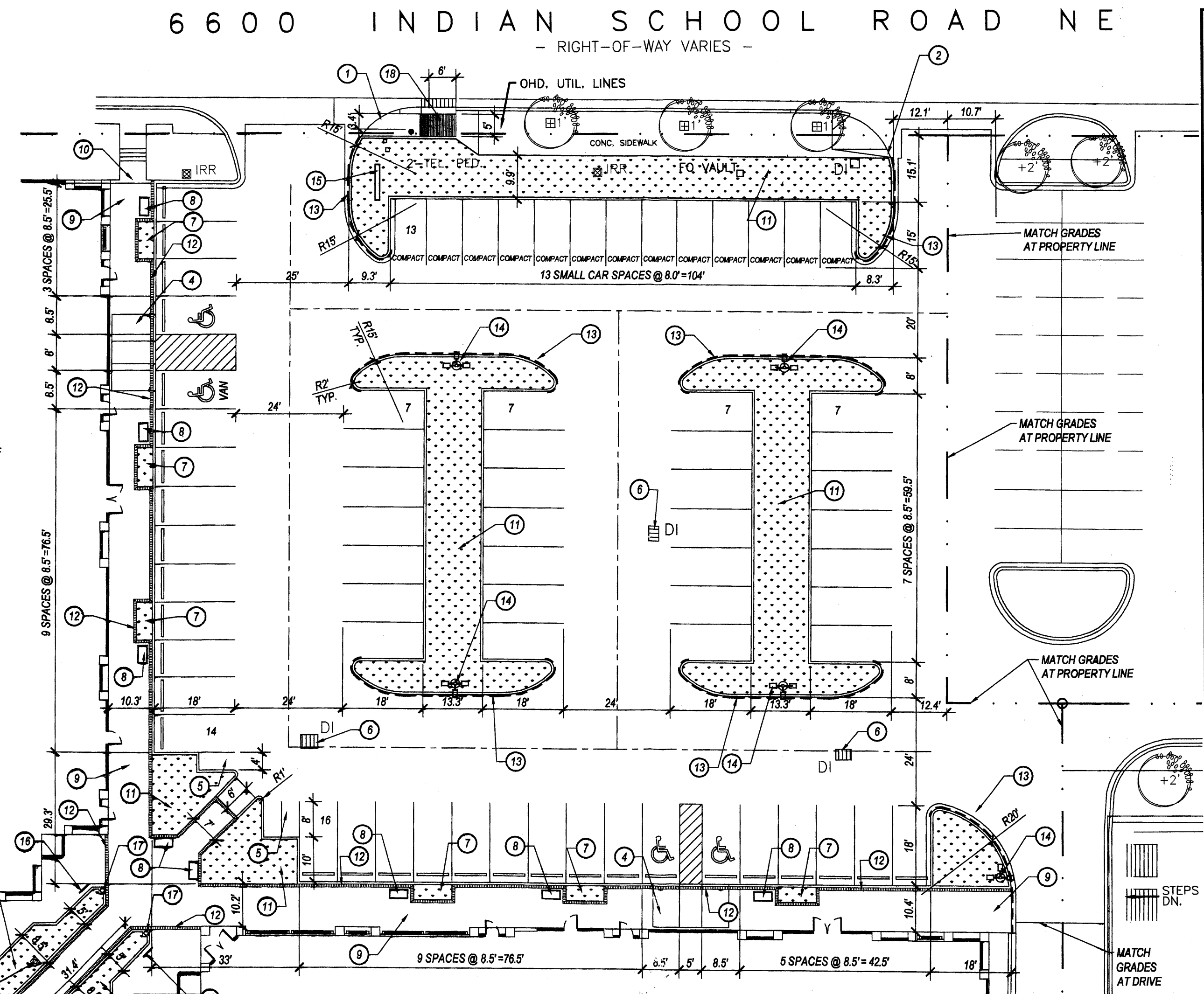


ADMINISTRATIVE AMENDMENT
FILE # 12-1056 PROJECT # 1009287
new parking lot layout;
upgrade landscaping
Mann 8/01/12
APPROVED BY DATE



PARK SQUARE FACADE - TYPICAL
 SCALE: 1/4"=1'-0"



○ SITE PLAN KEYED NOTES:

1. RECONSTRUCT EAST SIDE OF EXISTING ENTRY PER COA DETAIL 2428 AND DIMENSIONS SHOWN. REPAIR GUTTER COMPLETELY TO WEST SIDE OF EXISTING DROP INLET. DROP INLET SHALL REMAIN AS IS.
2. NEW CURB SHALL TERMINATE AT EXISTING SIDEWALK RAMP. ADJUST TRANSITION TO RAMP AS NECESSARY.
3. INDICATES AREA OF WORK, APPROXIMATELY 35,500 SQ. FT.
4. ADA LANDING AND RAMPS ON EACH SIDE OF LANDING. RAMPS SHALL EXTEND TO WITHIN 6" OF THE FACE OF THE BUILDING AS SHOWN. RAMP SLOPE NOT TO EXCEED 1:12.
5. (3) MOTORCYCLE PARKING SPACES 4'X8' AS SHOWN. PROVIDE SIGNS TO INDICATE "MOTORCYCLE PARKING ONLY".
6. EXISTING DROP INLETS TO REMAIN.
7. NEW LANDSCAPING PLANTER IN NEW SIDEWALK. TYPICAL SIZE IS 8.5'X3.5'.
8. FREE STANDING BENCHES.
9. NEW SIDEWALK ALONG EXISTING BUILDINGS SHALL MATCH FINISH FLOOR ELEVATION AND SHALL SLOPE AWAY FROM THE BUILDING.
10. ADJUST TOP OF STAIR LANDING AS REQUIRED TO TIE INTO NEW SIDEWALK ALONG BUILDING.
11. NEW LANDSCAPING AREAS. SEE LANDSCAPING PLAN FOR MORE INFORMATION.
12. 8" WIDE DECORATIVE BRICK BORDER, SUMMIT SPLIT PAVEMENT "FLINT" APPROXIMATELY 600 L.F. OR COLORED STAMPED CONCRETE.
13. PROVIDE RED PAINT ON CURBS WITH WHITE PAINTED "NO PARKING - FIRE LANE" AT LOCATIONS SHOWN.
14. (3) MCGRAW-EDISON VENTUS LED (OR EQUAL) LIGHT POLES (MAXIMUM POLE HEIGHT OF 30'). LIGHTS SHALL MEET LIGHTING POWER DENSITIES AS OUTLINED IN THE INTERNATIONAL ENERGY CONSERVATION CODE. FINAL LAYOUT SHALL BE VERIFIED BY PROVIDING ARCHITECT WITH LIGHTING CALCULATIONS (LIGHTING CONTOUR MAP OR SIMILAR FOOTCANDLE CALCULATIONS).
15. NEW MONUMENT SIGN SHALL BE NO LARGER THAN THE EXISTING SIGN DIMENSIONS.
16. (2) 3 SPACE BICYCLE RACKS, 6 SPACES TOTAL.
17. NEW PEDESTRIAN SCALE LIGHTING, 18" MAX POLE HEIGHT, TYPICAL OF (8).
18. NEW ADA RAMP WITH 24" WIDE DETECTABLE WARNING STRIP. REPAIR SIDE WALK TO NEXT EXPANSION JOINT AS SHOWN.

GENERAL NOTES:

- A. DEMOLITION: REMOVE ALL ASPHALT, LANDSCAPING, CONCRETE CURB AND SIDEWALK AND EXISTING BLUE AND PINK FACADE TILES IN AREA OF WORK AS SHOWN ON THE EXISTING SITE PLAN AND KEYED NOTE #3. REROUTE EXISTING IRRIGATION LINES AND POWER FOR POLE LIGHTS AS NECESSARY FOR NEW LAYOUT.
- B. PROVIDE ALL LANDSCAPING, IRRIGATION, SLEEVES, PREPARATION WORK, GROUND COVER, FABRIC, ETC. FOR A COMPLETE SYSTEM. ALL PLANTING MATERIALS SHALL BE COVERED UNDER A MINIMUM 1 YEAR WARRANTY. IRRIGATION SLEEVES SHALL BE CONTINUOUS FROM PLANTER TO PLANTER.
- C. NEW PAVING SHALL BE 2" ASPHALT OVER 4" A.B.C. OVER 12" MINIMUM SUB-GRADE PREPARATION. NEW CURBING SHALL BE 12" TALL BY 8" WIDE STANDUP CURB WITH 3" CONTINUOUS BARS TOP AND BOTTOM OR MEDIAN CURBING AS PER THE C.O.A. DPM, CONTRACTOR OPTION.
- D. ALL PARKING LOT STRIPING TO BE HIGH BUILD WHITE MARKING PAINT.
- E. ALL LANDSCAPE AREAS SHALL BE DEPRESSED FOR WATER HARVESTING.
- F. EXISTING BUILDING MOUNTED CANOPIES WILL BE REFINISHED.

PROJECT INFORMATION:

SCOPE OF WORK: WORK TO INCLUDE THE REMOVAL OF THE CONCRETE PAVING, AND LANDSCAPING IN THE AREA OF WORK AS SHOWN. PROVIDE NEW CONCRETE, PAVING, LANDSCAPING AND LIGHT POLES AS SHOWN. THERE WILL BE NO CHANGE IN BUILDING AREA.

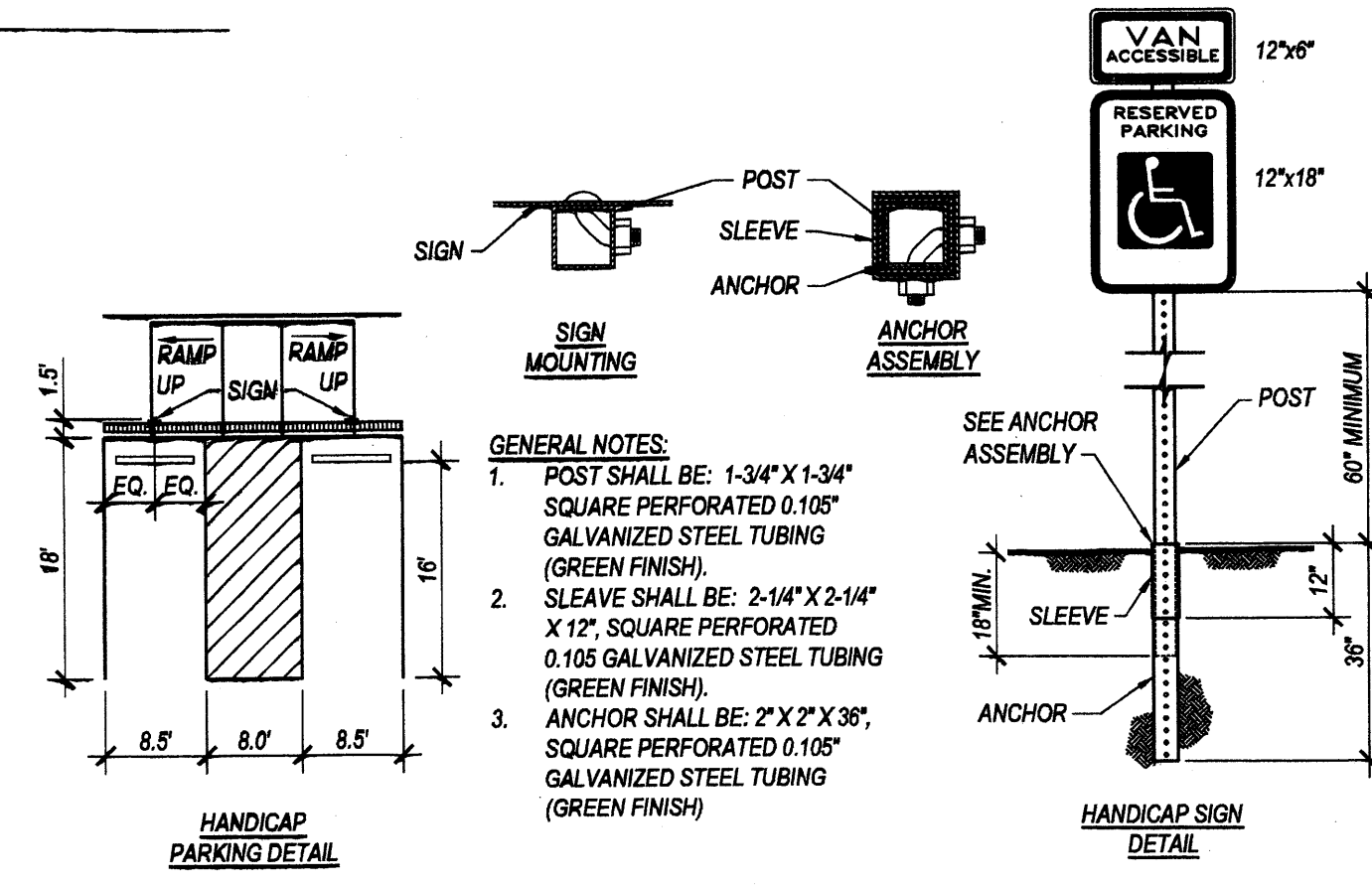
LEGAL DESCRIPTION: LOT 1-A-1, PARK SQUARE ADDITION (91,400 S.F.)
 ZONING: SU-3, M/L-UP
 UPC: 101-805-848-051-011-821
 SECTOR PLAN: UPTOWN SECTOR DEVELOPMENT PLAN (USDP 1/15/2008)

PARKING: REQUIRED FOR LOT 1-A-1: 37,800 S.F. TOTAL @ 2:1000 S.F. = 76 SPACES
 PARKING PROVIDED: 51 (SURFACE), 56 (PARKING STRUCTURE) = 107 SPACES

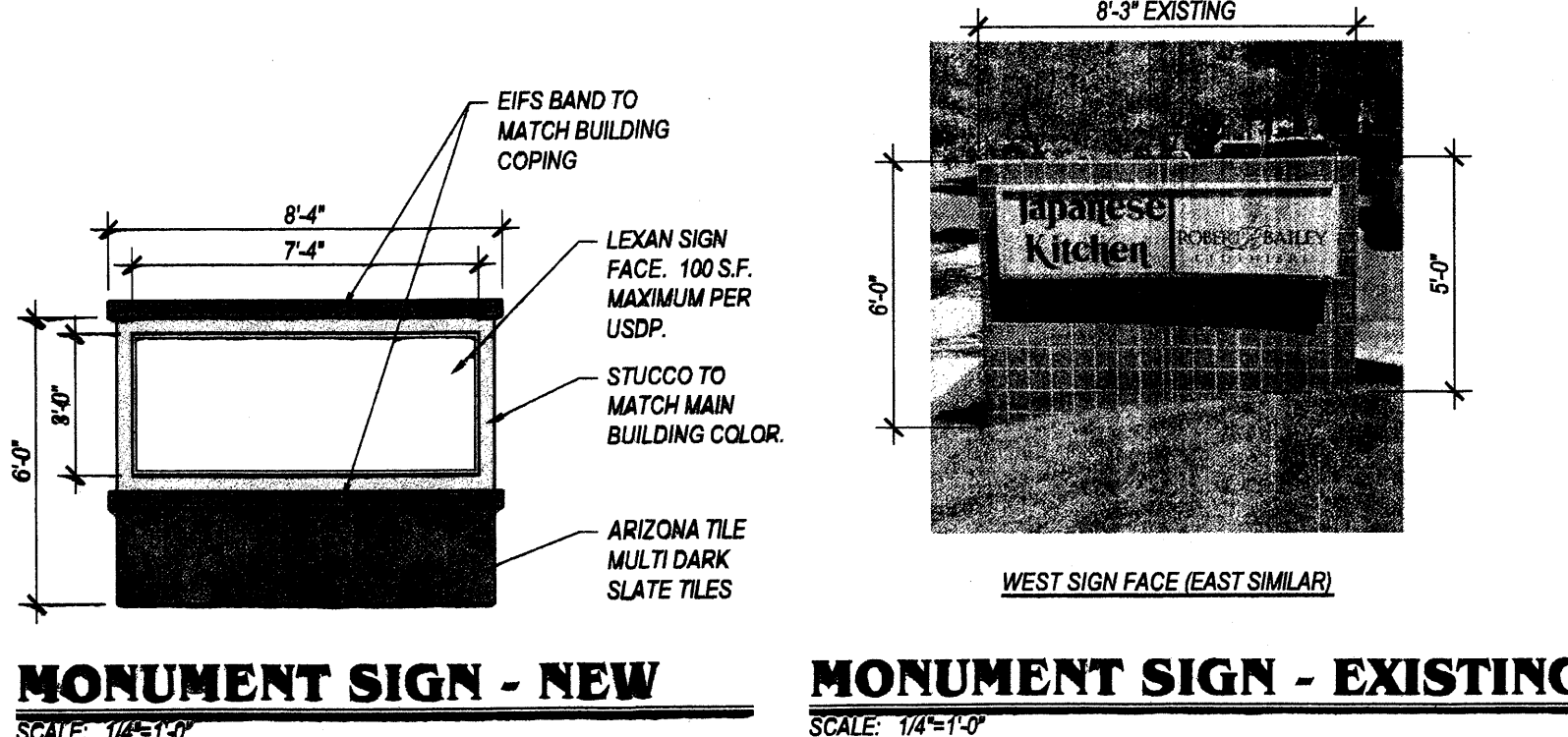
(SEE SITE DEVELOPMENT PLAN FOR PARKING DELINEATION. NOTE THAT THE SDP INCORRECTLY INDICATES 73 SPACES ON LOT 1-A-1. THERE ARE ACTUALLY ONLY 71 SPACES EXISTING AS PER THE 1/27/11 SURVEY BY WATKINS SURVEYING. THIS SURVEY IS THE BASIS OF THE EXISTING SITE PLAN SHOWN ON THIS SHEET.)

SURFACE PARKING: EXISTING 71 SPACES (51 FOR LOT 1-A-1 & 20 FOR LOT 1-D-1A)
 SURFACE PARKING PROPOSED: 71 SPACES INCLUDING 4 ACCESSIBLE SPACES.
 ACCESSIBLE SPACES: REQUIRED = 4:51-100, PROVIDED = 4 (INCLUDING 1 VAN SPACE)

MOTORCYCLES: 3:51-100 REQUIRED PARKING SPACES = 3 REQUIRED/PROVIDED

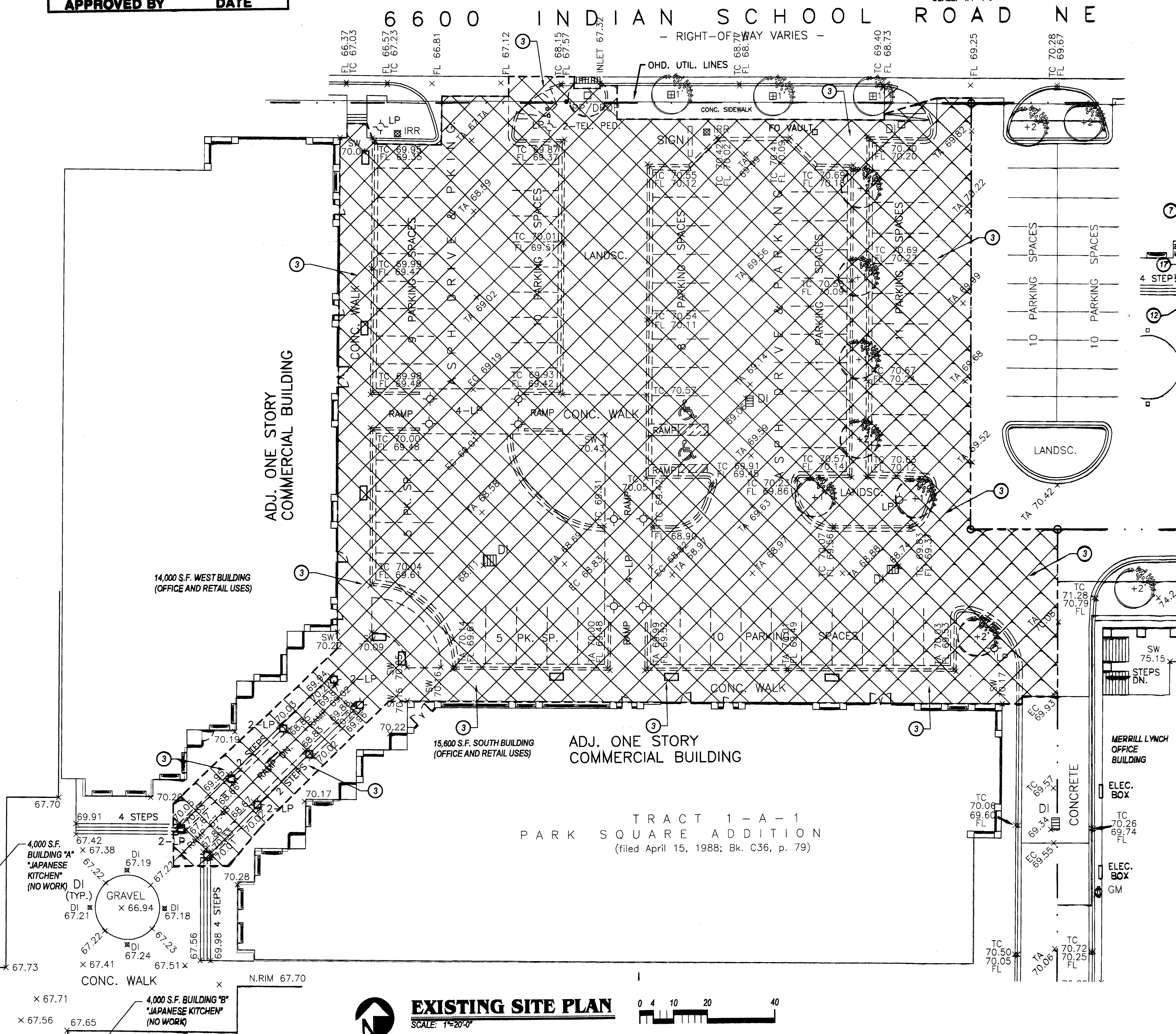


H.C. PARKING SIGN DETAIL
 SCALE: NOT TO SCALE



MONUMENT SIGN - NEW
 SCALE: 1/4"=1'-0"

MONUMENT SIGN - EXISTING
 SCALE: 1/4"=1'-0"



EXISTING SITE PLAN
 SCALE: 1/4"=1'-0"

PARK SQUARE SITE
 ADMINISTRATIVE AMENDMENT
 6600 INDIAN SCHOOL RD. NE
 ALBUQUERQUE, NM



THIS DOCUMENT IS THE PROPERTY OF DESIGN 2 FUNCTION, LLC AND SHALL NOT BE USED OR COPIED WITHOUT EXPRESS WRITTEN CONSENT.
 DUE TO VARIATIONS IN PRINTING AND COPYING TECHNIQUES, THERE MAY BE SLIGHT VARIATIONS IN THE SCALE OF THE DRAWINGS. ONLY PRINTED DIMENSIONS SHALL BE USED. CONTRACTOR TO VERIFY ALL SIZES, DIMENSIONS AND OTHER RELATED INFORMATION PRIOR TO BIDDING OR CONSTRUCTION.
 ERRORS MAY OCCUR IN THE TRANSMISSION OF ELECTRONIC FILES. DESIGN 2 FUNCTION, LLC IS NOT RESPONSIBLE FOR ANY CLAIM, DAMAGES OR EXPENSES ARISING OUT OF THE UNAUTHORIZED USE OF THE INFORMATION CONTAINED IN ELECTRONIC FILES.

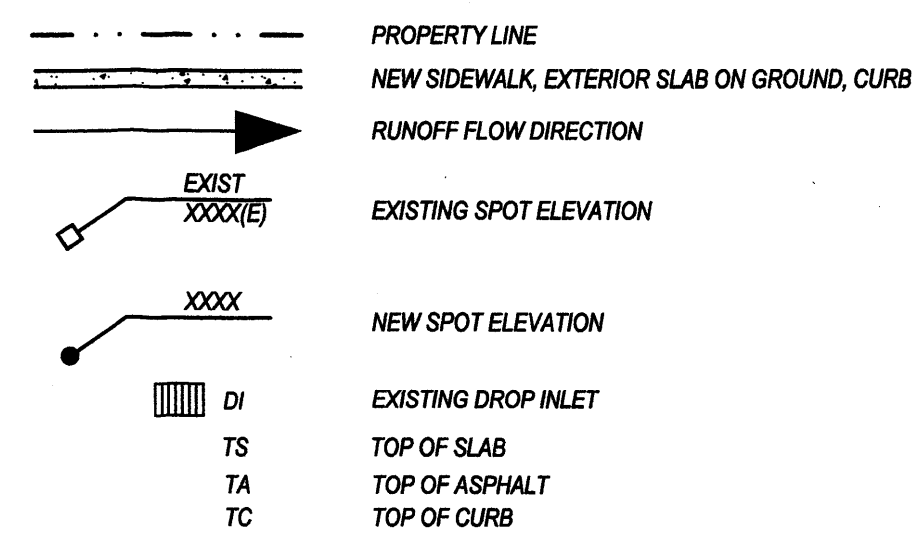
DRAWING ISSUE DATES:
 5/24/12
 5/22/12
 7/25/12

PROJECT MANAGER:
 NICK PARK

DRAWN BY:
 NAF

SHEET TITLE:
 EXISTING AND NEW SITE PLANS

C1.0
 SHEET: 1 OF 3



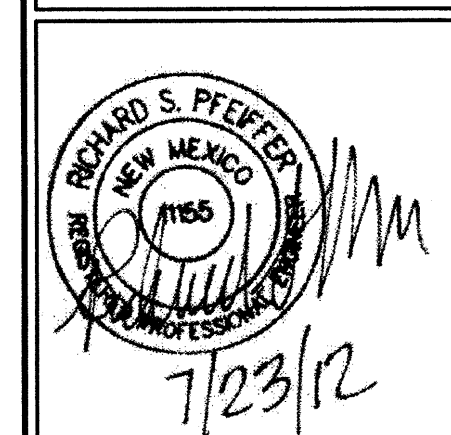
TRACT ONE-A-ONE (1-A-1), OF PARK SQUARE ADDITION, AN ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE REPLAT OF TRACTS 1-A-1, 1-B-1, 1-C-1, 1-D-1A, 1-E-1A, 1-F, 1-G AND 1-H-1 OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON APRIL 15, 1988, IN BOOK C36, PAGE 79, DOCUMENT NO. 8832685.

IT IS HEREBY CERTIFIED THAT PORTIONS OF THIS PROPERTY ARE LOCATED WITHIN ZONE A0, SUBJECT TO 100 YEAR FLOOD HAZARDS IN ACCORDANCE WITH CURRENT HUD FEDERAL ADMINISTRATION FLOOD HAZARD BOUNDARY MAPS DATED SEPTEMBER 26, 2008. ZONES ARE LIMITED TO THE RIGHT-OF-WAY OF INDIAN SCHOOL ROAD, NE. REFERENCE: PANEL 3500002 0352 G.

BASIS OF ELEVATIONS: ACS STATION 15-J18
1-3/4" METALLIC DISK EPOXIED TO THE TOP OF CONCRETE CURB AT THE NNW RETURN
OF THE INTERSECTION OF LOUISIANA BOULEVARD AND MARRIOTT DRIVE, NE.
STATION IS IN THE PROXIMITY OF THE SOUTHEAST CORNER OF THE SURVEYED PARCEL.
ELEV. 5280.184 (NAVD 1988)

THIS PROJECT IS A RECONSTRUCTION OF THE PARKING LOT AT PARK SQUARE. THE SITE IS CURRENTLY FLAT WITH RUN OFF TO INDIAN SCHOOL RD. AND (3) DROP INLETS ON SITE. THE REVISED LAYOUT OF PARKING AND LANDSCAPING REDUCES IMPERVIOUS SURFACES AND THEREFORE REDUCES RUNOFF AS COMPARED TO EXISTING.

ALL LANDSCAPE AREAS SHALL BE DEPRESSED FOR WATER HARVESTING.

[illegible]

**PARK SQUARE SITE
ADMINISTRATIVE AMENDMENT
6600 INDIAN SCHOOL RD., N.E.
ALBUQUERQUE, NM**

* THIS DOCUMENT IS THE PROPERTY OF DESIGN 2
FUNCTION, LLC AND SHALL NOT BE USED OR COPIED
WITHOUT EXPRESS WRITTEN CONSENT.

- * DUE TO VARIATIONS IN PRINTING AND COPYING TECHNIQUES, THERE MAY BE SLIGHT VARIATIONS IN THE SCALE OF THE DRAWINGS. ONLY PRINTED DIMENSIONS SHALL BE USED. CONTRACTOR TO VERIFY ALL LAYOUTS, DIMENSIONS AND OTHER RELATED INFORMATION PRIOR TO BIDDING OR CONSTRUCTION.
- * ERRORS MAY OCCUR IN THE TRANSMISSION OF ELECTRONIC FILES. DESIGN 2 FUNCTION, LLC IS NOT RESPONSIBLE FOR ANY CLAIMS, DAMAGES OR EXPENSES ARISING OUT OF THE UNAUTHORIZED USE OF THE INFORMATION CONTAINED IN ELECTRONIC FILES.

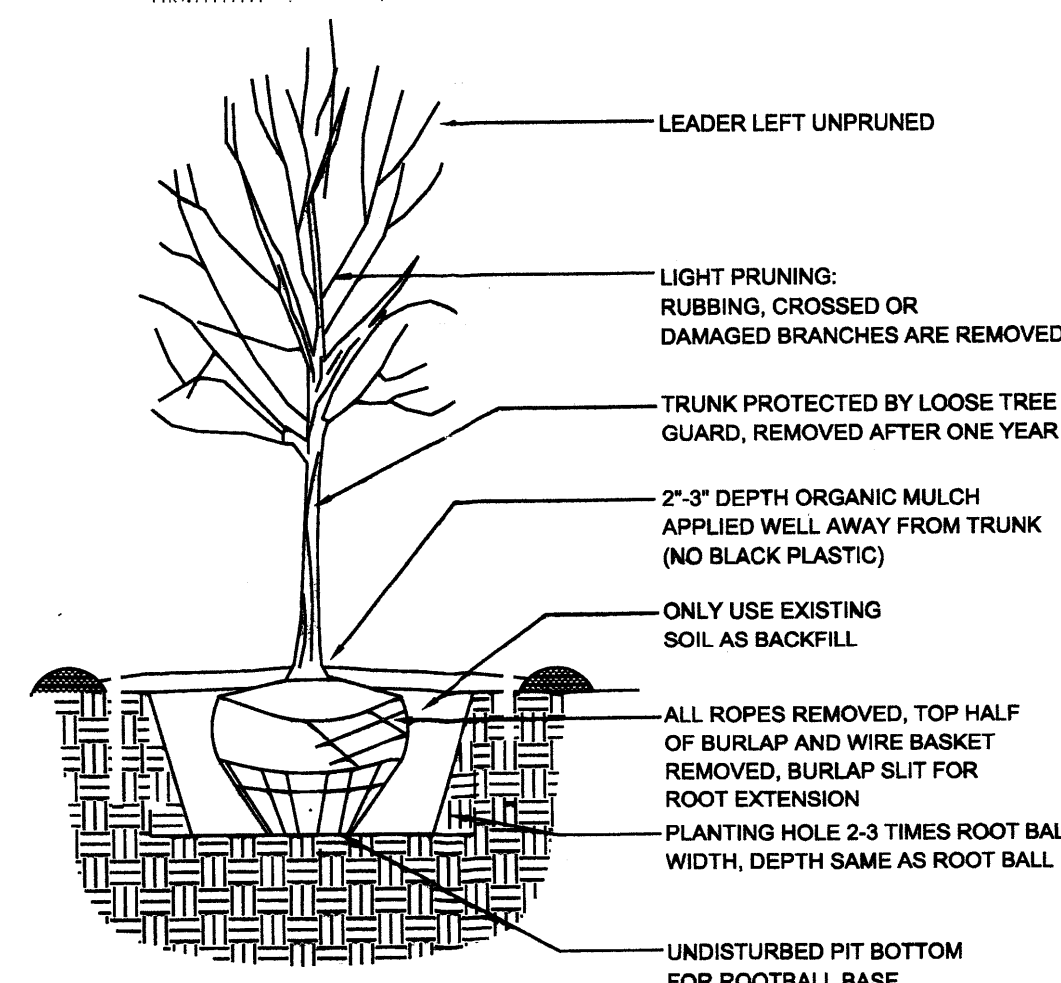
DRAWING ISSUE DATES:
5/24/2012
6/22/2012

PROJECT MANAGER:
NICK PIRKL

DRAWN BY:
TP

SHEET TITLE:
**GRADING and
DRAINAGE PLAN**

C1.1
SHEET: 2 OF 3



LS-01