

# CITY OF ALBUQUERQUE



November 6, 2020

J. Graeme Means, PE  
High Mesa Consulting Group  
6010-B Midway Park Blvd  
Albuquerque, NM 87109

**Re: RGPU Marble  
1201 San Pedro Dr. NE  
30-Day Temporary Certificate of Occupancy  
Transportation Development Final Inspection  
Engineer's/Architect's Stamp dated 5-22-20 (J18D008)  
Certification dated 10-30-20**

Dear Mr. Means,

Based upon the information provided in your submittal received 10-30-20, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- Please correct cracked broken sidewalk.
- Please remove construction debris and materials from site.

Once these corrections are complete, email pictures showing the changes to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov), and [epgomez@cabq.gov](mailto:epgomez@cabq.gov) for release of Final CO.

If you have any questions, please contact me at (505) 924-3981.

Sincerely,

Ernie Gomez,  
Plan Checker, Planning Dept.  
Development Review Services

EG via: email  
C: CO Clerk, File



# DEKKER PERICH SABATINI

ARCHITECTURE  
DESIGN  
INSPIRATION

ARCHITECT

ENGINEER



06/08/2020 05/22/2020

PROJECT

RGCU Marble  
1201 SAN PEDRO DR. NE  
ALBUQUERQUE, NM 87110

CONSTRUCTION  
DOCUMENTS

REVISIONS  
ADDRESS TCL COMMENTS

DRAWN BY J.Y.R.  
REVIEWED BY G.M.  
DATE 5/22/20  
PROJECT NO. 19-0105  
DRAWING NAME

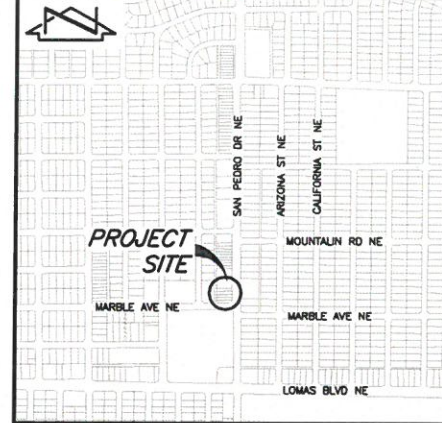
SITE PLAN

2020.019.3

**HIGH MESA Consulting Group**  
2020.019.3

6010-B Midway Park Blvd. NE • Albuquerque, New Mexico 87109  
Phone: 505.345.4250 • Fax: 505.345.4254 • www.highmesacg.com

CS101  
OF



VICINITY MAP  
NOT TO SCALE

CONSTRUCTION NOTES:

1. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS-PUBLIC WORKS CONSTRUCTION-1985-UPDATE NO. 9.
2. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 811, FOR DESIGNATION (LINE-SPOTTING) OF EXISTING PUBLIC UTILITIES AND EXISTING UTILITIES OWNED AND OPERATED BY ALBUQUERQUE PUBLIC SCHOOLS.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
4. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
5. UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE TOPOGRAPHIC AND UTILITY SURVEY CONDUCTED BY THIS FIRM DATED 04/08/2020 AND INCLUDED AS SHEET V101 THIS PLAN SET. THAT UTILITY SURVEY AND SUBSURFACE UTILITY ENGINEERING EFFORT IS NOT ALL-INCLUSIVE, AND MAY NOT REPRESENT UTILITIES/INFRASTRUCTURE THAT HAVE BEEN ABANDONED-IN-PLACE, WERE INACCESSIBLE, OR OTHERWISE UNDETECTABLE DUE TO UNFORESEEN AND UNCONTROLLABLE SITE AND/OR UTILITY CONDITIONS. FURTHER, THAT UTILITY INVESTIGATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE PROPERTY OWNER, DEVELOPER, OR CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, NEW MEXICO EXCAVATION LAWS (NM811), MUNICIPAL AND LOCAL ORDINANCES, SITE SPECIFIC RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE UTILITY LINES AND FACILITIES.
6. THE DESIGN OF PLANTERS AND LANDSCAPED AREAS IS NOT PART OF THIS PLAN. ALL PLANTERS AND LANDSCAPED AREAS ADJACENT TO THE BUILDING(S) SHALL BE PROVIDED WITH POSITIVE DRAINAGE TO AVOID ANY PONDING ADJACENT TO THE STRUCTURE. FOR CONSTRUCTION DETAILS, REFER TO LANDSCAPING PLAN.
7. ALL BROKEN OR CRACKED SIDEWALK AND CURB & GUTTER MUST BE REPLACED WITH NEW SIDEWALK AND CURB & GUTTER PER C.O.A. STD DWGS 2415 AND 2430.

KEYED NOTES:

1. NEW INTERACTIVE TELLER MACHINE WITH BOLLARDS PER MANUFACTURER'S SPECIFICATIONS.
2. NEW STRIPING - 4" WIDE WHITE REFLECTORIZED TRAFFIC PAINT, 2 COATS.
3. NEW ACCESSIBLE PARKING SPACE STRIPING AND CROSS-HATCH 4" WIDE BLUE REFLECTORIZED TRAFFIC PAINT, 2 COATS.
4. NEW ACCESSIBLE PARKING SYMBOL PER A.D.A. GUIDELINES.
5. STENCILED PAINTED WORDS "NO PARKING".
6. NEW ACCESSIBLE PARKING SIGN PER A.D.A. GUIDELINES WITH VAN ACCESSIBLE PLACARD AND LANGUAGE THAT "VIOLATORS ARE SUBJECT TO A FINE OR TOWING".
7. INSTALL CONCRETE WHEELSTOPS PER TYPICAL DETAIL, SHEET CS501.
8. NEW 5 FT LONG DIRECTIONAL ARROW, WHITE REFLECTORIZED TRAFFIC PAINT, 2 COATS.
9. NEW 3000 PSI CONCRETE TURNDOWN SIDEWALK/DIVIDER PER TYPICAL SECTION, SHEET CS501.
10. NEW ASPHALT PAVEMENT PER TYPICAL SECTION, SHEET CS501.
11. NEW PCC HEADER CURB PER TYPICAL SECTION, SHEET CS501.
12. NEW OVERHEAD CANOPY.
13. NEW 6" CURB & GUTTER PER TYPICAL SECTION, SHEET CS501.
14. NEW ATM.
15. NEW STOP SIGN AND POST, FACING NORTH WITH "DO NOT ENTER" SIGN FACING SOUTH.
16. STENCILED PAINTED LETTERS "MC" AND SIGN INDICATING "MOTORCYCLE PARKING ONLY".
17. (2) NEW BICYCLE RACKS (4 SPACES).
18. MIN CLEAR SITE TRIANGLE. LANDSCAPING AND SIGNAGE SHALL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) SHALL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
19. INSTALL 24" TRUNCATED DOME PLATE EMBEDDED INTO CONCRETE.
20. REMOVE AND DISPOSE OF EXISTING 5 FT WIDE SIDEWALK AND REPLACE WITH NEW 6 FT WIDE SIDEWALK.
21. STENCILED PAINTED WORDS 2 FT TALL "DO NOT ENTER"

PARKING CALCULATIONS (2,097 SF TOTAL GSF)

OFF-STREET PARKING REQUIREMENT (BANK) = 3 SPACES PER 1000 GSF = 9  
13 SPACES ARE PROVIDED (1 IS ACCESSIBLE)  
REQUIRED ACCESSIBLE PARKING = 1 PER 25 (1 IS PROVIDED)  
REQUIRED MOTORCYCLE PARKING = 1 PER 25 (2 ARE PROVIDED)  
REQUIRED BICYCLE PARKING IS 3 SPACES (MIN) OR 10%. (4 ARE PROVIDED)

NOTE:

THIS IS NOT A BOUNDARY SURVEY OR A RIGHT-OF-WAY SURVEY. APPARENT PROPERTY CORNERS, RIGHT-OF-WAY LINES, OR PROPERTY LINES AS SHOWN ARE DERIVED FROM RECORD SURVEY PLATS, RIGHT-OF-WAY MAPS, OR DEEDS REFERENCED HEREON AND ARE NOT GUARANTEED OR TO BE RELIED ON FOR THE ESTABLISHMENT OF PROPERTY LINES. THE TOPOGRAPHIC AND UTILITY INFORMATION DEPICTED HEREON IS BASED UPON THE TOPOGRAPHIC AND UTILITY SURVEY PREPARED BY HIGH MESA CONSULTING GROUP, NMPS NO. 15075, DATED 04/08/2020 (2020.019.2). REFER TO SHEET V101 FOR THE SURVEY.

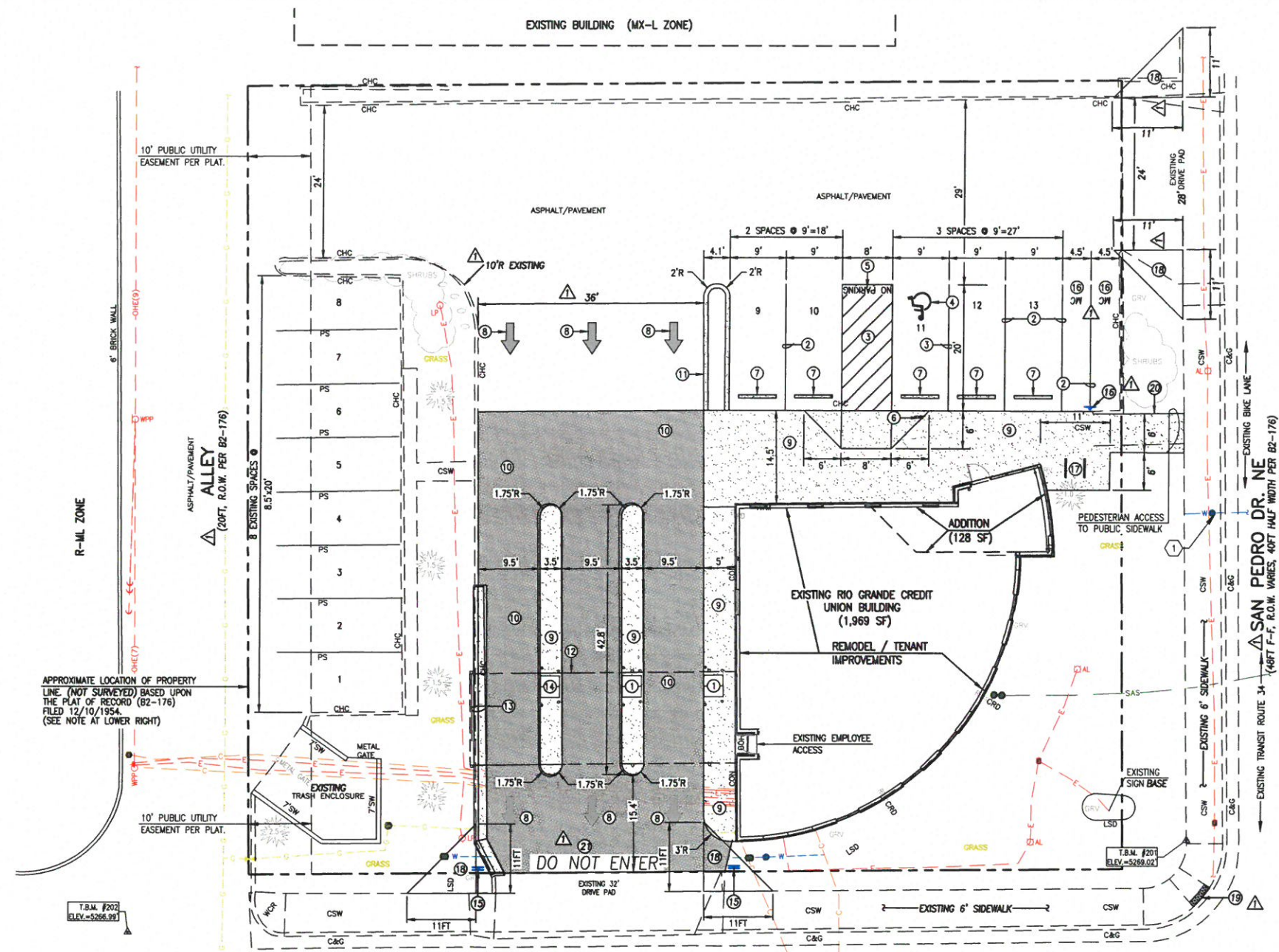
LEGEND

- COMM RISER
- ELEC OUTLET
- BOLLARD FENCE
- GAS VALVE SOURCE
- GAS METER
- GAS PRESSURE RELIEF VALVE
- IRR CONTROL BOX
- LIGHT POLE
- WOODEN POWER POLE
- CLY WIRE ANCHOR
- SAS SINGLE CO
- ROOF DRAIN
- METAL SIGN GENERAL
- WATER VALVE BOX
- WATER METER BOX
- CONIFEROUS TREE
- SHRUB
- SMALL SHRUB
- LANDSCAPE ROCK/BOULDER
- AREA LIGHT
- BUILDING OVERHANG
- COMMUNICATIONS
- CURB AND GUTTER
- CONCRETE HEADER CURB
- CONCRETE ISLAND
- CONCRETE RUNDOWN
- CONCRETE SIDEWALK
- DEPOSIT BOX
- ELECTRIC VAULT
- FLOWLINE
- GAS
- GRAVEL
- HANDICAP SIGN
- LANDSCAPE DIVIDER
- METAL SIGN
- PAINTED ISLAND
- PAINTED STRIPE
- RIVER ROCK
- SANITARY SEWER
- SIGN
- STUCCO WALL
- TOP BACK OF CURB
- TOP OF CONCRETE
- TRAFFIC SIGN
- WATER
- WHEEL CHAIR RAMP
- WHEEL STOP

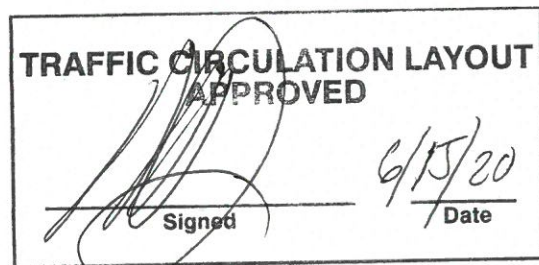
PROPOSED CONCRETE  
PROPOSED ASPHALT PAVING

APWA UTILITY COLOR CODE

- RED - ELECTRIC POWER LINES, CABLES, CONDUIT AND LIGHTING CABLES
- YELLOW - GAS, OIL, STEAM, PETROLEUM OR GASEOUS MATERIALS
- ORANGE - COMMUNICATION, ALARM OR SIGNAL LINES, CABLES OR CONDUIT AND TRAFFIC LOOPS
- BLUE - POTABLE WATER BLUE
- GREEN - SANITARY SEWER LINES



A1 SITE PLAN  
SCALE: 1" = 10'



ALL WHEELCHAIR RAMPS LOCATED  
WITHIN THE PUBLIC RIGHT OF WAY  
MUST HAVE TRUNCATED DOMES.

IDO ZONING

MX-L

LEGAL DESCRIPTION

LOTS 10-14, BLOCK 9, HINTON SUBDIVISION OF TRACT 9 OF MILE HI ADDITION (B2-176).

PROJECT BENCHMARK

AN AGRS BRASS DISK STAMPED "2-J18 1981", SET FLUSH WITH THE GROUND, 42 FEET EAST OF THE CENTERLINE OF SAN PEDRO BLVD NE AND 26 FEET SOUTH OF THE CENTERLINE OF CONSTITUTION AVE NE. ELEVATION = 5261.29 FEET (NAVD 1988)

TEMPORARY BENCHMARK #201 (T.B.M.)

A 600 NAIL W/WASHER STAMPED "NMPS 15075", SET IN CONCRETE NEAR THE SOUTHEAST CORNER OF THE PROJECT SITE, AS SHOWN ON THIS SHEET. ELEVATION = 5269.02 FEET (NAVD 1988)

TEMPORARY BENCHMARK #202 (T.B.M.)

A 600 NAIL W/WASHER STAMPED "NMPS 15075", SET IN AN ASPHALT ALLEY WAY NEAR THE SOUTHWEST CORNER OF THE PROJECT SITE, AS SHOWN ON THIS SHEET. ELEVATION = 5266.99 FEET (NAVD 1988)

KEYED SUBSURFACE UTILITY NOTES

1. LOCATION OF DOMESTIC WATER SERVICE WAS NOT ASCERTAINABLE FROM METER TO BUILDING.

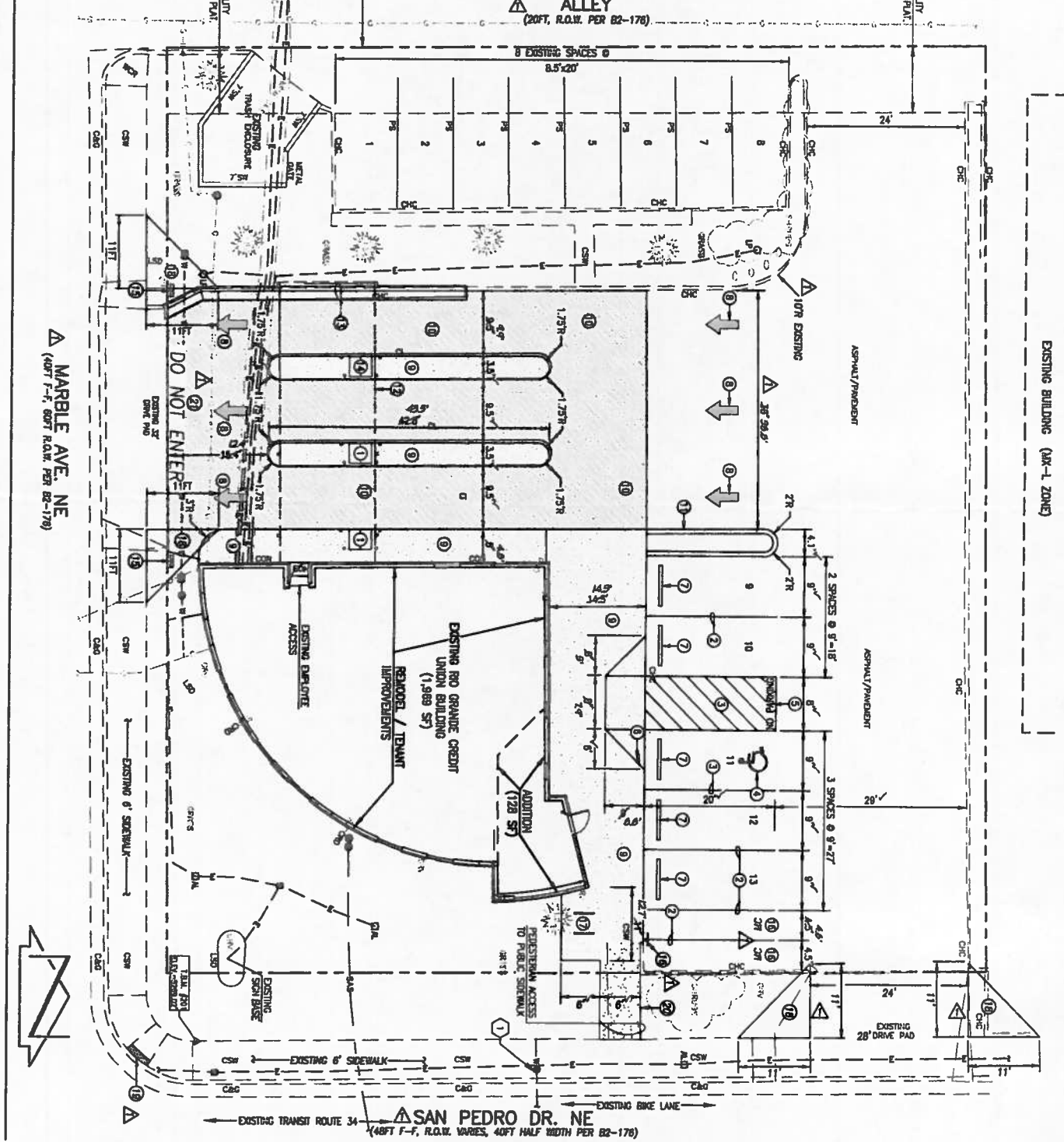


LEGEND

1. SHRUB  
2. SMALL SHRUB  
3. LANDSCAPE ROCK/BOULDER  
4. AREA LIGHT  
5. BUILDING OVERHANG  
6. COORDINATING  
7. CONCRETE WALKWAY  
8. CONCRETE DRIVE  
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A1 SITE PLAN

SCALE: 1" = 10'



- KEYED NOTES:
1. NEW INTERACTIVE TELLER MACHINE WITH BUILDINGS PER MANUFACTURER'S SPECIFICATIONS.
  2. NEW STRIPING - 4" WIDE WHITE, REFLECTORIZED TRAFFIC PAINT, 2 COATS.
  3. NEW ACCESSIBLE PARKING SPACE STRIPING AND CROSS-HATCH 4" WIDE BLUE, REFLECTORIZED TRAFFIC PAINT, 2 COATS.
  4. NEW ACCESSIBLE PARKING SIGNAGE PER ADA GUIDELINES.
  5. NEW STICKERED PARKING SIGNAGE PER ADA GUIDELINES.
  6. NEW ACCESSIBLE PARKING SIGNAGE PER ADA GUIDELINES.
  7. NEW ACCESSIBLE PARKING SIGNAGE PER ADA GUIDELINES.
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  19. NEW ACCESSIBLE PARKING SIGNAGE PER ADA GUIDELINES.
  20. NEW ACCESSIBLE PARKING SIGNAGE PER ADA GUIDELINES.
  21. NEW ACCESSIBLE PARKING SIGNAGE PER ADA GUIDELINES.

- LEGAL DESCRIPTION
- LOT 10-14, BLOCK 8, HANSON SUBDIVISION OF TRACT 9 OF LAND IN ADDITION (RE-177).
- PROJECT BENCHMARK
- ALL AGES BRASS CRYSTAL STAMPED "3-118 1881" SET IN CONCRETE NEAR THE CORNER OF THE PROJECT SITE, AS SHOWN ON THIS SHEET. ELEVATION = 5289.02 FEET (NAD 1983).
- TEMPORARY BENCHMARK #201 (T.B.M.)
- A 600 N.W. WATKINS STAMPED "NAPS 1973" SET IN CONCRETE NEAR THE SOUTHWEST CORNER OF THE PROJECT SITE, AS SHOWN ON THIS SHEET. ELEVATION = 5289.02 FEET (NAD 1983).
- TEMPORARY BENCHMARK #202 (T.B.M.)
- A 600 N.W. WATKINS STAMPED "NAPS 1973" SET IN CONCRETE NEAR THE SOUTHWEST CORNER OF THE PROJECT SITE, AS SHOWN ON THIS SHEET. ELEVATION = 5289.02 FEET (NAD 1983).
- KEYED SUBSURFACE UTILITY NOTES
1. LOCATION OF DOMESTIC WATER SERVICE WAS NOT ASCERTAINABLE FROM METERS TO BUILDING.

ENGINEER'S CERTIFICATION FOR PERMITTING C.O.

I, J. GRADE, MEANS, NAPS 1973, OF THE FIRM HIGH MESA CONSULTING GROUP, INC., CERTIFY THAT THIS PROJECT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE, NEW MEXICO, ORDINANCE 10-20-2020, AND THE RECORD DRAWING APPROVED PLAN DATED 04-26-2020.

THE RECORD INFORMATION DATED 04-26-2020, THE ORIGINAL DESIGN DOCUMENT DATED 10-23-2020 BY HIGH MESA CONSULTING GROUP, INC., UNDER THE DIRECTION OF J. GRADE, MEANS, NAPS 1973, AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED TO SUPPORT A PERMITTING CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE PROJECT WITH THE CITY OF ALBUQUERQUE, NEW MEXICO, ORDINANCE 10-20-2020, AND NOT ADDRESS ANY COMPLIANCE, THOSE RELYING ON THIS RECORD DOCUMENT BEFORE USING IT FOR ANY OTHER PURPOSE.

*J. GRADE, MEANS, NAPS 1973*

REGISTERED PROFESSIONAL ENGINEER  
NEW MEXICO  
1000070  
DATE

RECORD DRAWING

RECORDED INFORMATION (AS NOTED BY ENGINEER)

AS-CORRECTED - AS-CORRECTED  
(RECORDED BY AS-BUILT SURVEY)

SCALE: 1" = 10'

10 0 10

PARKING CALCULATIONS (2,097 SF TOTAL CSF)

1. OFF-STREET PARKING REQUIRED (BANK) = 3 SPACES PER 1,000 CSF = 6 SPACES

2. REQUIRED ACCESSIBLE PARKING = 1 PER 25 (1 IS PROVIDED)

3. REQUIRED ACCESSIBLE PARKING = 1 PER 25 (2 ARE PROVIDED)

4. REQUIRED ACCESSIBLE PARKING = 1 PER 25 (2 ARE PROVIDED)

5. REQUIRED ACCESSIBLE PARKING = 1 PER 25 (2 ARE PROVIDED)

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19. REQUIRED ACCESSIBLE PARKING = 1 PER 25 (2 ARE PROVIDED)

20. REQUIRED ACCESSIBLE PARKING = 1 PER 25 (2 ARE PROVIDED)

21. REQUIRED ACCESSIBLE PARKING = 1 PER 25 (2 ARE PROVIDED)

NOTE:

THIS IS NOT A BOUNDARY SURVEY OR A RIGHT-OF-WAY SURVEY. IT IS A RECORD DRAWING OF THE EXISTING CONDITIONS AND THE PROPOSED IMPROVEMENTS. THE PROPERTY LINES AND THE RIGHT-OF-WAY LINES ARE NOT QUANTIFIED OR TO BE RULLED ON FOR THE ESTABLISHMENT OF PROPERTY LINES. THE TOPOGRAPHIC AND UTILITY INFORMATION DEPICTED HEREON IS BASED UPON THE TOPOGRAPHIC AND UTILITY SURVEY PREPARED BY HIGH MESA CONSULTING GROUP, NAPS NO. 1973, DATED 04/09/2020 (2020.019.2). REFER TO SHEET V-101 FOR THE SURVEY.

HIGH MESA Consulting Group  
2020.019.3

8010-B Midway Park Blvd. NE, Albuquerque, New Mexico 87110  
Phone: 505.344.4400 • Fax: 505.344.4404 • www.highmesaconsulting.com

DEKKER PERICH SABATINI

ARCHITECTURE DESIGN INSPIRATION

ARCHITECT

ENGINEER

09/08/2020 04/22/2020

PROJECT

RGCU Marble  
1201 SAN PEDRO DR. NE  
ALBUQUERQUE, NM 87110

CONSTRUCTION DOCUMENTS

REVISIONS

ADDRESS: 121 COMMENTS

ENGINEER'S CERTIFICATION

DRAWN BY: J.Y.R.

REVIEWED BY: G.M.

DATE: 02/22/20

PROJECT NO.: 18-0106

DRAWING NAME: SITE PLAN

SHEET NO.: CS101