

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

March 11, 2021

Jeremy Shell, P.E.
Respec
5971 Jefferson St. NE
Albuquerque, NM 8710

**RE: Legacy RGT Parking Lot
6400 Indian School Road NE
Grading and Drainage Plan
Engineer's Stamp Date: 02/18/21
Hydrology File: J18D001G**

Dear Mr. Shell:

PO Box 1293

Based upon the information provided in your submittal received 02/24/2021, the Grading & Drainage Plan is approved for Grading Permit, Paving Permit, and SO-19 Permit. Once the grading and paving of the project is complete, an engineering certification will be required.

Albuquerque

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

NM 87103

www.cabq.gov

Also, please provide the Drainage Covenant for the proposed stormwater quality pond per Article 6-15(C) of the DPM as soon as possible. There is a recording fee (\$25, payable to Bernalillo County). Please contact Charlotte LaBadie (clabadie@cabq.gov, 924-3996). Due to COVID-19, please follow the instructions:

Either email a pdf copy of the executed drainage covenant and the exhibit to clabadie@cabq.gov or either mail or drop off the originals. Please mail the \$25.00 recording fee check made payable to Bernalillo County to:

Planning Dept./DRC
Attn: Charlotte LaBadie
600 2nd St. NW, Ste. 400
ABQ, NM, 87102

If you drop off the originals, there is a drop box outside the building labeled DRC. Once approved and recorded, Charlotte will email you a copy.

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Legacy RGT Parking Lot **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: Tract A-2 Beverly-Wood Addition

City Address: 6400 Indian School Road NE, Albuquerque NM 87110

Applicant: Legacy Development **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: RESPEC **Contact:** Jeremy Shell

Address: 5971 Jefferson Street NE, Suite 101, Albuquerque NM 87109

Phone#: 505.918.1053 **Fax#:** _____ **E-mail:** jeremy.shell@respec.com

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT _____ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☒ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

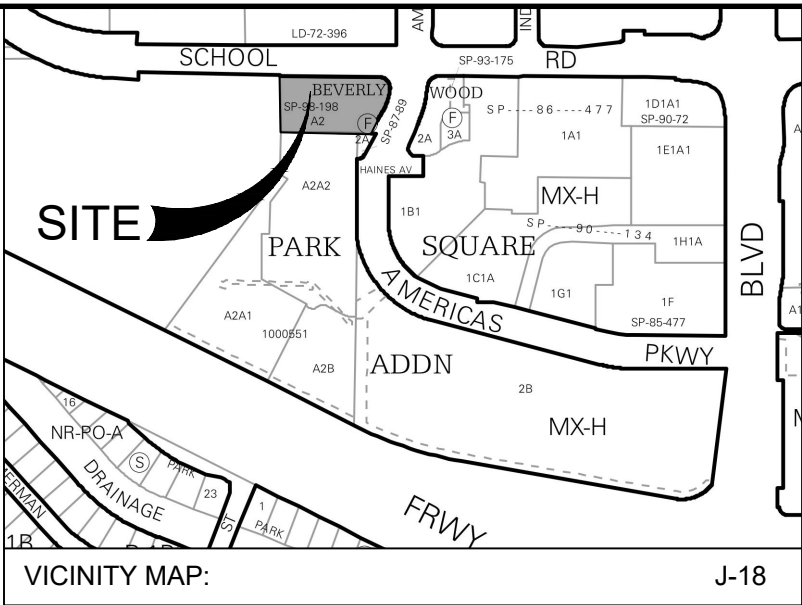
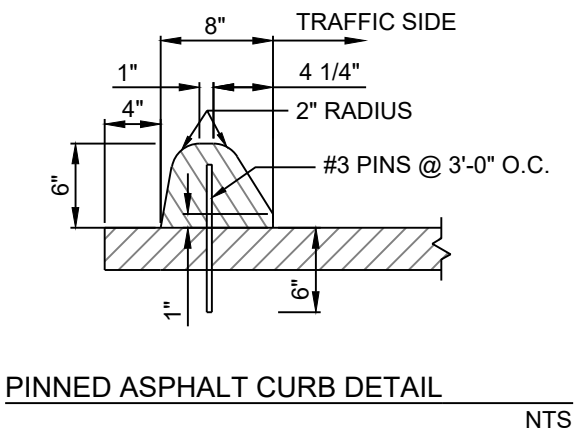
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ GRADING PERMIT APPROVAL
- ☒ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 2/24/21 **By:** Jeremy Shell

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

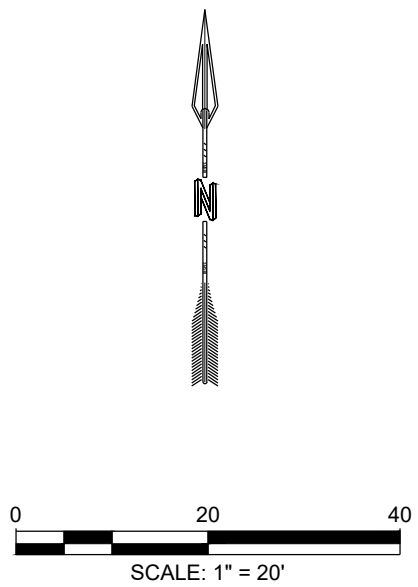


KEYED NOTES

I.D. #	DESCRIPTION
1	INSTALL 8.5' X 18' PARKING SPACES
2	INSTALL 8.5' X 18' PARKING SPACES
3	EXISTING DRIVEPAD TO BE REMOVED AND REPLACED WITH SIDEWALK/CURB PER COA STD DETAIL 2415-A
4	EXISTING SIDE YARD WALL TO REMAIN AND BE PROTECTED IN PLACE.
5	EXISTING SIDEWALK/CURB TO REMAIN
6	INSTALL ASPHALT CURBS. SEE DETAIL THIS SHEET.
7	INSTALL COVERED PARKING STRUCTURE. ROOF OF PARKING STRUCTURE SHALL SLOPE TOWARD PARKING LOT
8	INSTALL NEW STRIPED ISLANDS
9	INSTALL ASPHALT PAVEMENT PER OWNER'S DIRECTION
10	EXISTING DRIVEWAY TO REMAIN. MATCH EXISTING CURB AND EDGE OF ASPHALT. SEE GRADING PLAN.
11	2' PARKING OVERHANG
12	EXISTING TREES AND SHRUBS TO REMAIN
13	CLEAR SITE TRIANGLE
14	EXISTING OVERHEAD UTILITY LINE THAT IS TO REMAIN AND BE PROTECTED IN PLACE
15	NEW LANDSCAPE GRAVEL SHALL MATCH THE EXISTING LANDSCAPE GRAVEL
16	INSTALL SIDE WALK CULVERT PER CABQ DWG. 2236
17	INSTALL RIGHT TURN ONLY SIGN

LEGEND

PROPERTY LINE	---
NUMBER OF PARKING SPACES	X
EXISTING TREES TO REMAIN	
EXISTING SHRUBS TO REMAIN	
EXISTING LANDSCAPE TO REMAIN	
PROPOSED LANDSCAPE GRAVEL BY OTHERS	



SITE INFORMATION

PROJECT NAME: LEGACY RGT PARKING LOT
MUNICIPALITY: CITY OF ALBUQUERQUE
PROJECT ADDRESS: 6400 INDIAN SCHOOL RD NE ALBUQUERQUE, NM 87110
ACRE / AREA: 0.912 ACRES
ZONE: MIXED USE - HIGH INTENSITY ZONE DISTRICT
ADJACENT ZONING: MX-H
USES: PARKING LOT
SETBACKS:

FRONT YARD:	MINIMUM 0 FT.	MAXIMUM 15 FT.
SIDE YARD:	0 FT.	15 FT.
REAR YARD:	0 FT.	

HEIGHT LIMIT: 75 FT.

LANDSCAPE	REQUIRED	PROVIDED
10% NET LOT AREA		15% NET LOT AREA

OPEN SPACE	REQUIRED	PROVIDED
N/A		N/A

LEGAL: TRACT A-2 PLAT OF TRACT A-2, BEVERLY-WOOD ADDITION

PARKING: NO REQUIREMENT

NOTE:

- ALL BROKEN OR CRACKED SIDEWALK OR CURB MUST BE REPLACED WITH NEW SIDEWALK AND CURB ALONG THE PROPERTY FRONTAGE ON INDIAN SCHOOL RD.
- ALL EXISTING FEATURES ON THE SURFACE OF THE PROPERTY INCLUDING THE BUILDING, ASPHALT, CURB, CONCRETE, ETC. SHALL BE REMOVED AND DISPOSED OF BY OTHERS PER DIRECTION FROM THE OWNER PRIOR TO CONSTRUCTION. EXISTING UTILITIES SHALL REMAIN AND EXISTING LANDSCAPE SHALL BE PRESERVED WHERE POSSIBLE.

Remaining Portion of
Beverly Wood Addition
(9/14/1965, D3-126)

Tract A-2-A-2-A
Park Square
(7/20/2018, 2018C-96)

Tract 2-A
Beverly Wood
Addition
(3/18/87, C33-42)

AMERICA'S PARKWAY

NAME: N:\Projects\04-266-0003 Legacy RGT Parking Lot\3_DWG\Sheets\04-266-0003_S Site Plan.dwg PLOT DATE: Feb 24, 2021 12:57pm

DESIGNED JV
DRAWN SG/SD
CHECKED J.S.
DATE 2.24.2021

RESPEC
COMMUNITY DESIGN SOLUTIONS
5971 JEFFERSON STREET SUITE 101
ALBUQUERQUE, NM 87110
WWW.RESPEC.COM PHONE (505) 253-9718

REVISION

STAMP
JEREMY W. SHELL
NEW MEXICO
26347
02/18/21
PROFESSIONAL ENGINEER

THIS DRAWING IS INCOMPLETE
AND NOT TO BE USED FOR
CONSTRUCTION UNLESS IT IS
STAMPED, SIGNED AND DATED

nm811
Know what's below.
Call before you dig.

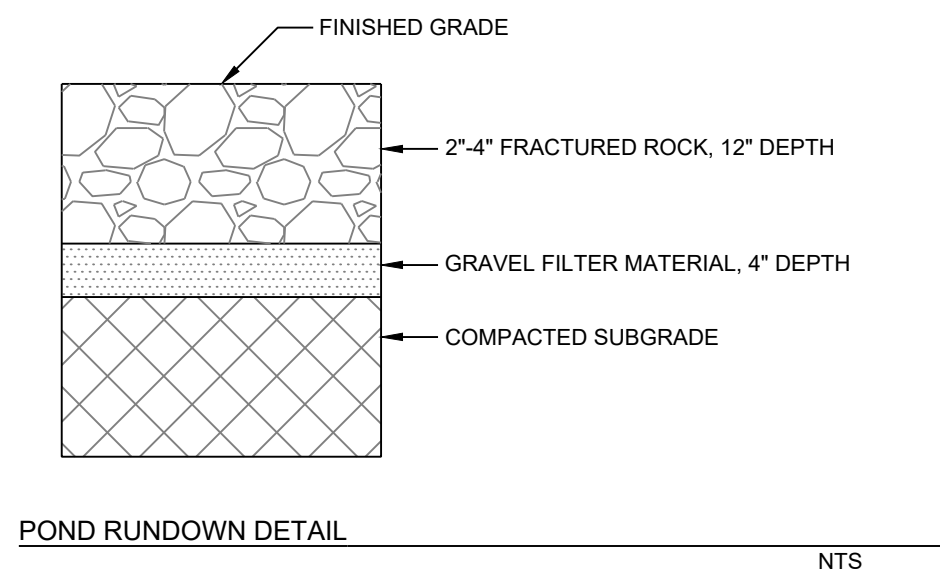
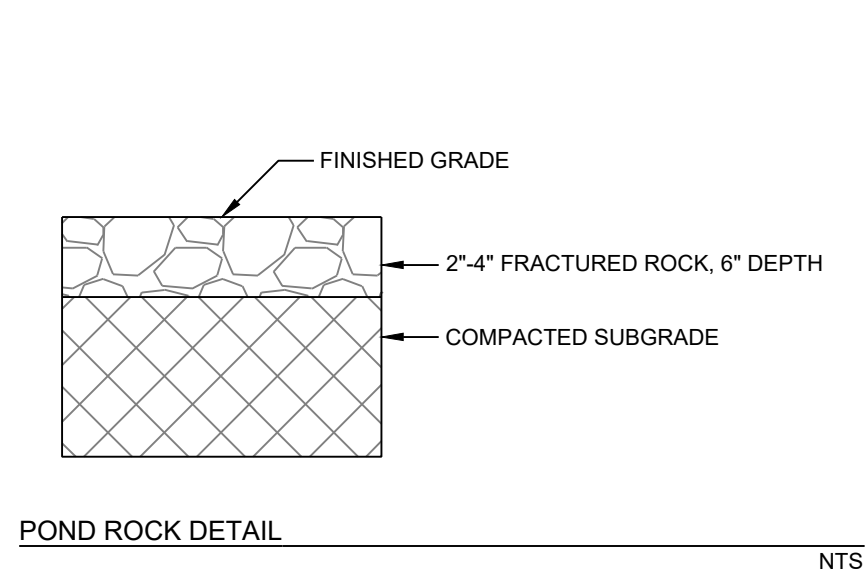
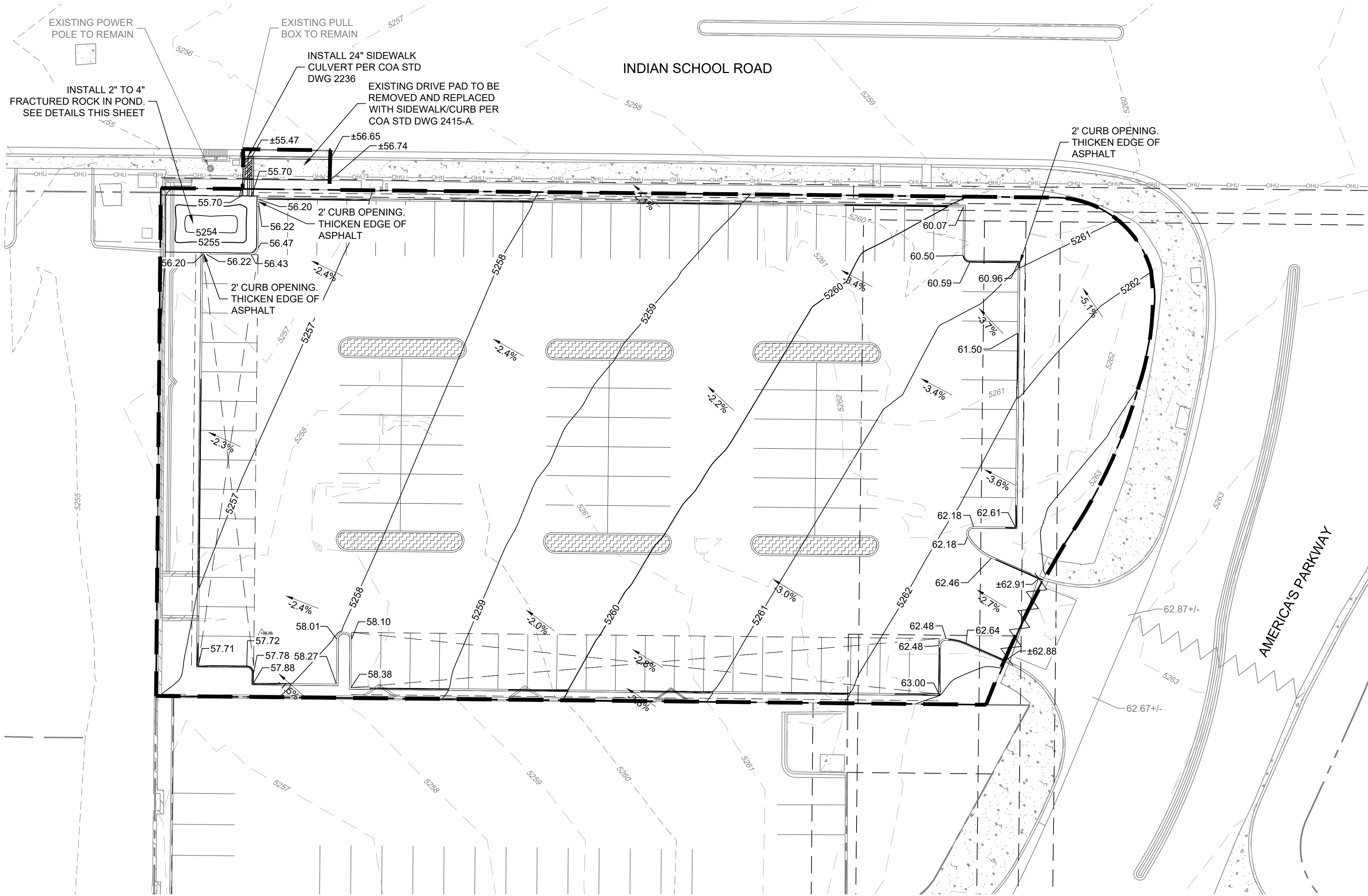
PROJECT NAME:
LEGACY RGT PARKING LOT

SHEET TITLE:
SITE PLAN

SUBMITTED FOR:
CONSTRUCTION

SHEET NUMBER:
C-100

NAME: N:\Projects\04-266.0003 Legacy RGT Parking Lot\3_DWG\Sheets\04-266.0003 S Grading Plan.dwg PLOT DATE: Mar 09, 2021 3:41pm



SPOT ELEVATION SYMBOLS

- ALL SPOT ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED IN THE PLANS.
- | | |
|----------|--|
| 90.25 | FLOWLINE ELEVATION |
| 90.25± | MATCH EXISTING GRADE ELEVATION (APPROXIMATE) |
| TS 90.25 | TOP OF SIDEWALK ELEVATION |
| TC 90.25 | TOP OF CURB ELEVATION |

BENCH MARKS

- ACS MONUMENT "15_118" HAVING AN ELEVATION OF 5280.154

GRADING NOTES

- CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION OF ALL EXISTING DRY AND WET UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY ISSUES. UTILITY RELOCATION MAY BE REQUIRED.
- STRIP AND STOCKPILE TOPSOIL FROM GRADING AREAS. USE STOCKPILED TOPSOIL AND IMPORTED TOPSOIL AS NECESSARY FOR SURFACE RESTORATION.
- GRADES SHOWN ARE FINAL SURFACE GRADES AFTER COMPLETION OF SURFACE IMPROVEMENTS AND PLACEMENT OF TOPSOIL.
- GRADE AREAS AT SITE PERIMETER TO MATCH GRADES OF ADJACENT PARCELS.
- ALL DISTURBED AREAS TO BE RE-SEEDED OR LANDSCAPED PER LANDSCAPE PLAN PROVIDED BY OTHERS.

PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT OF WAY NOTICE TO CONTRACTOR (SPECIAL ORDER 19- "SO-19")

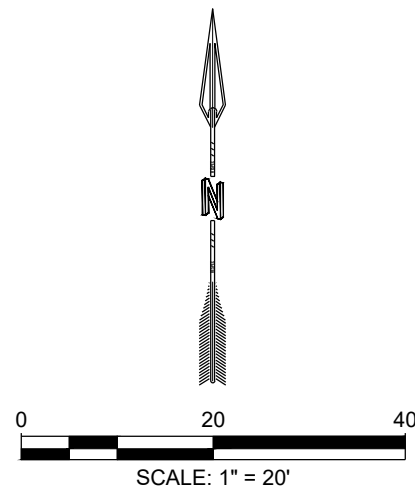
- BUILD SIDEWALK CULVERT PER COA STD DWG 2236.
- CONTACT STORM DRAIN MAINTENANCE AT (505) 857-8033 TO SCHEDULE A MEETING PRIOR TO FORMING.
- AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" [OR (505) 260-1990] FOR THE LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
- WORK ON ARTERIAL STREETS MAY BE REQUIRED ON A 24-HOUR BASIS.
- CONTRACTOR MUST CONTACT STORM DRAIN MAINTENANCE AT (505) 857-8033 TO SCHEDULE A CONSTRUCTION INSPECTION, CONTACT CONSTRUCTION COORDINATION AT (505) 924-3416.

REV. 01/27/21



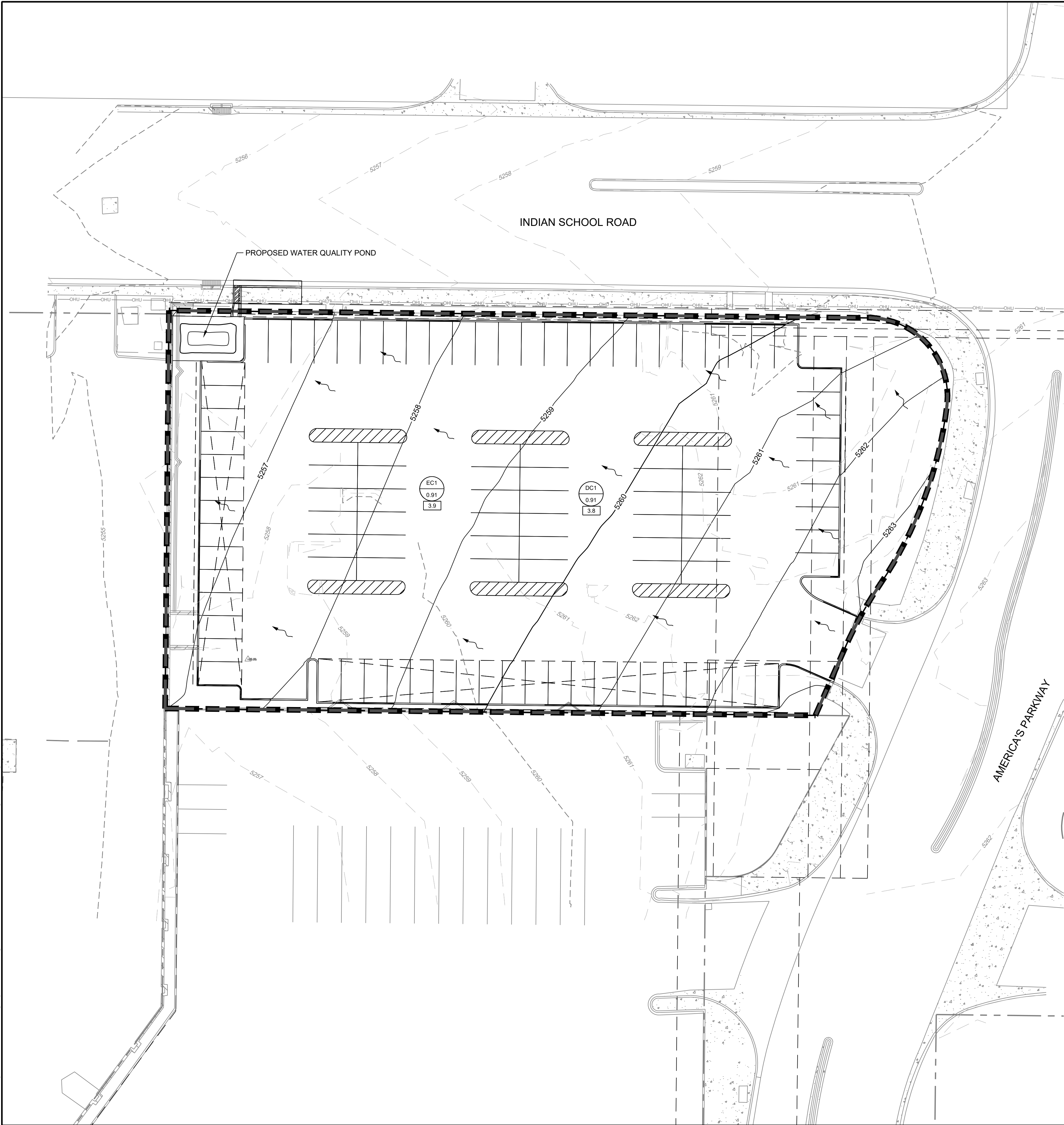
SYMBOL LEGEND

- | | |
|------|--------------------------|
| 7290 | PROPOSED MAJOR CONTOUR |
| 7291 | PROPOSED MINOR CONTOUR |
| 7290 | EXISTING MAJOR CONTOUR |
| 7291 | EXISTING MINOR CONTOUR |
| 1.0% | PROPOSED SLOPE ARROW |
| | PROPERTY LINE |
| | LIMITS OF GRADING |
| | GRADE BREAK (HIGH POINT) |



DESIGNED JV DRAWN CHECKED DATE	DESIGNED JV DRAWN CHECKED DATE	REVISION
RESPEC COMMUNITY DESIGN SOLUTIONS 5971 JEFFERSON STREET SUITE 101 ALBUQUERQUE, NM 87110 WWW.RESPEC.COM PHONE (505) 253-9718	RESPEC COMMUNITY DESIGN SOLUTIONS 5971 JEFFERSON STREET SUITE 101 ALBUQUERQUE, NM 87110 WWW.RESPEC.COM PHONE (505) 253-9718	
STAMP JEREMY W. SHELL NEW MEXICO 26347 02/18/21 PROFESSIONAL ENGINEER	STAMP JEREMY W. SHELL NEW MEXICO 26347 02/18/21 PROFESSIONAL ENGINEER	
THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED.	THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED.	
nm811 Know what's below. Call before you dig.	nm811 Know what's below. Call before you dig.	
PROJECT NAME: LEGACY RGT PARKING LOT	PROJECT NAME: LEGACY RGT PARKING LOT	
SHEET TITLE: GRADING PLAN	SHEET TITLE: GRADING PLAN	
SUBMITTED FOR: CONSTRUCTION	SUBMITTED FOR: CONSTRUCTION	
SHEET NUMBER: C-101	SHEET NUMBER: C-101	

NAME: N:\Projects\04-266-0003 Legacy RGT Parking Lot\3. DWG\Sheets\04-266-0003 S Drainage Plan.dwg PLOT DATE: Feb 24, 2021 12:50pm



BACKGROUND

6400 INDIAN SCHOOL ROAD NORTHEAST IS APPROXIMATELY 0.912 ACRES IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO. THIS LOCATION IS NEAR THE INTERSECTION OF INDIAN SCHOOL ROAD NE AND AMERICA'S PARKWAY NE. THE INTENT FOR THIS PROPERTY IS TO BE USED AS A PARKING LOT TO SERVE THE APARTMENTS LOCATED SOUTH OF INDIAN SCHOOL ROAD AND AMERICA'S PARKWAY. THERE IS NO DESIGNATED 100-YR FLOOD ZONE SHOWN ON THE SITE.

METHODOLOGY

HYDROLOGY CALCULATIONS FOR THE SITE ARE PERFORMED IN ACCORDANCE WITH THE ALBUQUERQUE DEVELOPMENT PROCESS MANUAL (DPM) SECTION 22.2 USING THE RATIONAL METHOD TO CALCULATE PEAK FLOW RATES TO ENSURE ALL FLOW PATHS ARE SUFFICIENT TO CARRY FLOWS. THE REQUIRED WATER QUALITY VOLUME WAS CALCULATED BY MULTIPLYING THE IMPERVIOUS AREA BY THE FIRST FLUSH RUNOFF VALUE OF 0.26". ALL HYDROLOGIC AND HYDRAULIC CALCULATIONS CAN BE FOUND ON THIS SHEET.

EXISTING CONDITIONS

THE SITE, IN GENERAL, SLOPES FROM SOUTHEAST TO NORTHWEST AT VARYING SLOPES FROM 1% - 5%. STORM WATER RUNOFF GENERATED BY THE EXISTING BUILDING AND PARKING AREA OF FLOW GENERALLY TO THE NORTHWEST. THE EXISTING CONDITION HAVE BEEN SPLIT INTO ONE SUB-BASINS TO INDICATE FLOWS GOING TO THE SOUTHEAST AND NORTHWEST.

SUB-BASIN EC1 IS 0.912 ACRES CONSISTING OF ALL EXISTING FLOWS. THE EXISTING FLOW IS 3.9 CFS THAT FLOWS FROM THE SOUTHEAST TO THE NORTHWEST. ALL RUNOFF DISCHARGES TO INDIAN SCHOOL RD UNDER EXISTING CONDITIONS EITHER VIA THE EXISTING DRIVEWAY OR SIDEWALK CULVERTS.

DEVELOPED CONDITIONS

THE DRAINAGE INTENTION OF THE DEVELOPED CONDITIONS IS TO MATCH THE EXISTING DRAINAGE PATTERN. EXISTING SITE INFRASTRUCTURE WILL BE REMOVED PRIOR TO CONSTRUCTION AND THE NEW PARKING LOT WILL BE INSTALLED. DEVELOPED FLOWS DECREASE SLIGHTLY.

SUB-BASIN DC1 IS 0.912 ACRES CONSISTING OF ALL THE PARKING AREA. THERE IS SOME LANDSCAPE ALONG THE SIDES OF THE SITE. STORM WATER RUN-OFF GENERATED BY THE PARKING AREA IS DIRECTED TO THE NORTHWEST AND INTO THE PROPOSED SURFACE POND, WHICH DISCHARGES TO INDIAN SCHOOL ROAD THROUGH A PROPOSED SIDEWALK CULVERT. THE SUB-BASIN GENERATES 3.8 CFS AND IS INTENDED TO MATCH EXISTING CONDITIONS.

THE WATER QUALITY TABLE LOCATED ON THIS SHEET UNDER "HYDROLOGY CALCULATIONS" SUMMARIZES THE WATER QUALITY VOLUMES REQUIRED FOR DEVELOPED CONDITIONS. THERE IS ONE WATER QUALITY POND ONSITE TO ACCOMMODATE DEVELOPED FLOWS AND IS LOCATED IN THE NORTHWEST CORNER. THIS POND IS SIZED AT 341 CU-FT. FLOWS FROM DC1 FLOW INTO THIS WATER QUALITY POND.THE REQUIRED WATER QUALITY VOLUME FOR THE FIRST FLUSH FROM DC1 IS 708 CU-FT. THEREFORE, THE PAYMENT-IN-LIEU OF WATER QUALITY AMOUNT IS 367 CF X \$8/CF = \$2,936.

Hydrology Calculations

The following calculations are based on Albuquerque's Development Process Manual, Seciton 22.2

Runoff Rate:

Treatment Type Areas

Subbasin	Area _A (ac)	Area _B (ac)	Area _C (ac)	Area _D (ac)	Total (ac)
EC1	0.00	0.06	0.06	0.79	0.91
DC1	0.00	0.08	0.08	0.75	0.91

Peak Discharge values based on Zone 3 from Table A-9

$Q_A = 1.84 \text{ cfs/ac}$ $Q_B = 2.49 \text{ cfs/ac}$ $Q_C = 3.17 \text{ cfs/ac}$ $Q_D = 4.49 \text{ cfs/ac}$

Peak Discharge calculation for a 100-yr, 24-hr storm event from equation A-10

Subbasin	Discharge (cfs)
EC1	3.9
DC1	3.8

Water Quality:

Required Water Quality volume for first flush of 0.26"

Subbasin	Volume (cu. ft.)
EC1	N/A
DC1	708



LEGEND

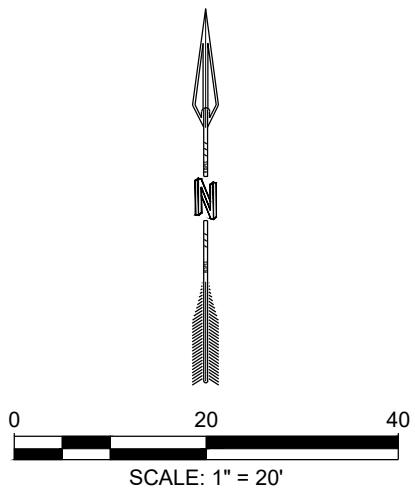
A1A BASIN DESIGNATION
XX BASIN AREA, ACRES

XX 100 YEAR STORM, CFS

EXISTING SUB-BASIN BOUNDARY
PROPOSED SUB-BASIN BOUNDARY

DIRECTION OF DRAINAGE FLOW

PROPERTY LINE



DESIGNED JV
DRAWN SG/SD
CHECKED J.S.
DATE 2/24/2021

RESPEC
COMMUNITY DESIGN SOLUTIONS
5971 JEFFERSON STREET SUITE 101
ALBUQUERQUE, NM 87110
WWW.RESPEC.COM PHONE (505) 253-9718

RESPEC

STAMP

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PROJECT NAME:
LEGACY RGT PARKING LOT

SHEET TITLE:
DRAINAGE PLAN

SUBMITTED FOR:
CONSTRUCTION

SHEET NUMBER:
C-102

REVISION