

September 4, 2008

Jonathan Stern, R.A. George Rainhart Architect & Associates 2325 San Pedro NE, Suite 2B Albuquerque, NM 87110

Re: Starbucks at Haines / San Mateo, 2104 San Mateo Blvd NE,

Certificate of Occupancy – Transportation Development

Architect's Stamp dated 2-27-08 (J18-D023)

Certification dated 9-03-08

Dear Mr. Stern,

PO Box 1293

Based upon the information provided in your submittal received 9-03-08, the above referenced certification is approved for release of **90-day temporary** Certificate of Occupancy by Transportation Development.

Albuquerque

If you have any questions, you can contact me at 924-3991.

NM 87103 ----

Kristal D. Metro, P.E.

Sincerely,

www.cabq.gov

Traffic Engineer, Planning Dept.

Development and Building Services

C: CO Clerk File CPN 551385

No SIA, No inspections, No As-Builts

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 12/2005)

PROJECT TITLE: SAH MATEO + HAINS STARBUCKS	
DRB#: EPC#: WO	RK ORDER#: 551365
JOH SAN MERED. NE	1
LEGAL DESCRIPTION: Lot 4A Block 10 LIT LANS. CITY ADDRESS: N.G.C of SAH MATES + Hains.	BR-SUBPIVISION
CITY ADDRESS: N.G.C of SALI MATES + HAINS.	2104 San Mater Blud NE
ENGINEERING FIRM:	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	ZIP CODE:
OWNER:	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	ZIP CODE:
ADCHITECT. Lange Paired and Army Army Army	
ARCHITECT: CROPESE FRINHARY ARCHITECT ASSECTION ADDRESS: 7326 SAN PEDED N.E. CHEZE	CONTACT: STEPHEN DUNSAR PHONE: 333-1477-196
	PHONE: 333-1477-126_
CITY, STATE: 1915	ZIP CODE: <u>多711つ</u>
SURVEYOR:	
ADDRESS:	CONTACT:
CITY, STATE:	PHONE:
	ZIP CODE:
CONTRACTOR: WILLEE BUT	CONTACT: DH.
ADDRESS: 420 BbmoH.	PHONE: 345.2854
CITY, STATE:	ZIP CODE: 2707
TYPE OF SUBMITTAL: CHECK TYPE OF APP	ROVAL SOUGHT:
DRAINAGE REPORT SIA/FINANCI	IAL GUARANTEE RELEASE
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CONCEPTUAL G & D PLAN S. DEV. FOR 1	BLDG. PERMIT APPROVAL
GRADING PLAN SECTOR PLA	NAPPROVAL
EROSION CONTROL PLAN FINAL PLAT	
ENGINEER'S CERT (HYDROLOGY) FOUNDATION	N PERMIT APPROVAL
CLOMR/LOMR BUILDING PE	ERMIT APPROVAL
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DATE SUBMITTED: 755	BY: Deal Day

Requests for approvals of Site Development Pien are for Site division Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.

Drainage Plane: Required for building nearly and Sector Plans.

2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.

3. Drainage Plans: Required for subdivision to the plans less than five (5) acres.

3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

Jake Bordenave

TRAFFIC CERTIFICATION

I, JONATHAN STERN, NMPE OR NMRA 003419, OF THE FIRM MODULUS ARCHITECTS INC. HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL DESIGN COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 2/27/08. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY JONATHAN STERN OF THE FIRM MODULUS ARCHITECTS INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 8/25/08 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR FINAL CERTIFICATE OF OCCPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Signature of Engineer or Architect

9/3/08 Date



ARCHITECT'S STAMPCTON

A LIT

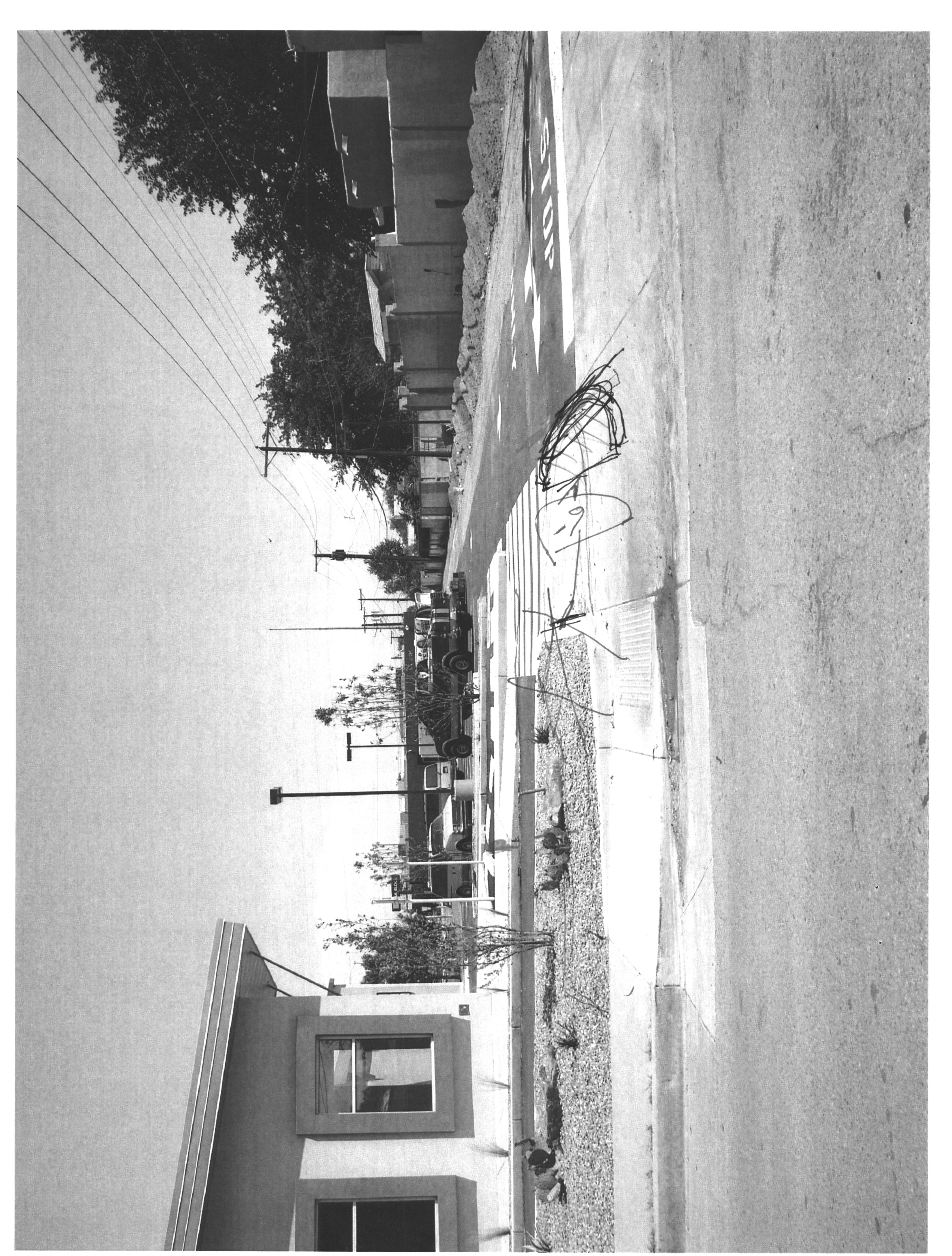


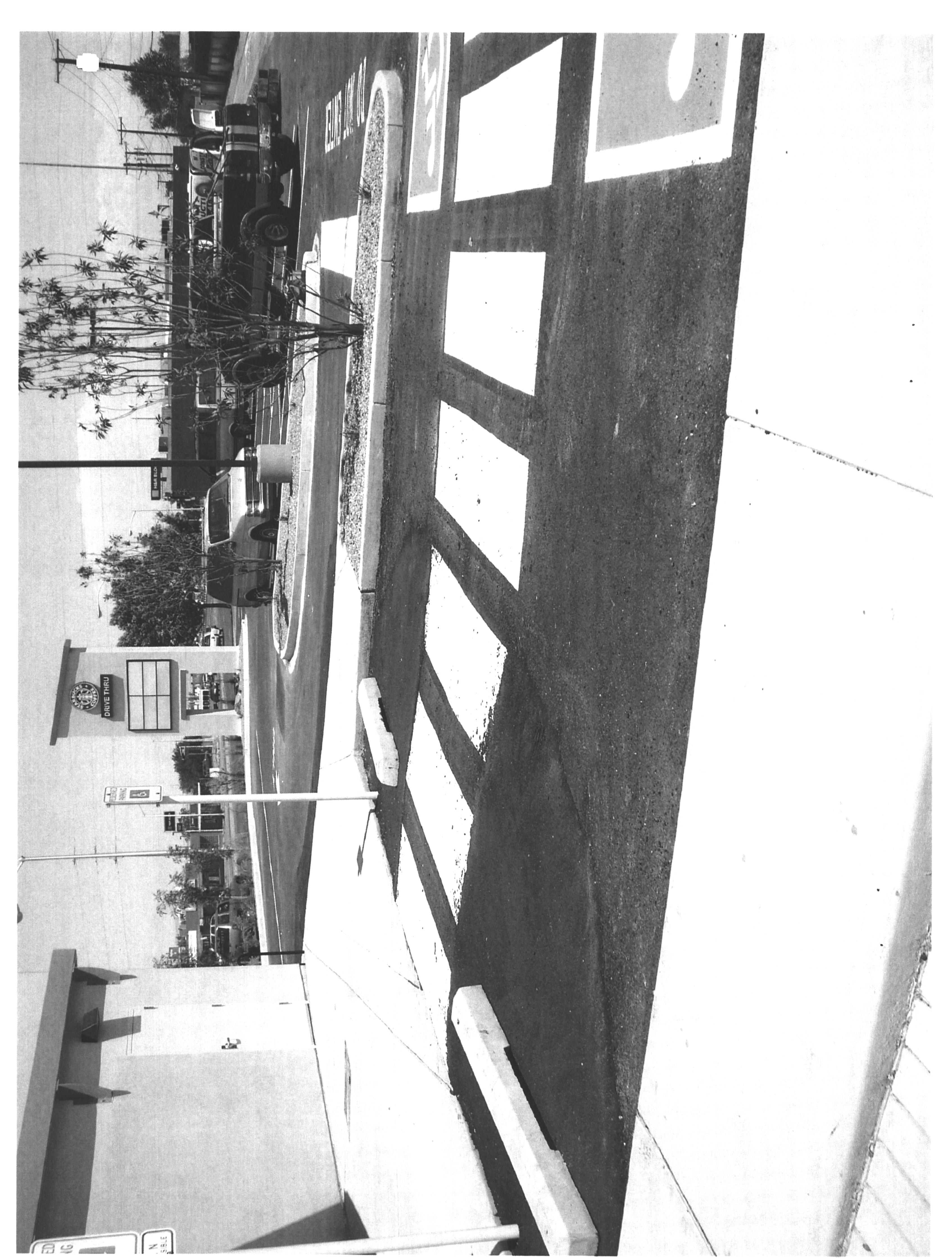
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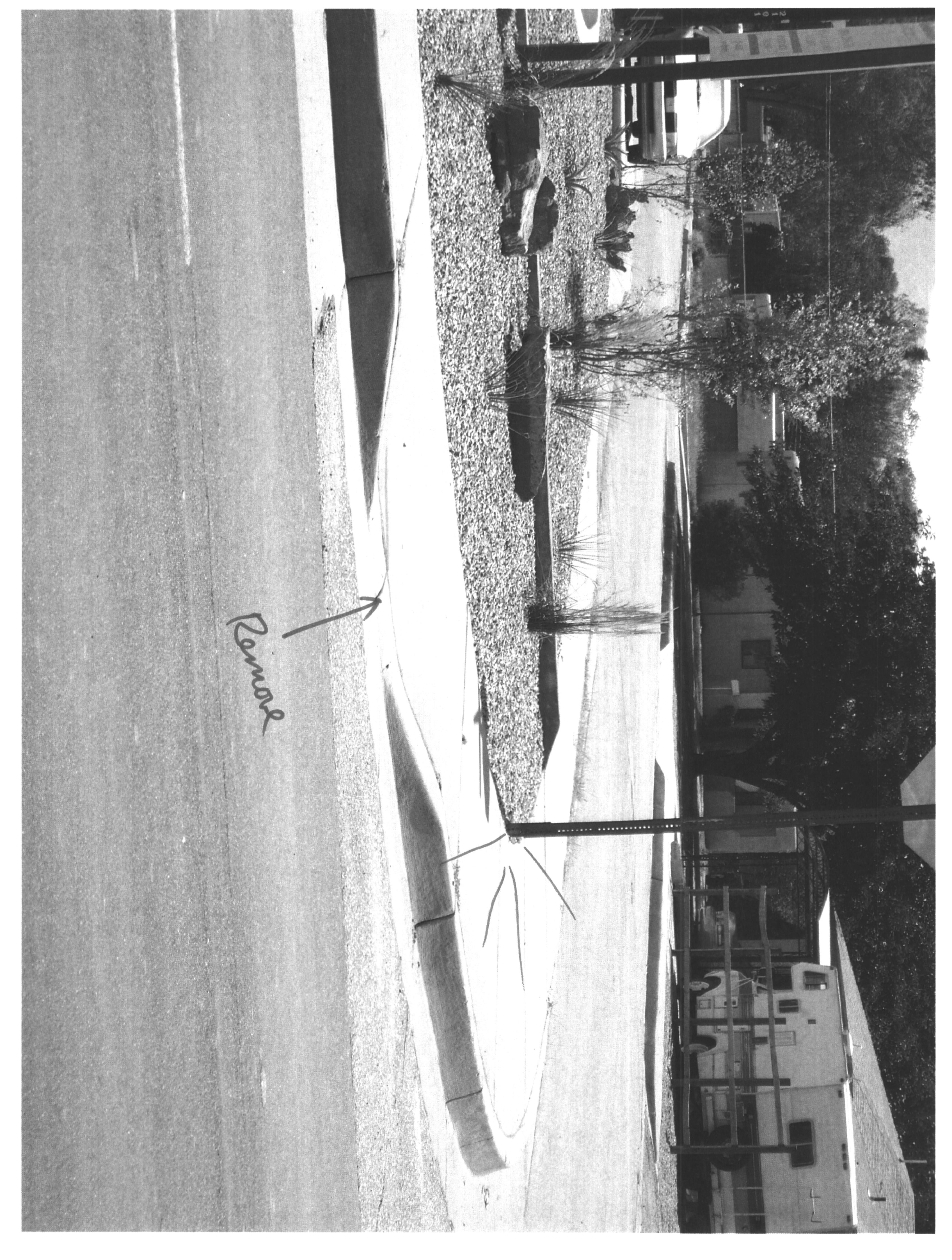
2325 San Pedro NE, Suite 2b Albuquerque, NM 87110 p: 505-338-1499 f: 505-338-1498 Toll Free 1-866-224-2161













8/13/08 - 10day temp for
Hyd. t Trans

(REV 12/2005)

PROJECT TITLE: TARRICKS	ZONE MAP: <u>5-18</u> DO?
DRB#: EPC#:	WORK ORDER#:
LEGAL DESCRIPTION: LOLA BOOK 16	5 WAGNER SUBDIVISION AS NM
CITY ADDRESS:	
ENGINEERING FIRM: LEUIT DAIDEE ADDRESS: ZZZS SANI PEDES SEC	CONTACT:
ADDRESS: ZZZS SANI PEDED SEC	PHONE:
CITY, STATE: A	ZIP CODE.
OWNER:	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	ZIP CODE:
ARCHITECT: GEORGE FEINHARER AREN 3 A	CONTACT: SEPHENDE 28 PHONE: 338-1489
ADDRESS: Z3Z9 SAN PESSON N.E. S	E 25 PHONE: 338-1479
CITY, STATE: A	ZIP CODE: 37112
SURVEYOR:	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	ZIP CODE.
CONTRACTOR: LICEPENT ADDRESS: 42 Exman.	TON'INCT
CITY, STATE:	ZIP-CODE:
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TYPE OF SUBMITTAL:	TYPE OF APPROVAL OUGHT.
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DRAINAGE PLAN RESUBMITING	S. DEC. PLAN FOR SUB'D ARPROVAL
CONCEPTUAL G & D PLAN	S. DBY. FOR BLDG. PERMIT APPROVAL
	SECTOR PLAN APPROVAL
	FINAL PLAT APPROVAL
ENGINEER'S CERT (HYDROLOGY) CLOMR/LOMR	HOUNDATION PERMIT APPROVAL
	BUILDING PERMIT APPROVAL (PERM)
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	GRADING HERMI APPROVAL
	PAVING PERMIT APPROVAL
	WORK ORDER APPROVAL
	OTHER (SPECIEY) JUL 3 1 2008
WAS A PRE-DESIGN CONFERENCE ATTENDED:	
YES	HYDROLOGY
NO	SECTION
COPY PROVIDED	
DATE SUBMITTED: 75023	BY: Shert Duck

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



February 27, 2008

George Rainhart, R.A.
George Rainhart Architect & Associates
2325 San Pedro NE Suite 2-B
Albuquerque, NM 87110

Re:

Starbucks at Haines / San Mateo, 2104 San Mateo Blvd NE, Traffic Circulation Layout Architect's Stamp dated 2-27-08 (J18-D023)

Dear Mr. Rainhart,

The TCL submittal received 2-27-08 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.

Prior to certificate of occupancy approval, the following items must be completed:

- A recorded copy of the public roadway easement must be included for our files.
- The work order along the alley must be completed and closed out.

Albuquerque

P.O. Box 1293

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed <u>Drainage and Transportation Information Sheet</u> to Hydrology at the Development Services Center of Plaza Del Sol Building.

New Mexico 87103

www.caba.gov

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed <u>Drainage and Transportation Information Sheet</u> to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

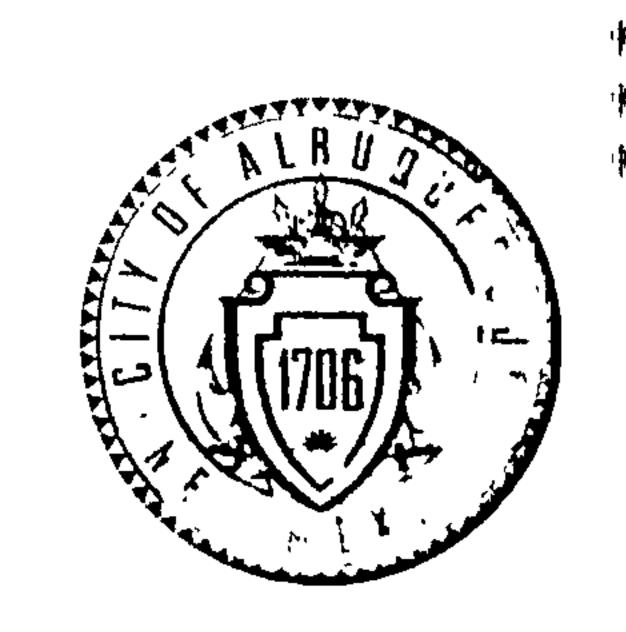
Sincerely,

Kristal D. Metro, P.E.

Traffic Engineer, Planning Dept.

Development and Building Services

C: File



August 29, 2008

Levi J. Valdez, P.E. c/o George T. Rodriguez George T. Rodriguez - Development Consultant 12800 San Juan NE Albuquerque, NM 87123

Re: Starbucks @ San Mateo & Haines NE, 2104 San Mateo Blvd. NE,

Approval of Permanent Certificate of Occupancy (C.O.)

Engineer's Stamp dated 1/07/08 (J-18/D023)

Certification dated 8/28/08

Mr. Valdez,

PO Box 1293

Based upon the information provided in your submittal received 8/29/08, the above referenced certification is approved for a release of Permanent Certificate of Occupancy by hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3982.

NM 87103

Timothy E. Sims

Sincerely,

www.cabq.gov Pla

Plan Checker, Hydrology

Development and Building Services

C: CO Clerk—Katrina Sigala

File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: STARBUCKS @]	ZXX MATEO & HAINES X.	E ZONE MAP: 718/10023
	WORK	
LEGAL DESCRIPTION: LOT 4-A CITY ADDRESS:	BUCKIGO W.J. KIAC	SKER SUBDIVISION
ENGINEERING FIRM: SERVE TOK	ALDEZ, P.E. DORIGUEZ-DEVEL CONSUL	CONTACT: CERONES ROLLES
ADDRESS: <u>/2800 SAX/</u> CITY, STATE: <u>ALBUQUE</u>	JUZN N.E.	PHONE: 6/0-0593 ZIP CODE: 87/2.3
OWNER: COE & PETERSON/ ADDRESS: 2325 SAW, CITY STATE: ALBIONES	LLC EDROKIESITE Z-A RRIVESKINEX/CO	CONTACT: SIEVE COE. PHONE: ZSO-ZZOS
ARCHITECT: SECRES RIVER		CONTACT. STAR DIKIBAR
SURVEYOR: ADDRESS:	•	CONTACT: <u>7044 FARRAS</u> PHONE: 889-8056
CONTRACTOR: W/LGGE C. ADDRESS: 425 ED	CXSTRUCTION! MON N.E.	CONTACT: JOHN KILLER PHONE: 345: -2854- ZIP CODE: 87107
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Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: STARBUCKS PSAVA	LATEO & HAINES H	ZONE MAP: 7/2	3/2023
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LEGAL DESCRIPTION: LOT 4-A", BLACE CITY ADDRESS: LIOH SXXXXXXX	OK 16, 11. K/	SCHER SUBDIVISION	<u></u>
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ENGINEERING FIRM: SERVE T. KOOK!	GUEZ-DEVEL CONST	U CONTACT: CETOCLES	ひとくばら
ADDRESS: 12800 SAX JUXX		_ PHONE: _ 6/0 - 059	
CITY, STATE: ALBUQUESCOUS	NEW MEXICO	ZIP CODE: 87/23	
OWNER: COE & PETERSON, LL	· .	CONTRA COTO STEVE CO	
ADDRESS: 2325 SAV PEDR	DN.E - VIIF 7-1	CONTACT: SELE CO	کے
CITY, STATE: ALBUQUEROLE	NEKLANEXICO	7IP CODE: 23 2203	
			-
ARCHITECT: SELPSES AND THEY	-ACHITECT	_ CONTACT: 37EVEDU	YBKR.
ADDRESS: 2325 SAN PEDRO	N.ESUITE Z-B	_ PHONE:	10
CITY, STATE: ALBIROLLEROLLE	SEN MEXICO	_ ZIP CODE: <u>87//0</u>	·
SURVEYOR: HARRIS SURVEY		CONTRACT TOUR LIXE) p K
ADDRESS:	/ (5	_ CONTACT: <u>///// ////</u> PHONE: 889-805	
CITY, STATE: ALBUQUERQU	E- NEW MEXICO	ZIP CODE: 87//0	<u></u>
	INCICIONI	_ CONTACT: JOHN //	Lotsky.
ADDRESS: <u>425 EDMAN</u> CITY, STATE: ALBINOLIEROUS	FXIEW MEYICA	PHONE: 345-2859	/
CITT, DIATE CALLERYCE CYCE	- 5/VC-9V/V/C-1/Y CC-	_ ZIP CODE: <u>87/07</u>	<u> </u>
TYPE OF SUBMITTAL:	CHECK TYPE OF APPR	ROVAL SOUGHT:	
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DATE SUBMITTED:	, <u> </u>	BY: O-1. KOZAKE	

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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February 7, 2008

Levi J. Valdez, P.E. George T. Rodriguez - Development Consultant 12800 San Juan N.E. Albuquerque, NM 87123

Re: Starbuck's Coffee Co., Lot 4-A, Grading and Drainage Plan

Engineer's Stamp dated 12-04-07 (J-18/D023)

Mr. Valdez:

Based upon the information provided in your submittal received 1-17-08, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

P.O. Box 1293

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

Albuquerque

If you have any questions, you can contact me at 924-3982.

New Mexico 87103

Timothy Sings

Plan Checker - Hydrology, Planning Dept.

Development and Building Services

www.cabq.gov

Cc: Bradley L. Bingham

File

	REV 12/2005)	1-18/D023
PROJECT TITLE: STARBUCKS @SAW.	MATEO & HAINES	N.E. ZONE MAP. ZZ
DRB#: EPC#:	WORK	CORDER#:
LEGAL DESCRIPTION: LOT 4-A", BLU CITY ADDRESS:	CK 16, W.J. WAGE BLVD. W.E.	VER SUBDIVISION
ENGINEERING FIRM: CENTER TO RODE	IFT-MEVEL MAININ	TOONTHOTH CONTRACTOR CONTRACTOR
ADDRESS: 12800 SAN JUAN CITY, STATE: ALBUQUERQUE	N.E. NEW MEXICO	PHONE: <u>6/0-0593</u> ZIP CODE: <u>87/23</u>
OWNER: COE & PETERSON. L	20	CONTACT. STEVE COF
ADDRESS: 2325 SKY PEARO	N.ESUITE A	PHONE: 250-2205
CITY, STATE: ALBUQUE, 2011		ZIP CODE: 87/10
ARCHITECT: GEORGE RANGHART- ADDRESS: 2325 SAN PEORE CITY, STATE: LENGUERQUE	クノン・モーシリカー	CONTACT: STEVE DUNBAR PHONE: 884-9110 ZIP CODE: 87110
SURVEYOR:	6-	CONTACT: 7001 HARRIS PHONE: 889-8056
CITY, STATE: ALBIQUERQUES,	NEWNEXCO	ZIP CODE: 87//0
CONTRACTOR: KILGER CONST- ADDRESS: 425 EDMON N. E CITY, STATE: KLBUQUEROUE		CONTACT: 244 WILGER PHONE: 345-2854
		ZII CODE
TYPE OF SUBMITTAL: DRAINAGE REPORT DRAINAGE PLAN 1st SUBMITTAL DRAINAGE PLAN RESUBMITTAL CONCEPTUAL G & D PLAN GRADING PLAN	PRELIMINARY S. DEV. PLAN F S. DEV. FOR BI	C GUARANTEE RELEASE PLAT APPROVAL OR SUB'D APPROVAL DG. PERMIT APPROVAL
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DATE SUBMITTED: DECEMBER	6. 2007	BY: SORGE TO RODRIGUEZ
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Requests for approvals of Site Development Plans and/or Subdivise location, and scope to the proposed development defines the decree	ion Plats shall be accompanied by a	drainage submittal. The particular nature,

location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be

Drainage Plans: Required for building permits, grading permits, paving permits and site plans ters than five (5) acres.

Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.

required based on the following:

INGRESS-EGRESS, AND SURFACE DRAINAGE EASEMENT WITHIN LOT "5-A" BLOCK 16 W.J. WAGNER SUBDIVISION ALBUQUERQUE, NEW MEXICO DECEMBER, 2007

Whereas, San Mateo/Indian School. LLC, a New Mexico Limited Liability Company, whose address is 2325 San Pedro N.E., (2-A) Albuquerque, New Mexico, 87110, are owner(s) and proprietor(s) of Lots "4-A" and "5-A", in Block Sixteen (16), W.J. WAGNER SUBDIVISION, to the City of Albuquerque, New Mexico, as the same are shown and designated on the plat thereof filed in the office of the County Clerk of Bernalillo County, New Mexico, on April 26, 2006, (BK-2006C, p.134).

Said Owner(s) and Proprietor(s) of aforementioned LOT "5-A" do hereby grant an Ingress-Egress and Surface Drainage Easement over and across the Southerly ten feet (10.00') of said LOT "5-A" for the benefit of aforementioned LOT "4-A", (as shown on Attached Exhibit "A"); said owner(s) and proprietor(s) are to hereafter equally share in the maintenance and expenses for the upkeep of said easement(s).

These "Easement(s)", shall be binding upon the owner(s) and proprietor(s) herein, their heir(s) and assign(s) and shall continue to run with said properties in perpetuity.

Owner(s) and Proprietor(s): San Mateo/Indian School LLC, a New Mexico Limited Liability Company; Lots "4-A" and "5-A", in Block Sixteen (16), W.J. WAGNER SUBDIVISION, Albuquerque, New Mexico.

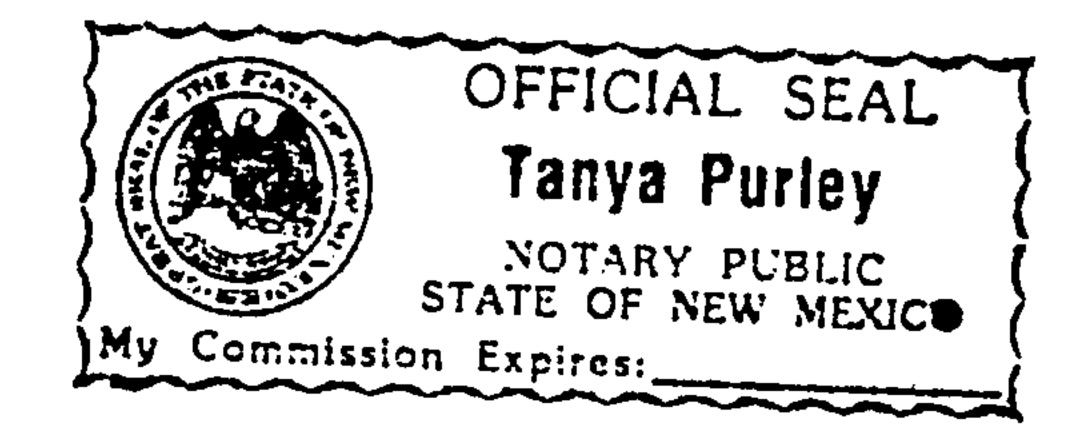
ACKNOWLEDGEMENT:

Steven L. Gee, Managing Member

State of New Mexico)

SS

County of Bernalillo)



Inis foregoing instrument was acknowledged before me this day of
December, 2007, by Steven L. Coe hereby known to me to be Managing Member of
San Mateo/Indian School LLC, the owner(s) and proprietor(s) of the properties referred to
herein, and that they hereby acknowledged the same as thier own free act and deed.
Notary Publice My Commission Expires: 1907, 2007.

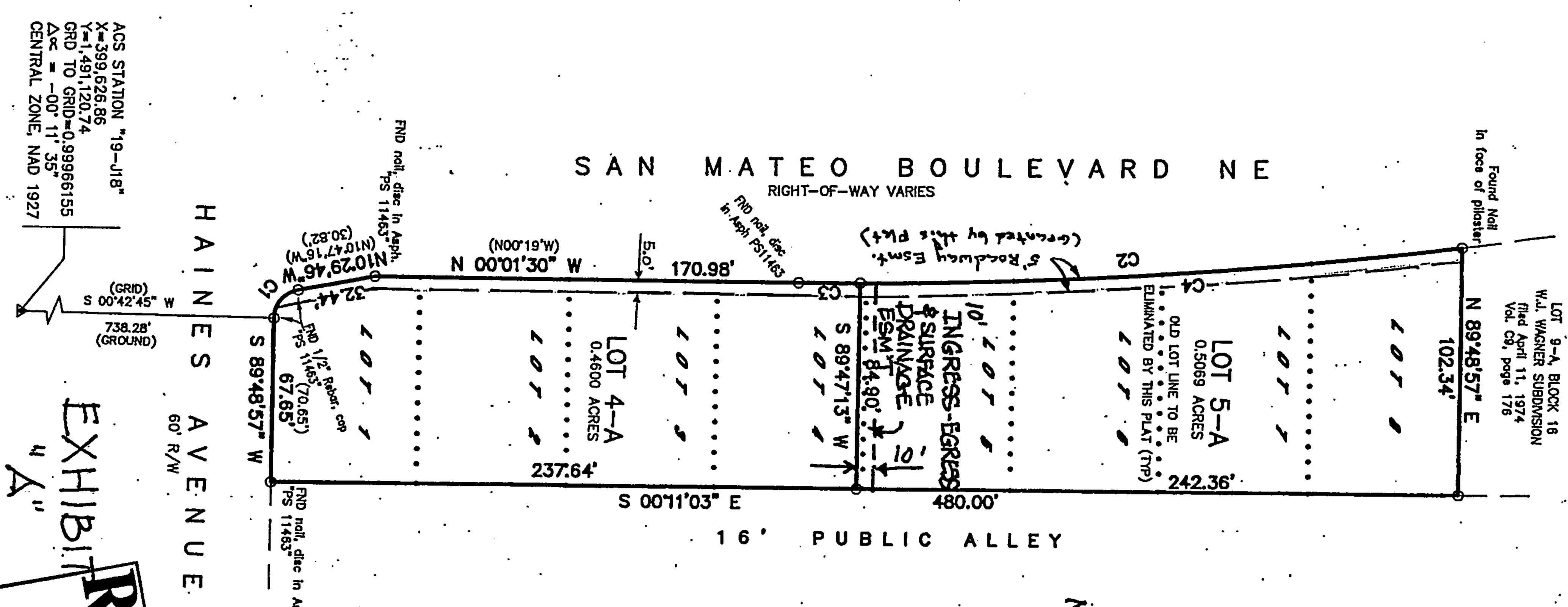
Doc# 2008001940

01/07/2008 02:13 PM Page: 1 of 2
EASE R:\$11.00 M. Toulouse, Bernalillo County

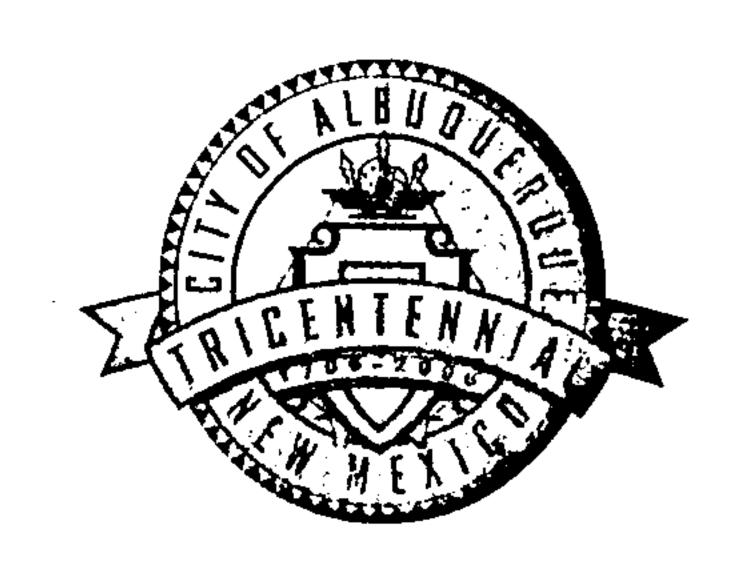
JAN 177008

HYDROLOGY
SECTION

THE D



7. 7. 7.



December 27, 2007

Levi J. Valdez, P.E. George T. Rodriguez - Development Consultant . 12800 San Juan N.E. Albuquerque, NM 87123

Re: Starbuck's Coffee Co., Lot 4-A, Grading and Drainage Plan Engineer's Stamp dated 12-04-07 (J-18/D023)

Mr. Valdez,

P.O. Box 1293 Based upon the information provided in your submittal received 12-10-07, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

Albuquerque

- 1. Provide the recording information for the 10' wide Private Ingress-Egress & Surface Drainage Easement. Who benefits from this easement?
- 2. It appears there will be grading on the property to the north; this will require approval from the owner of lot 5-A.
- 3. Additional elevations will be needed for the motorcycle parking area. This looks like an area where ponding could occur.

New Mexico 87103

If you have any questions, you can contact me at 924-3982.

www.cabq.gov

Loth

Sincerely.

Timothy Sims

Plan Checker-Hydrology, Planning Dept.

Development and Building Services

C: Bradley L. Bingham File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: 572	RBUCKS @SAN	MATEO FHA	INES N.E	- ZONE MAP: 7	8/-
DRB#:					
TEGAT DESCRIPTIONS	10741-8" BID	CV 16 111 T	WIKCHEO	7/27/1/10/24/	•
LEGAL DESCRIPTION: CITY ADDRESS:	CKAL ALL TEN	RIVID XI E	PAHOYXUN J	CENTY SICY	
CIT I ADDKESS:		06			
ENGINEERING FIRM:	ENDE TENDOLO	F.C.	AUWII TOOM	LEVI VA	LDEZ
ADDRESS. 12	300 SAN JULAN	NE VETELLE			
CITY CTATE.	LLBUQUERQUE	A CILL INZ	PHON.	E: <u>6/0-0593</u>	<u> </u>
OWNER: COE &	PETERSON, L. 325 SKYPEARO, ALBUQUERQUE	1C	CONT	ACT: STEKE C	OE
ADDRESS: Z.	325 SKY PEARO,	N.ESUITE	PHON	E: 250-220	5
CITY, STATE: _	ALBUQUEROUS	5. NEW ME	ZIP CC)DE: 87/10	!
ARCHITECT:ARCHITECT:ADDRESS:	GEKANHART-	ARCHITECT	CONT.	ACT: SEVE // E: 884-911	1/KBSR
ADDRESS: 22	325 SAN PEDRI	210-E84172	PHON	E: <u>884-9//</u>	0
CITY, STATE: 💂	SLELIQUERRUE	NEW NEX	ZIP CO	DDE: 87110	
			•		
SURVEYOR:	RIS SURVEYIN	سی	CONT	ACT: ZONY	<u> </u>
ADDRESS:			PHON	E: <u>889-80:</u>	<u>56</u>
CITY, STATE: Z	ALBIQUERQUE.	NEKIMOXI	ZIP CC	DDE: <u>87//0</u>	· · · · · ·
CONTRACTOR:	ILGER CONST-	CO.	CONT	ACT: TOHN W	11LGFE
	25 EDMON N.C	5.		E: 345-28	54
	LLBIQUERQUE)DE: 87/07	
					
TYPE OF SUBMITTAL:		CHECK TYPE OF	F APPROVAL S	OUGHT:	
DRAINAGE RE	PORT		-	ANTEE RELEASE	
· · · · · · · · · · · · · · · · · · ·	AN 1 st SUBMITTAL		INARY PLAT A		
·	AN RESUBMITTAL			3'D APPROVAL	
CONCEPTUAL				RMIT APPROVAL	
GRADING PLA			R PLAN APPRO		
EROSION CON	TROL PLAN	·	PLAT APPROVA		•
ENGINEER'S C	ERT (HYDROLOGY)		ATION PERMIT		•
CLOMR/LOMR			NG PERMIT AP		
TRAFFIC CIRC	ULATION LAYOUT			UPANCY (PERM)	
ENGINEER'S C	ERT (TCL)			UPANCY (TEMP)	, (
ENGINEER'S C	ERT (DRB SITE PLAN)		NG PERMIT API		S++
OTHER (SPECI	FY)		PERMIT APPR		
			ORDER APPRO		(V) 含(
			(SPECIFY)		
		60.			
WAS A PRE-DESIGN CO	ONFERENCE ATTENDE	D: WOR	λ フ L	J DEC 2	
YES		1011			
NO				HYDROLOGY S	SECTION
COPY PROVID	ED				
	•				
DATE SUBMITTED:	LECEMBER	.6,2007	BY:	EDRGE T. RO	DRIGUET
				·	
Requests for approvals of Site De	evelonment Plans and/or Subdivi	gion Plate chall be accom	manied bura decimaca	cubmittal. The norticular	notire

Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- Drainage Plans: Required for building permits, grading permits, paving permits and site plans test than five (5) acress of more. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting live (5) acress of more.

