

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

April 29, 2021

Jeremy Shell
RESPEC
5971 Jefferson Street, Suite 101
Albuquerque NM 87109

**Re: Legacy Parking Lot (J18D001G)
Traffic Circulation Layout Plan (Engineer's Stamp Date 3/12/2021)**

Dear Mr. Shell:

The TCL submittal received 4-29-21 is approved.

When the site construction is completed and an inspection is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

PO Box 1293

Albuquerque

Once verification of certification is completed and approved, notification will be issued.

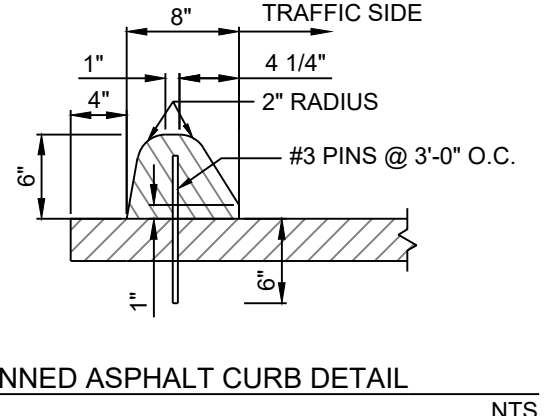
NM 87103

Sincerely,
Jeanne Wolfenbarger

www.cabq.gov

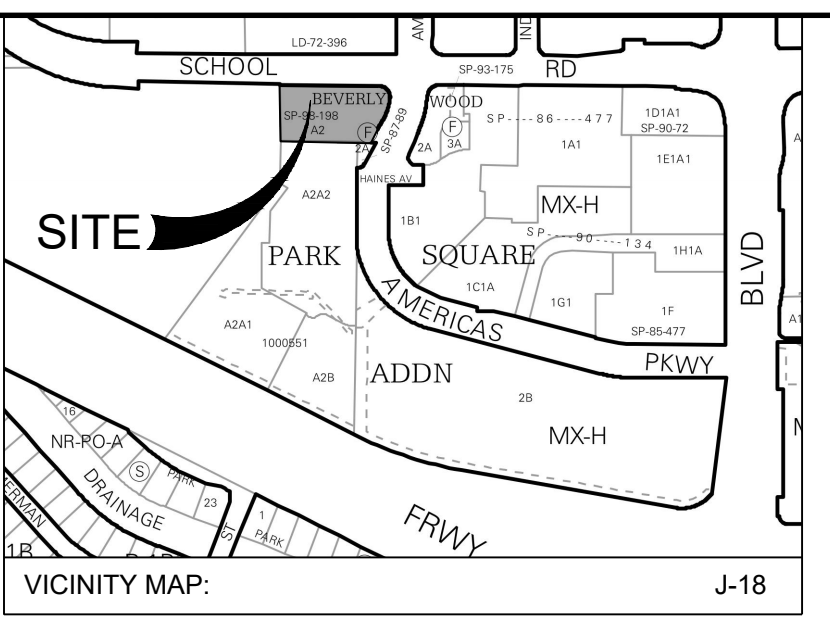
Jeanne Wolfenbarger, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File



TRAFFIC CIRCULATION LAYOUT APPROVED 4/29/2021

Jeanne Wolfenbarger



KEYED NOTES

| I.D. # | DESCRIPTION |
|--------|---|
| 1 | INSTALL 8.5' X 16' PARKING SPACES |
| 2 | INSTALL 8.5' X 18' PARKING SPACES |
| 3 | EXISTING DRIVEPAD TO BE REMOVED AND REPLACED WITH SIDEWALK/CURB PER COA STD DETAIL 2415-A |
| 4 | EXISTING SIDE YARD WALL TO REMAIN AND BE PROTECTED IN PLACE. |
| 5 | EXISTING SIDEWALK/CURB TO REMAIN |
| 6 | INSTALL ASPHALT CURB. SEE DETAIL THIS SHEET. |
| 7 | INSTALL COVERED PARKING STRUCTURE. ROOF OF PARKING STRUCTURE SHALL SLOPE TOWARD PARKING LOT |
| 8 | INSTALL 4" PCC SIDEWALK |
| 9 | INSTALL ASPHALT PAVEMENT PER OWNER'S DIRECTION |
| 10 | EXISTING DRIVEWAY TO REMAIN. MATCH EXISTING CURB AND EDGE OF ASPHALT. SEE GRADING PLAN. |
| 11 | 2' PARKING OVERHANG |
| 12 | EXISTING TREES AND SHRUBS TO REMAIN |
| 13 | CLEAR SITE TRIANGLE |
| 14 | EXISTING OVERHEAD UTILITY LINE THAT IS TO REMAIN AND BE PROTECTED IN PLACE. |
| 15 | NEW LANDSCAPE GRAVEL SHALL MATCH THE EXISTING LANDSCAPE GRAVEL |
| 16 | INSTALL SIDE WALK CULVERT PER CABQ DWG. 2236 |
| 17 | INSTALL RIGHT TURN ONLY SIGN R3-5(R) |

DESIGNED BY: J.V.
 DRAWN BY: S.G.S/D
 CHECKED BY: J.S.
 DATE: 3.19.2021

REVISION

STAMP

THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED.

PROJECT NAME: LEGACY RGT PARKING LOT

SHEET TITLE: SITE PLAN

SUBMITTED FOR: CONSTRUCTION

SHEET NUMBER: C-100

SITE INFORMATION

MARKANA UPTOWN APPROVED SITE PLAN (# PR-2019-001284) SHALL BE REFERENCED FOR THIS PROJECT.

PROJECT NAME: LEGACY RGT PARKING LOT
 MUNICIPALITY: CITY OF ALBUQUERQUE
 PROJECT ADDRESS: 6400 INDIAN SCHOOL RD NE ALBUQUERQUE, NM 87110
 ACRE / AREA: 0.912 ACRES
 ZONE: MIXED USE - HIGH INTENSITY ZONE DISTRICT
 ADJACENT ZONING: MX-H
 USES: OVERFLOW PARKING LOT
 SETBACKS:

| | MINIMUM | MAXIMUM |
|-------------|---------|---------|
| FRONT YARD: | 0 FT. | 15 FT. |
| SIDE YARD: | 0 FT. | 15 FT. |
| REAR YARD: | 0 FT. | 15 FT. |

HEIGHT LIMIT: 75 FT.

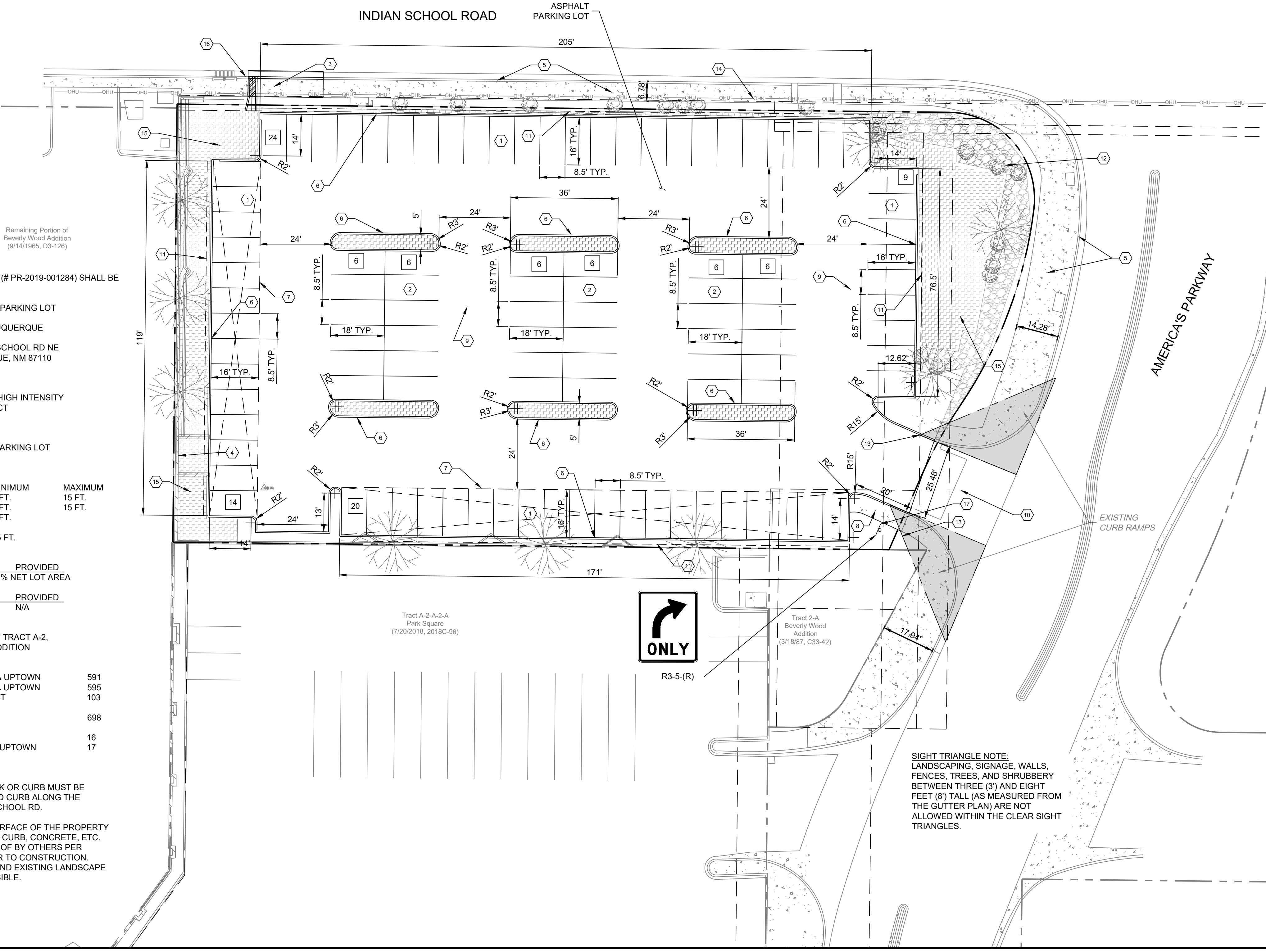
| LANDSCAPE | REQUIRED | PROVIDED |
|------------------|----------|------------------|
| 10% NET LOT AREA | | 15% NET LOT AREA |

| OPEN SPACE | REQUIRED | PROVIDED |
|------------|----------|----------|
| N/A | | N/A |

LEGAL: TRACT A-2 PLAT OF TRACT A-2, BEVERLY-WOOD ADDITION

| | |
|---|-----|
| PARKING: | |
| PARKING SPACES REQUIRED BY MARKANA UPTOWN | 591 |
| PARKING SPACES PROVIDED BY MARKANA UPTOWN | 595 |
| PARKING SPACES ADDED BY THIS PROJECT | 103 |
| COMBINED PARKING SPACES PROVIDED | 698 |
| ACCESSIBLE PARKING SPACES REQUIRED | 16 |
| ACCESSIBLE PARKING SPACES MARKANA UPTOWN | 17 |

- NOTE:
- ALL BROKEN OR CRACKED SIDEWALK OR CURB MUST BE REPLACED WITH NEW SIDEWALK AND CURB ALONG THE PROPERTY FRONTAGE ON INDIAN SCHOOL RD.
 - ALL EXISTING FEATURES ON THE SURFACE OF THE PROPERTY INCLUDING THE BUILDING, ASPHALT, CURB, CONCRETE, ETC. SHALL BE REMOVED AND DISPOSED OF BY OTHERS PER DIRECTION FROM THE OWNER PRIOR TO CONSTRUCTION. EXISTING UTILITIES SHALL REMAIN AND EXISTING LANDSCAPE SHALL BE PRESERVED WHERE POSSIBLE.



NAME: N:\Projects\04266.0003 Legacy RGT Parking Lot3_DWG\Sheets\04266.0003_Site_Plan.dwg PLOT DATE: Mar 19, 2021 3:34pm

Easement Notes

- EXISTING 5' UTILITY EASEMENT (6/29/1984, C24-89)
- EXISTING 20' COA WATER & SEWER EASEMENT (9/14/1965, D3-126) & (6/29/1984, C24-89)
- EXISTING 10' PNM EASEMENT (4/29/1975, BK. MISC. 418, PG. 830)
- INTENTIONALLY OMITTED
- EXISTING NON-EXCLUSIVE PRIVATE ACCESS EASEMENT (8/7/1998, BK. 98-13, PG. 8016)
- INTENTIONALLY OMITTED
- INTENTIONALLY OMITTED
- EXISTING CABLE EASEMENT OVER NON-BUILDING AREAS (10/12/2007, DOC. NO. 2007144250)
- EXISTING PRIVATE CROSS LOT DRAINAGE EASEMENT, PRIVATE CROSS LOT UTILITY EASEMENT AND RECIPROCAL PRIVATE CROSS PARKING EASEMENT BENEFITING AND MAINTAINED BY TRACT A-2-B AND TRACTS A-2-A & A-2-B (7/2/2001, 2001C-186) (4/19/2011, 2011C-35)
- PRIVATE CROSS LOT DRAINAGE EASEMENT ACROSS TRACTS A-2-A-2 AND A-2-A-1 BENEFITING AND MAINTAINED BY TRACT A-2-B (8/13/1998, 98C-241)
- PRIVATE PARKING, VEHICULAR ACCESS, AND PEDESTRIAN EASEMENT BENEFITING AND MAINTAINED BY TRACTS 1-B-1, A-2-A-1 AND A-2-A-2, PARK SQUARE (7/15/1998, BK. 9812, PG. 6785)(7/31/2002, BK. A39, PG. 6377) (1/14/2005, BK. A90, PG. 7567)(5/19/2007, BK. A136, PG. 8823)
- PRIVATE ACCESS EASEMENT BENEFITING AND MAINTAINED BY TRACTS A-2-A-1, A-2-A-2 AND A-2-B, PARK SQUARE (4/19/2011, 11C-35)
- PRIVATE CROSS LOT DRAINAGE EASEMENT BENEFITING AND MAINTAINED BY TRACTS A-2-A-1, A-2-A-2 AND A-2-B, PARK SQUARE (4/19/2011, 11C-35)
- EXISTING 33' COA WATER & SEWER EASEMENT (6/29/1984, C24-89)
- 10' PNM EASEMENT GRANTED WITH THE FILING OF THIS PLAT

DEVELOPMENT DATA

NET SITE AREA:
 TRACT A-2-A-2-A 2.4244 ACRES (105,609 S.F.)
 TRACT A-2-A-1-A 1.6520 ACRES (71,959 S.F.)

SETBACKS REQUIRED:
 ALLOWED 0' FRONT(E) 0' SIDE(N) 0' SIDE(S) 15' REAR(W)
 PROVIDED 10' 3' 2' 7'

ZONING AND LAND USE:
 CURRENT: MX-H (UC-MS-PT)
 LAND USE: RESTAURANT / HOTEL
 MULTI-FAMILY RESIDENTIAL

FLOOR AREA RATIO:
 BUILDING NET AREA 246,813 S.F.
 F.A.R. PROVIDED 246,813 / 105,609 = 2.34

BUILDING HEIGHT:
 ALLOWED: 99 FEET
 PROPOSED: 97 FEET

DENSITY:
 PROPOSED: 100.2 DU/ACRE

BUILDING AREAS:

| LEVEL | S-2 GARAGE | R-2 RES. | A-3 ASSEMBLY | | | B LEASING | TOTAL |
|-------|------------|----------|--------------|---------|------------|-----------|---------|
| | | | REC | FITNESS | POOL/HOUSE | | |
| P1 | 73,768 | 598 | | | | 1,960 | 76,326 |
| P2 | 73,888 | 192 | | | | | 74,080 |
| L1 | | 45,006 | 1,864 | 1,344 | 652 | 3,860 | 48,866 |
| L2 | | 50,415 | 855 | 662 | | 1,517 | 46,702 |
| L3 | | 50,415 | | | | | 50,415 |
| L4 | | 50,415 | | | | | 50,415 |
| L5 | | 50,415 | | | | | 50,415 |
| TOTAL | 147,656 | 242,226 | 2,719 | 2,006 | 652 | 5,377 | 397,219 |

USABLE OPEN SPACE:

REQUIRED:
 STUDIO 200 SF x 60 = 12,000 S.F.
 1 BR 200 SF x 107 = 21,400 S.F.
 2 BR 250 SF x 76 = 19,000 S.F.
 TOTAL REQUIRED = 52,400 S.F.

50% REDUCTION FOR PROPERTY BEING UC/MS/PT = 26,200 S.F.

PROVIDED:
 LEVEL L1 COURTYARDS 22,057 S.F.
 PRIVATE BALCONIES 14,487 S.F.
 AT GRADE ON SITE 10,418 S.F.
 TOTAL PROVIDED 46,962 S.F.

THE FIRST RESIDENTIAL LEVEL (PODIUM LEVEL L1) HAS TWO OPEN COURTYARDS, CONNECTED BY A COVERED BREEZEWAY. THE SOUTH COURTYARD IS THE POOL AREA WITH AMENITIES LIKE CABANAS, RAMADA, SEATING AREA. THE FITNESS CENTER, RECREATIONAL SPACE AND POOL HOUSE ARE PART OF THE BUILDING ORIENTED TOWARDS THE POOL COURTYARD. THE NORTH COURTYARD IS ANOTHER OPEN SPACE WITH RAMADAS, BARBECUES, GAME LAWN, AND SEATING AREAS.

UNIT MIX:

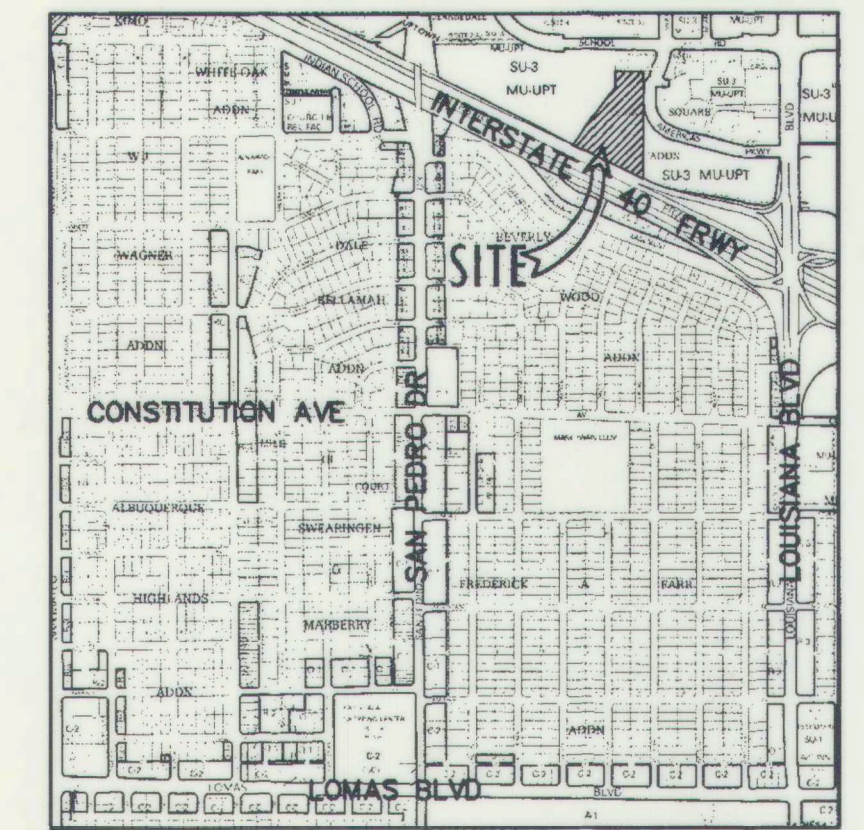
| UNIT | LIVABLE | BALCONY | L1 | L2 | L3 | L4 | L5 | TOTAL |
|-------|----------|---------|----|----|----|----|----|-------|
| S1 | 589 SF | 44 SF | 10 | 11 | 13 | 13 | | 51 |
| Sim1 | 618 SF | 44 SF | 1 | 1 | 2 | 2 | | 8 |
| S2H | 754 SF | 63 SF | | 1 | | | | 1 |
| A1 | 678 SF | 46 SF | 3 | | | | | 3 |
| A2 | 634 SF | 52 SF | 12 | 12 | 12 | 12 | | 60 |
| A2m1 | 733 SF | 67 SF | 1 | 1 | 1 | 1 | | 5 |
| A3 | 754 SF | 63 SF | 7 | 6 | 6 | 6 | | 31 |
| A3H | 754 SF | 63 SF | | | 1 | 1 | | 3 |
| B1 | 928 SF | 51 SF | 5 | 8 | 10 | 10 | | 43 |
| B2 | 1,022 SF | 106 SF | 6 | 5 | 6 | 6 | | 29 |
| B2H | 1,022 SF | 106 SF | | | | | | 1 |
| B3 | 1,226 SF | 135 SF | | | 1 | 1 | | 3 |
| TOTAL | | | 45 | 45 | 51 | 51 | | 243 |

LEGEND

- DENOTES PROPERTY LINE
- 10/8 --- NO. OF PARKING SPACES
- 8/9 --- NO. OF COMPACT PARKING SPACES
- 6 --- DENOTES ACCESSIBLE PARKING AND ANSI TYPE 'A' DWELLING UNIT
- MS --- MONUMENT SIGNAGE
- DS --- DIRECTIONAL SIGNAGE - GROUND MOUNTED
- AW --- ACCESSIBLE WALKWAY SIGNAGE - BUILDING OR GROUND MOUNTED
- BM --- BUILDING MOUNTED SIGNAGE - SEE A3.4 & A3.41 FOR LOCATIONS

| PARKING SPACE REQUIREMENTS | PARKING RATIO | PARKING REQUIRED |
|---|--------------------|------------------|
| HOTEL (149 ROOMS) | 2 PS / 3 ROOMS (1) | 99 |
| MULTI-FAMILY (243 DWELLING UNITS) | 1 PS / DU (1) | 243 |
| SUBTOTAL FOR REDUCTION | | 342 |
| TRANSIT REDUCTION (2) | | 34 |
| SUBTOTAL AFTER TRANSIT REDUCTION | | 308 |
| RESTAURANT (270 SEATS) | 1 PS / 3 SEATS (3) | 90 |
| OPS OFFICE (PER PARKING AGREEMENT) | N/A | 191 |
| TOTAL PARKING SPACES REQUIRED | | 589 |
| OPEN PARKING SPACES PROVIDED | | 162 |
| GARAGE P1 LEVEL COMPACT PARKING SPACES PROVIDED | | 220 |
| GARAGE P2 LEVEL COMPACT PARKING SPACES PROVIDED | | 210 |
| TOTAL PARKING SPACES PROVIDED | | 592 |
| COMPACT PARKING SPACES ALLOWED | | 200 |
| OPEN COMPACT PARKING SPACES PROVIDED | | - |
| GARAGE P1 LEVEL COMPACT PARKING SPACES PROVIDED | | 63 |
| GARAGE P2 LEVEL COMPACT PARKING SPACES PROVIDED | | 65 |
| TOTAL COMPACT PARKING SPACES PROVIDED | | 128 |
| ACCESSIBLE PARKING SPACES REQUIRED | | 13 |
| OPEN ACCESSIBLE PARKING SPACES PROVIDED | | 5 |
| GARAGE P1 LEVEL ACCESSIBLE PARKING SPACES PROVIDED | | 8 |
| GARAGE P2 LEVEL ACCESSIBLE PARKING SPACES PROVIDED | | 4 |
| TOTAL ACCESSIBLE PARKING SPACES PROVIDED | | 17 |
| MOTORCYCLE PARKING SPACES REQUIRED | | 4 |
| HOTEL AND RESTAURANT | | 4 |
| TOTAL MOTORCYCLE PARKING SPACES PROVIDED | | 4 |
| BICYCLE PARKING SPACES REQUIRED | | 40 |
| 10% OF REQUIRED VEHICULAR PARKING REQUIRED (1400 PARKING SPACES EXCLUDING OFFICE) | | 8 |
| OPEN ON SITE RACKS PARKING SPACES PROVIDED | | 32 |
| IN BIKE ROOM PARKING SPACES PROVIDED | | 40 |
| TOTAL ACCESSIBLE PARKING SPACES PROVIDED | | 40 |

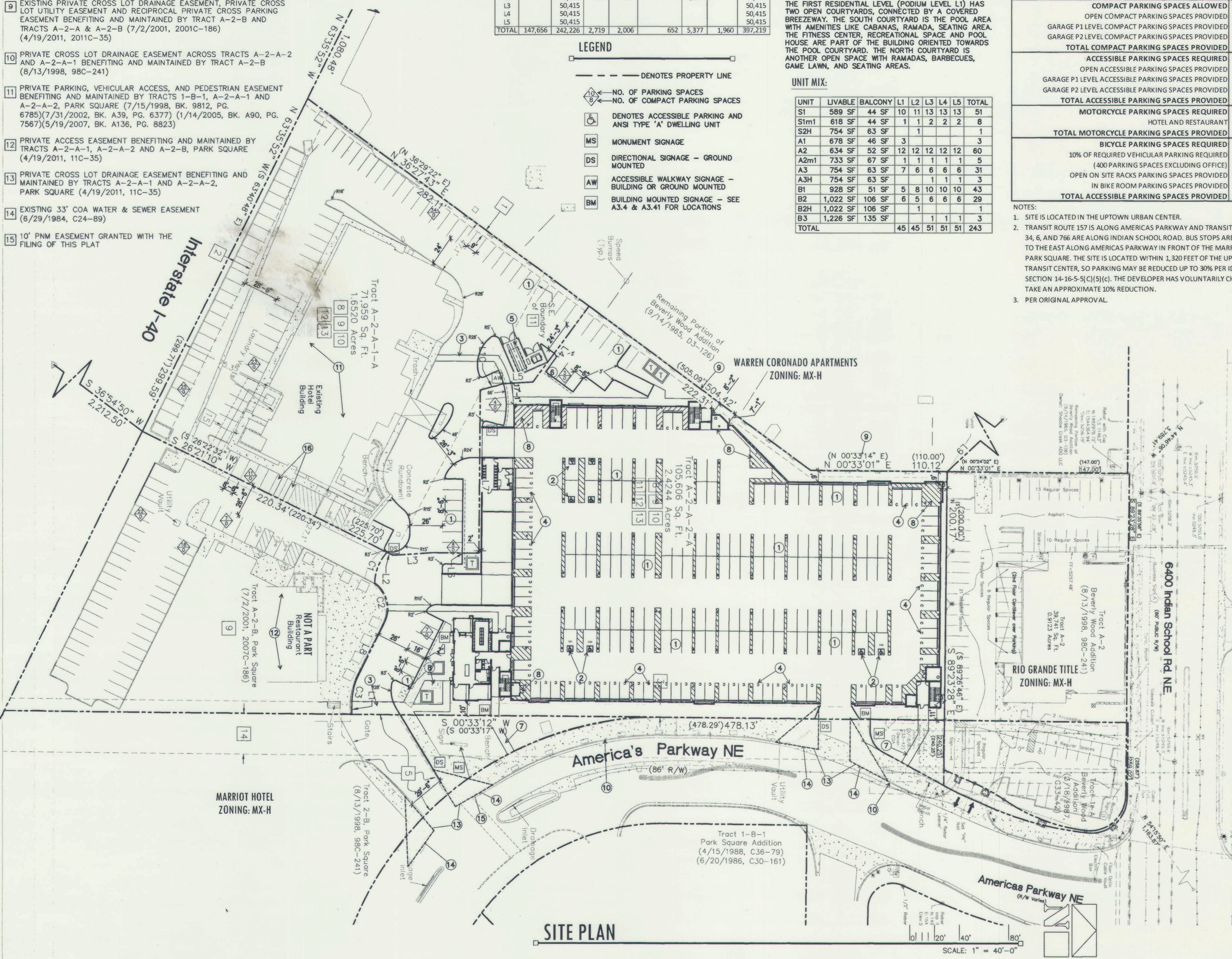
- NOTES:**
- SITE IS LOCATED IN THE UPTOWN URBAN CENTER.
 - TRANSIT ROUTE 157 IS ALONG AMERICAS PARKWAY AND TRANSIT ROUTES 34, 6, AND 766 ARE ALONG INDIAN SCHOOL ROAD. BUS STOPS ARE LOCATED TO THE EAST ALONG AMERICAS PARKWAY IN FRONT OF THE MARRIOTT AND PARK SQUARE. THE SITE IS LOCATED WITHIN 1,320 FEET OF THE UPTOWN TRANSIT CENTER, SO PARKING MAY BE REDUCED UP TO 30% PER IDO SECTION 14-16-5-(5)(C)(5)(c). THE DEVELOPER HAS VOLUNTARILY CHOSEN TO TAKE AN APPROXIMATE 10% REDUCTION.
 - PER ORIGINAL APPROVAL.



VICINITY MAP
 NOT TO SCALE

- KEYNOTES**
- 8'-6"x18" PARKING SPACE, TYPICAL, SEE DETAIL 01/A1.20
 - 11'x18" ACCESSIBLE PARKING SPACE, SEE DETAIL 05/A1.20.
 - ACCESSIBLE DRIVEWAY CROSSING MARKING TO COMPLY WITH REGULATIONS IN THE FORM BASED CODE.
 - 8'x15' COMPACT PARKING SPACE.
 - TRASH YARD ENCLOSURE WITH COMPACTOR SURROUNDED BY 6" CMU WALL PAINTED TO MATCH BUILDINGS, SEE DETAIL 14/A1.20. TRASH YARD TO BE SHARED WITH HOTEL TO THE SOUTH.
 - 10'x30' LOADING PARKING SPACE.
 - 6' SIDEWALK CONNECTING TO PUBLIC WAYS.
 - BICYCLE PARKING LOCATION, SEE DETAIL 08/A1.20.
 - EXISTING PERIMETER WALL.
 - EXISTING STREET CURB WITH 15'-6" MIN. SIDEWALK AT AMERICA'S PARKWAY.
 - EXISTING HOTEL BUILDING.
 - EXISTING RESTAURANT BUILDING (NOT A PART).
 - EXISTING DRIVEWAY ENTRY.
 - SIGHT VISIBILITY. LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
 - EXISTING HOTEL SIGN TO REMAIN.
 - MOTORCYCLE PARKING.

- GENERAL NOTES**
- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A WORK ORDER.
 - LANDSCAPING, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
 - THE MATERIALS USED FOR CROSSWALKS WILL COMPLY WITH REGULATIONS IN THE FORM BASED CODE.
 - SITE WILL COMPLY WITH THE LIGHTING STANDARDS IN THE MX-H ZONE AND IDO SECTION 14-16-5-7.
 - REFER TO ELECTRICAL PLANS FOR SITE/BUILDING LIGHTING MONUMENT/DIRECTIONAL/BRANDING SIGNAGE WILL BE A DELEGATED DESIGN. LOCATIONS ARE PROVIDED ON THIS PLAN FOR COORDINATION PURPOSES.



SITE PLAN

SCALE: 1" = 40'-0"

PROJECT NUMBER: PR-2018-001284
 Application Number: SI-2020-00028

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

John Wilson Traffic Engineering, Transportation Division 03-09-20 Date
 Digitally signed by Kristopher Cadena
 ABCWUA Date: 2020.03.30 17:11:08 -0600

Christopher Cadena Parks and Recreation Department 03-04-20 Date
 Date: 2020.03.30 17:11:08 -0600

John Wilson City Engineer 3-4-2020 Date
 Date: 2020.03.30 17:11:08 -0600

John Wilson Solid Waste Management 3-4-2020 Date
 Date: 2020.03.30 17:11:08 -0600

John Wilson Code Enforcement 3/4/2020 Date
 Digitally signed by Jolene Wolfley
 Date: 2020.03.31 09:40:35 -0600

DRB Chairperson, Planning Department Date

MARKANA UPTOWN
 6500 Americas Parkway NE
 Albuquerque, NM 87110

Office of Rich Barber
ORB
 Architecture, Inc.
 WorldHQ@ORBArch.com

STATE OF NEW MEXICO
 RICH BARBER
 NO. 2295
 a 20100
 REGISTERED ARCHITECT

LEGACY HOSPITALITY

DRB SUBMITTAL
 DATE: JANUARY 30, 2020 ORB # 16-221

A1.10
 SITE PLAN