

CITY OF ALBUQUERQUE



September 4, 2008

Jonathan Stern, R.A.
George Rainhart Architect & Associates
2325 San Pedro NE, Suite 2B
Albuquerque, NM 87110

**Re: Starbucks at Haines / San Mateo, 2104 San Mateo Blvd NE,
Certificate of Occupancy – Transportation Development
Architect's Stamp dated 2-27-08 (J18-D023)
Certification dated 9-03-08**

Dear Mr. Stern,

PO Box 1293

Based upon the information provided in your submittal received 9-03-08, the above referenced certification is approved for release of **90-day temporary** Certificate of Occupancy by Transportation Development.

Albuquerque

If you have any questions, you can contact me at 924-3991.

NM 87103

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

www.cabq.gov

C: CO Clerk
File

CPN 551385

No SIA, No inspections, No As-Builts

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 12/2005)

PROJECT TITLE: SAN MATEO + HAINS STARBUCKS ZONE MAP: J-18/P023
DRB#: _____ EPC#: _____ WORK ORDER#: 551385

LEGAL DESCRIPTION: 2104 SAN MATEO - NE
Lot 4A, Block 16 W. WAGNER SUBDIVISION
CITY ADDRESS: N.E. Cor SAN MATEO + HAINS. 2104 San Mateo Blvd NE

ENGINEERING FIRM: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

OWNER: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: GEORGE FAINHART ARCH'G ASSOC. CONTACT: STEPHEN DUNBAR
ADDRESS: 2325 SAN PEDRO N.E. SE 2B PHONE: 338-1477-106
CITY, STATE: Albany ZIP CODE: 87110

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: WILSON EMT CONTACT: DOH.
ADDRESS: 420 EDMON. PHONE: 345-2854
CITY, STATE: NEB ZIP CODE: 8707

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

90 day
temp

WAS A PRE-DESIGN CONFERENCE ATTENDED?

- ☐ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: 9/2/08

BY: Stephen Dunbar

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

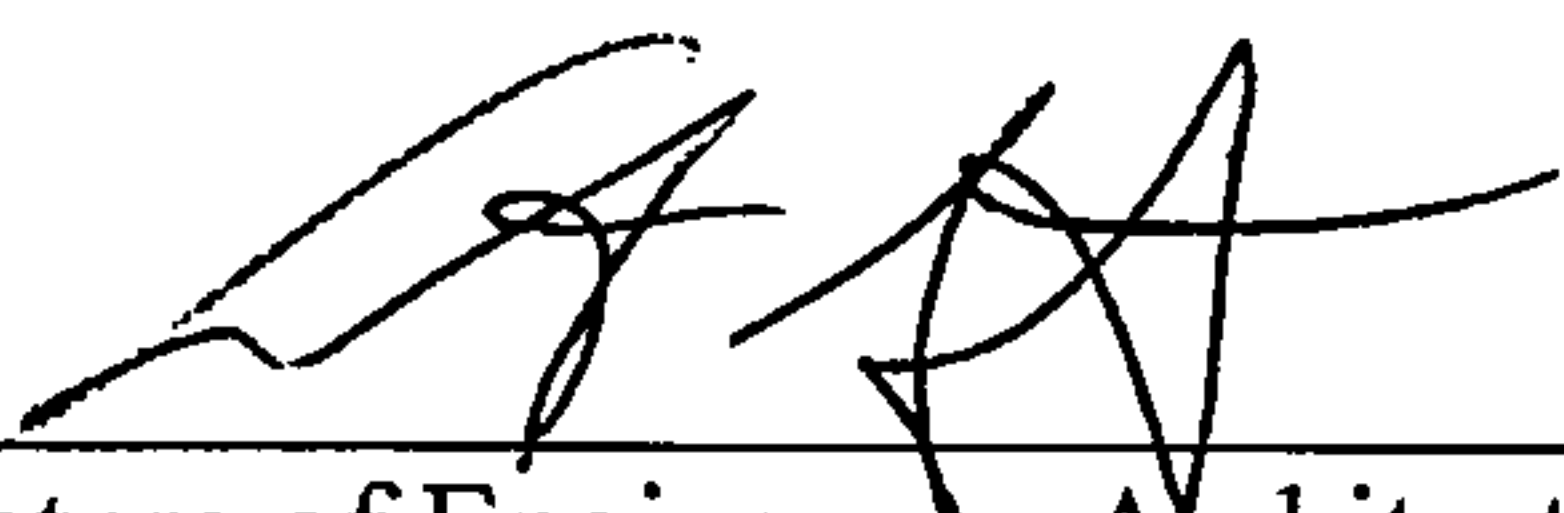
1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

Take Bordenave

TRAFFIC CERTIFICATION

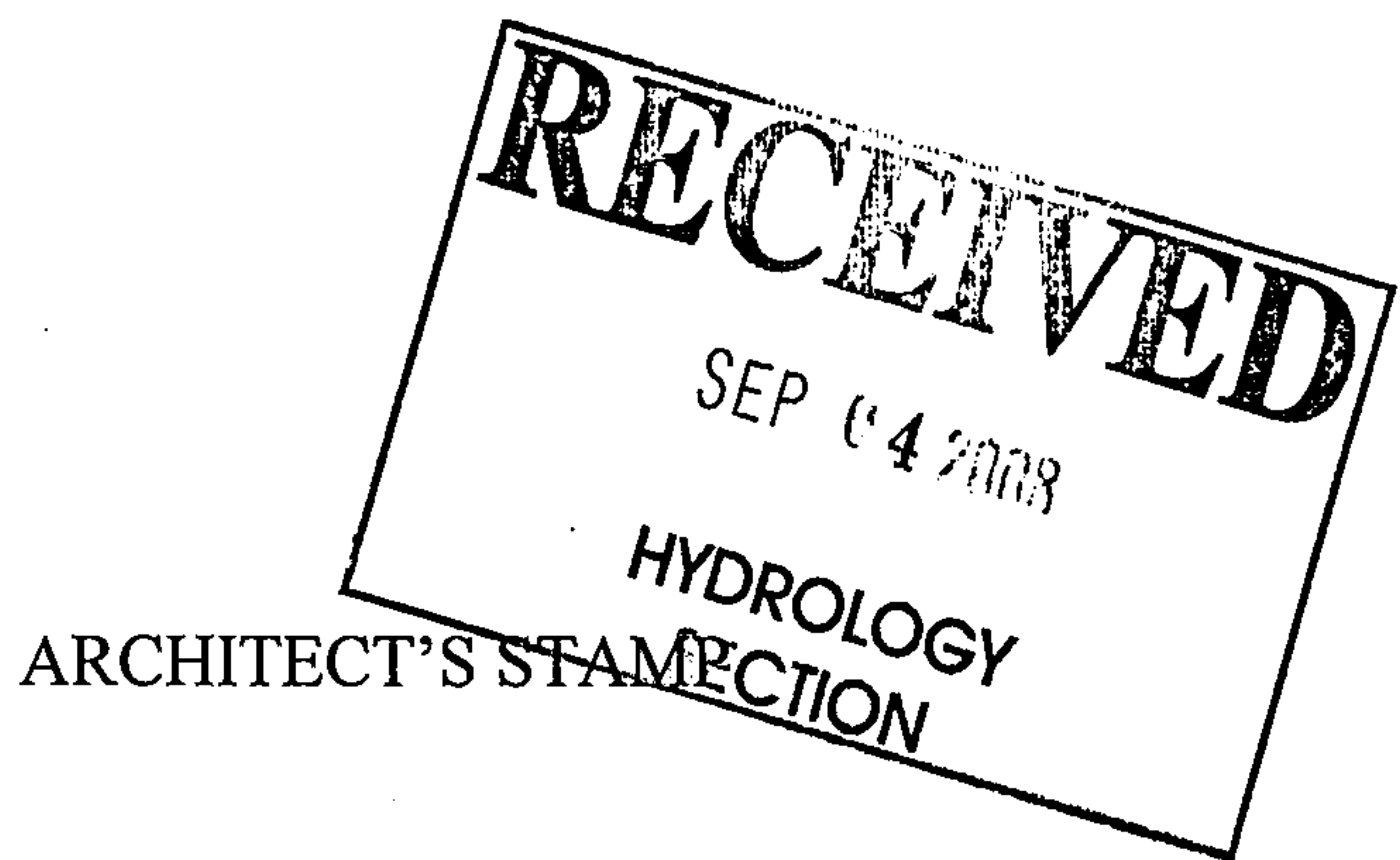
I, JONATHAN STERN, NMPE OR NMRA 003419, OF THE FIRM MODULUS ARCHITECTS INC. HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL DESIGN COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 2/27/08. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY JONATHAN STERN OF THE FIRM MODULUS ARCHITECTS INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 8/25/08 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR FINAL CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



Signature of Engineer or Architect

9/3/08
Date



Modulus Architects

2325 San Pedro NE, Suite 2b Albuquerque, NM 87110
p: 505-338-1499 f: 505-338-1498 Toll Free 1-866-224-2161













8/13/08 - 10 day temp for
Hyd. & Trans

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 12/2005)

PROJECT TITLE: STARBUCKS ZONE MAP: J-18/D023
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Lot 4A Block 16 W.S. WAGNER SUBDIVISION Abq, Nm
CITY ADDRESS: _____

ENGINEERING FIRM: LEVI T VALDES CONTACT: _____
ADDRESS: 2329 SAN PEDRO SEC PHONE: _____
CITY, STATE: ABQ ZIP CODE: _____

OWNER: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: GEORGE REINHART ARCH ASSOC CONTACT: STEPHEN D
ADDRESS: 2329 SAN PEDRO N.E. SEC 2B PHONE: 338-1414
CITY, STATE: ABQ ZIP CODE: 87110

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: WILGER ENT CONTACT: _____
ADDRESS: 425 EDMON. PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:	CHECK TYPE OF APPROVAL SOUGHT:
<input type="checkbox"/> DRAINAGE REPORT	<input type="checkbox"/> SIA/FINANCIAL GUARANTEE RELEASE
<input type="checkbox"/> DRAINAGE PLAN 1 st SUBMITTAL	<input type="checkbox"/> PRELIMINARY PLAT APPROVAL
<input type="checkbox"/> DRAINAGE PLAN RESUBMITTAL	<input type="checkbox"/> S. DEV. PLAN FOR SUB'D APPROVAL
<input type="checkbox"/> CONCEPTUAL G & D PLAN	<input type="checkbox"/> S. DEV. FOR BLDG. PERMIT APPROVAL
<input type="checkbox"/> GRADING PLAN	<input type="checkbox"/> SECTOR PLAN APPROVAL
<input type="checkbox"/> EROSION CONTROL PLAN	<input type="checkbox"/> FINAL PLAT APPROVAL
<input type="checkbox"/> ENGINEER'S CERT (HYDROLOGY)	<input type="checkbox"/> FOUNDATION PERMIT APPROVAL
<input type="checkbox"/> CLOMR/COMR	<input type="checkbox"/> BUILDING PERMIT APPROVAL
<input checked="" type="checkbox"/> TRAFFIC CIRCULATION LAYOUT	<input checked="" type="checkbox"/> CERTIFICATE OF OCCUPANCY (PERM)
<input checked="" type="checkbox"/> ENGINEER'S CERT (TCL)	<input type="checkbox"/> CERTIFICATE OF OCCUPANCY (TEMP)
<input type="checkbox"/> ENGINEER'S CERT (DRB SITE PLAN)	<input type="checkbox"/> GRADING PERMIT APPROVAL
<input type="checkbox"/> OTHER (SPECIFY) _____	<input type="checkbox"/> PAVING PERMIT APPROVAL
	<input type="checkbox"/> WORK ORDER APPROVAL
	<input type="checkbox"/> OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:
☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: 7/30/08 BY: Stephen D. Valdes

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

RECEIVED
JUL 31 2008
HYDROLOGY
SECTION

CITY OF ALBUQUERQUE



February 27, 2008

George Rainhart, R.A.
George Rainhart Architect & Associates
2325 San Pedro NE Suite 2-B
Albuquerque, NM 87110

Re: Starbucks at Haines / San Mateo, 2104 San Mateo Blvd NE, Traffic Circulation Layout
Architect's Stamp dated 2-27-08 (J18-D023)

Dear Mr. Rainhart,

The TCL submittal received 2-27-08 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.

Prior to certificate of occupancy approval, the following items must be completed:

- A recorded copy of the public roadway easement must be included for our files.
- The work order along the alley must be completed and closed out.

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services
C: File

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

CITY OF ALBUQUERQUE



August 29, 2008

Levi J. Valdez, P.E.
c/o George T. Rodriguez
George T. Rodriguez - Development Consultant
12800 San Juan NE
Albuquerque, NM 87123

**Re: Starbucks @ San Mateo & Haines NE, 2104 San Mateo Blvd. NE,
Approval of Permanent Certificate of Occupancy (C.O.)
Engineer's Stamp dated 1/07/08 (J-18/D023)
Certification dated 8/28/08**

Mr. Valdez,

PO Box 1293

Based upon the information provided in your submittal received 8/29/08, the above referenced certification is approved for a release of Permanent Certificate of Occupancy by hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3982.

NM 87103

Sincerely,

Timothy E. Sims
Plan Checker, Hydrology
Development and Building Services

www.cabq.gov

C: CO Clerk—Katrina Sigala
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: STARBUCKS @ SAN MATEO & HAINES N.E. ZONE MAP: J18/D 023
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT "4-A", BLOCK 16, W.J. WAGNER SUBDIVISION
 CITY ADDRESS: SAN MATEO BLVD. N.E.

ENGINEERING FIRM: LEVI J. VALDEZ, P.E. CONTACT: LEVI VALDEZ
GEORGE T. RODRIGUEZ - DEVEL. CONSULT. GEORGE RODRIGUEZ
 ADDRESS: 12800 SAN JUAN N.E. PHONE: 610-0593
 CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87123

OWNER: COE & PETERSON, LLC CONTACT: STEVE COE
 ADDRESS: 2325 SAN PEDRO N.E. - SUITE 2-A PHONE: 250-2205
 CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87110

ARCHITECT: GEORGE RANFART - ARCHITECT CONTACT: STEVE DINBAR
 ADDRESS: 2325 SAN PEDRO N.E. - SUITE 2-B PHONE: 884-9110
 CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87110

SURVEYOR: HARRIS SURVEYING CONTACT: TONY HARRIS
 ADDRESS: _____ PHONE: 889-8056
 CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87110

CONTRACTOR: WILGER CONSTRUCTION CONTACT: JOHN WILGER
 ADDRESS: 425 EDMON N.E. PHONE: 345-2854
 CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87107

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUBDIVISION APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
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- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

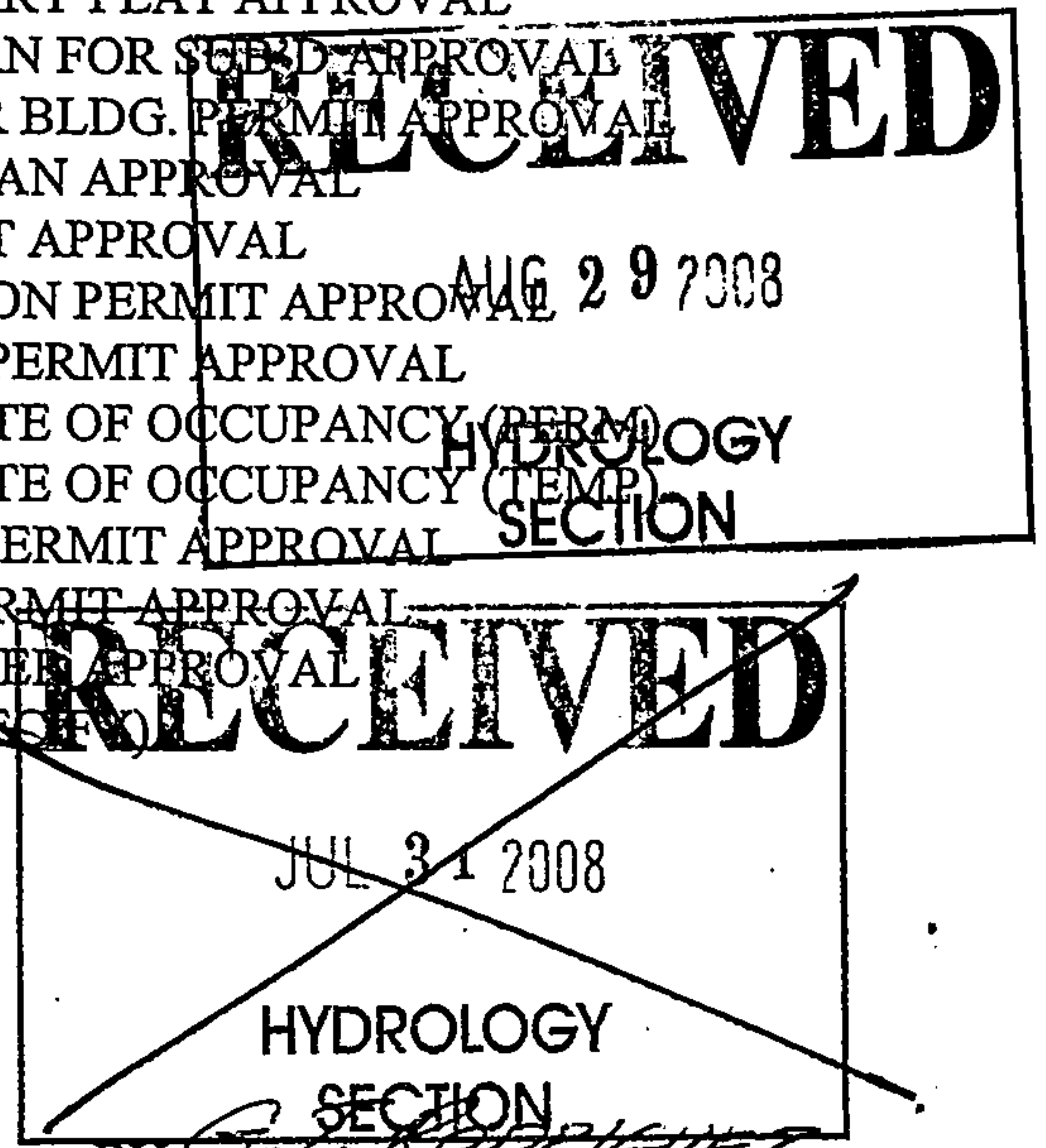
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 07-30-08 08-28-08 BY: G.T. RODRIGUEZ

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 12/2005)

PROJECT TITLE: STARBUCKS @ SAN MATEO & HAINES N.E. ZONE MAP: J18/D023
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT "A-A", BLOCK 16, W.J. WAGNER SUBDIVISION
CITY ADDRESS: 1104 SAN MATEO BLVD. N.E.

ENGINEERING FIRM: LEVI J. VALDEZ, P.E. CONTACT: LEVI VALDEZ
GEORGE T. RODRIGUEZ - DEVEL. CONSULT. GEORGE RODRIGUEZ
ADDRESS: 12800 SAN JUAN N.E. PHONE: 610-0593
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87123

OWNER: COE & PETERSON, LLC CONTACT: STEVE COE
ADDRESS: 2325 SAN PEDRO N.E. - SUITE 2-A PHONE: 250-2205
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87110

ARCHITECT: GEORGE RAINHART - ARCHITECT CONTACT: STEVE DUNBAR
ADDRESS: 2325 SAN PEDRO N.E. - SUITE 2-B PHONE: 884-9110
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87110

SURVEYOR: HARRIS SURVEYING CONTACT: TONY HARRIS
ADDRESS: _____ PHONE: 889-8056
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87110

CONTRACTOR: WILGER CONSTRUCTION CONTACT: JOHN WILGER
ADDRESS: 425 EDMON N.E. PHONE: 345-2854
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87107

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

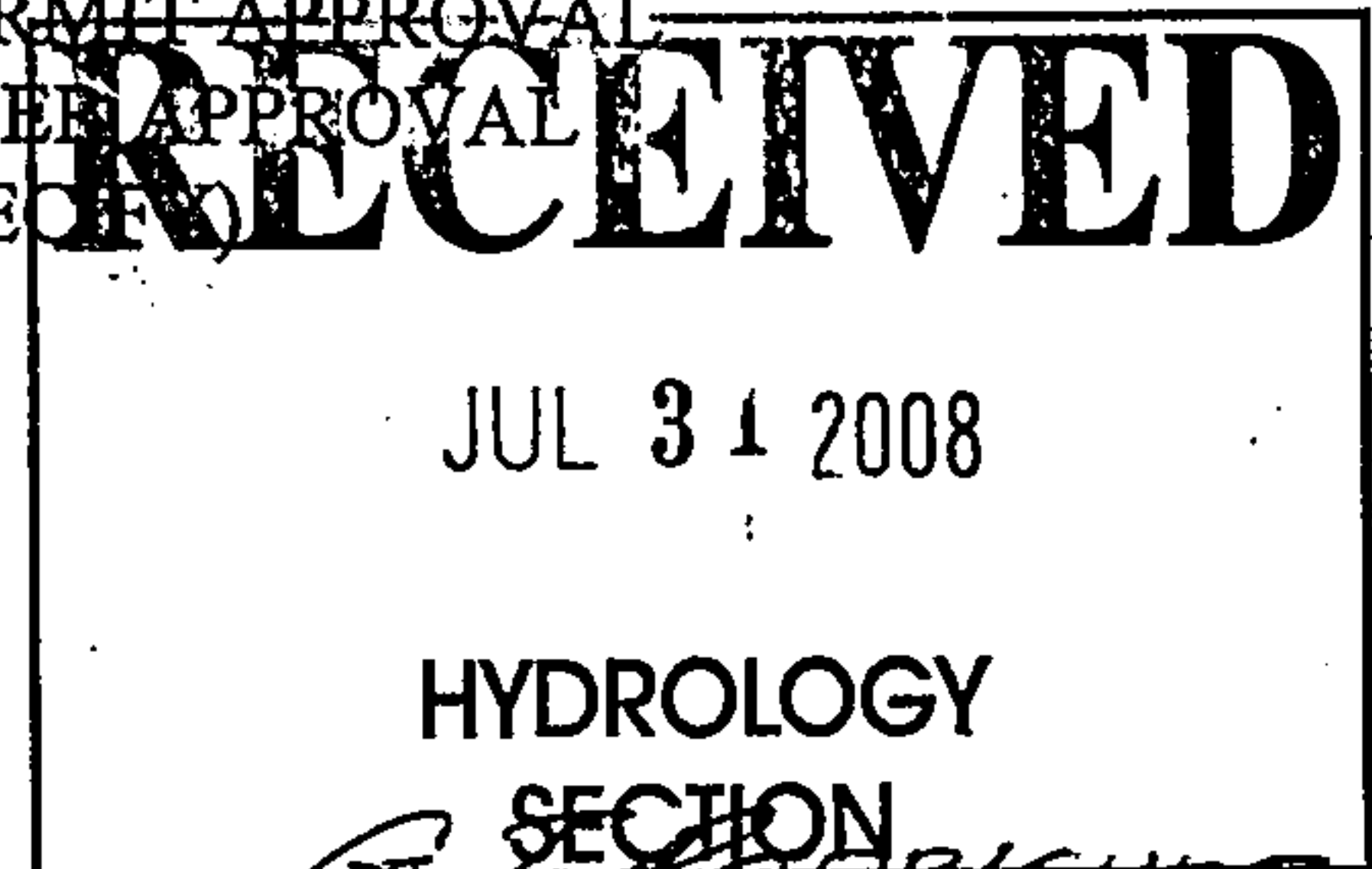
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☐ PRELIMINARY PLAT APPROVAL
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☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: 07-30-08

BY: G.T. RODRIGUEZ



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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CITY OF ALBUQUERQUE



February 7, 2008

Levi J. Valdez, P.E.
George T. Rodriguez - Development Consultant
12800 San Juan N.E.
Albuquerque, NM 87123

Re: Starbucks Coffee Co., Lot 4-A, Grading and Drainage Plan

Engineer's Stamp dated 12-04-07 (J-18/D023)

1-07-08 JS

Mr. Valdez:

Based upon the information provided in your submittal received 1-17-08, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

P.O. Box 1293

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

Albuquerque

If you have any questions, you can contact me at 924-3982.

New Mexico 87103

Sincerely,

Timothy Sims
Plan Checker - Hydrology, Planning Dept.
Development and Building Services

www.cabq.gov

Cc:  Bradley L. Bingham
File

Peak Intensity: In./Hr. at Tc = Twelve (12) minutes, 100-Yr.-6 Hr. = 5.38

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 12/2005)

3-18/0523

PROJECT TITLE: STARBUCKS @ SAN MATEO & HAINES N.E. ZONE MAP: J18
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT "4-A", BLOCK 16, H.J. WAGNER SUBDIVISION
CITY ADDRESS: SAN MATEO BLVD. N.E.

ENGINEERING FIRM: LEVI J. VALDEZ, P.E. CONTACT: LEVI VALDEZ
GEORGE T. RODRIGUEZ-DEVEL CONSULT GEORGE RODRIGUEZ
ADDRESS: 12800 SAN JUAN N.E. PHONE: 610-0593
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87123

OWNER: COE & PETERSON, LLC CONTACT: STEVE COE
ADDRESS: 2325 SAN PEDRO N.E. - SUITE 'A' PHONE: 250-2205
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87110

ARCHITECT: GEORGE RAINHART - ARCHITECT CONTACT: STEVE DUNBAR
ADDRESS: 2325 SAN PEDRO N.E. - SUITE PHONE: 884-9110
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87110

SURVEYOR: HARRIS SURVEYING CONTACT: TONY HARRIS
ADDRESS: _____ PHONE: 889-8056
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87110

CONTRACTOR: WILGER CONST. CO. CONTACT: JOHN WILGER
ADDRESS: 425 EDMON N.E. PHONE: 345-2854
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87107

TYPE OF SUBMITTAL:

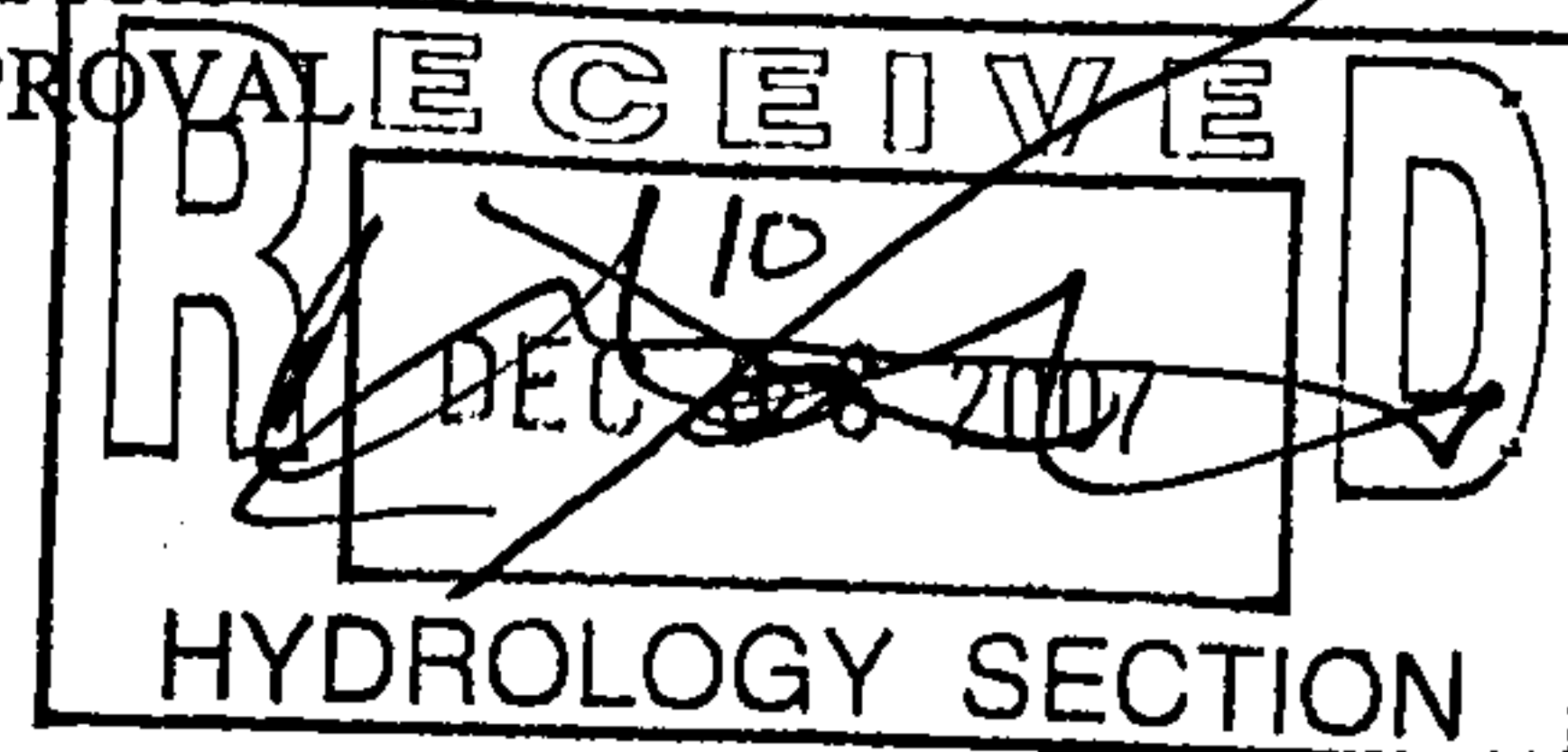
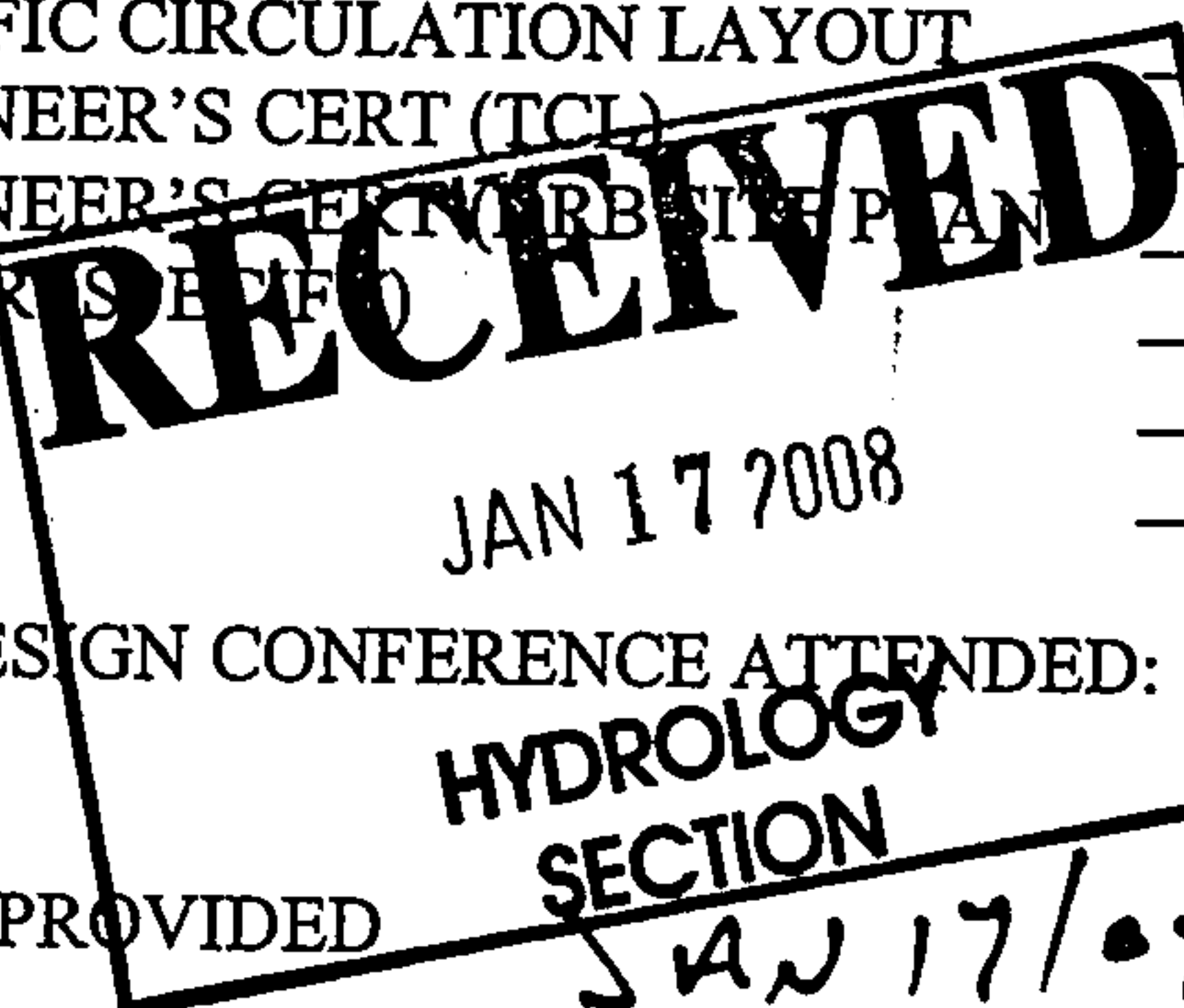
- ☐ DRAINAGE REPORT
☒ DRAINAGE PLAN 1st SUBMITTAL
☒ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
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☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (RBS) PLAN
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
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☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
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WAS A PRE-DESIGN CONFERENCE ATTENDED:

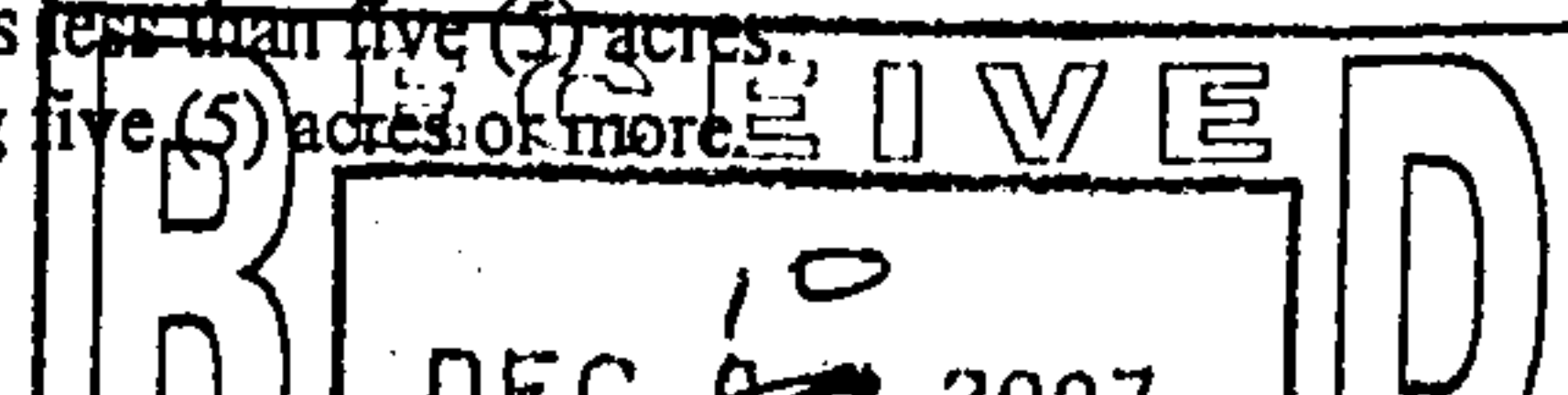
- ☐ YES
☒ NO
☐ COPY PROVIDED



DATE SUBMITTED: DECEMBER 6, 2007 BY: GEORGE T. RODRIGUEZ

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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5-18/0523

INGRESS-EGRESS, AND
SURFACE DRAINAGE EASEMENT
WITHIN
LOT "5-A"
BLOCK 16
W.J. WAGNER SUBDIVISION
ALBUQUERQUE, NEW MEXICO
DECEMBER, 2007

Whereas, San Mateo/Indian School. LLC, a New Mexico Limited Liability Company, whose address is 2325 San Pedro N.E., (2-A) Albuquerque, New Mexico, 87110, are owner(s) and proprietor(s) of Lots "4-A" and "5-A", in Block Sixteen (16), W.J. WAGNER SUBDIVISION, to the City of Albuquerque, New Mexico, as the same are shown and designated on the plat thereof filed in the office of the County Clerk of Bernalillo County, New Mexico, on April 26, 2006, (BK-2006C, p.134).

Said Owner(s) and Proprietor(s) of aforementioned LOT "5-A" do hereby grant an Ingress-Egress and Surface Drainage Easement over and across the Southerly ten feet (10.00') of said LOT "5-A" for the benefit of aforementioned LOT "4-A", (as shown on Attached Exhibit "A"); said owner(s) and proprietor(s) are to hereafter equally share in the maintenance and expenses for the upkeep of said easement(s).

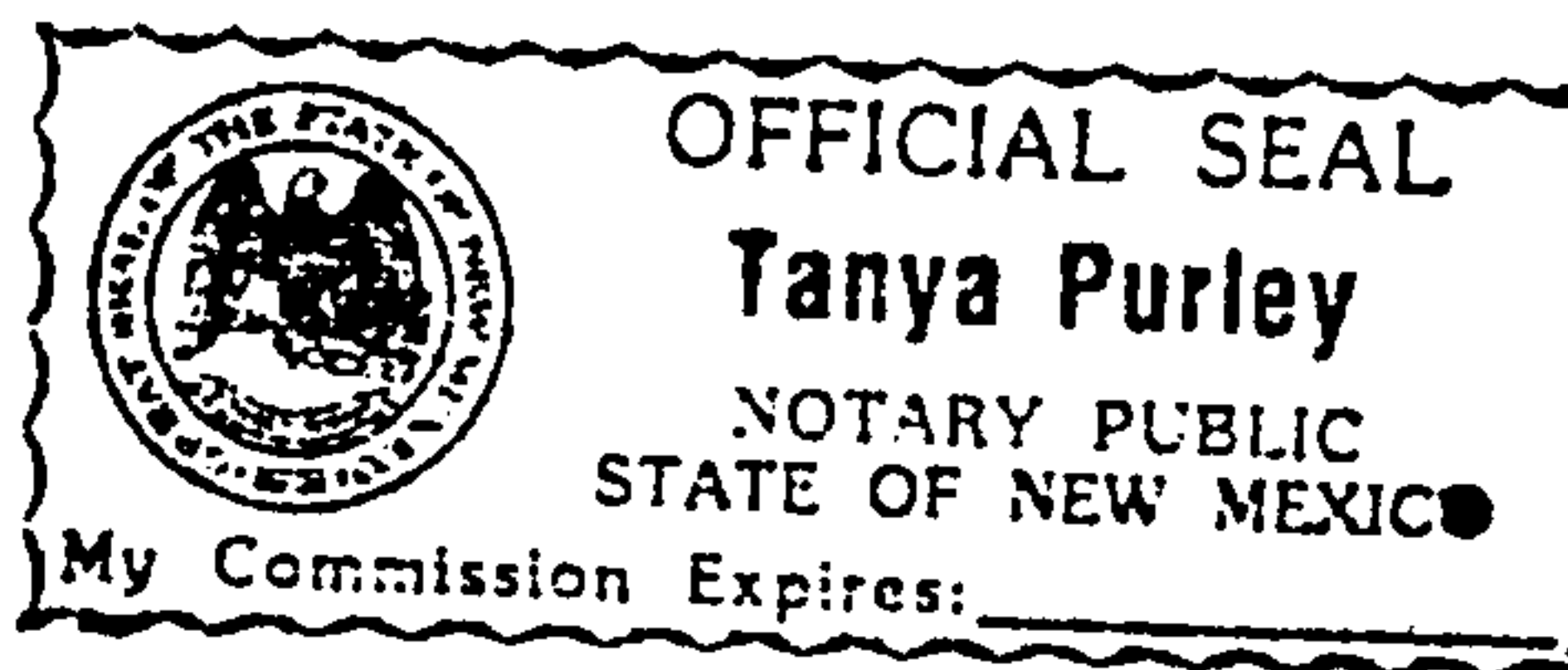
These "Easement(s)", shall be binding upon the owner(s) and proprietor(s) herein, their heir(s) and assign(s) and shall continue to run with said properties in perpetuity.

Owner(s) and Proprietor(s): San Mateo/Indian School LLC, a New Mexico Limited Liability Company; Lots "4-A" and "5-A", in Block Sixteen (16), W.J. WAGNER SUBDIVISION, Albuquerque, New Mexico.


Steven L. Coe, Managing Member

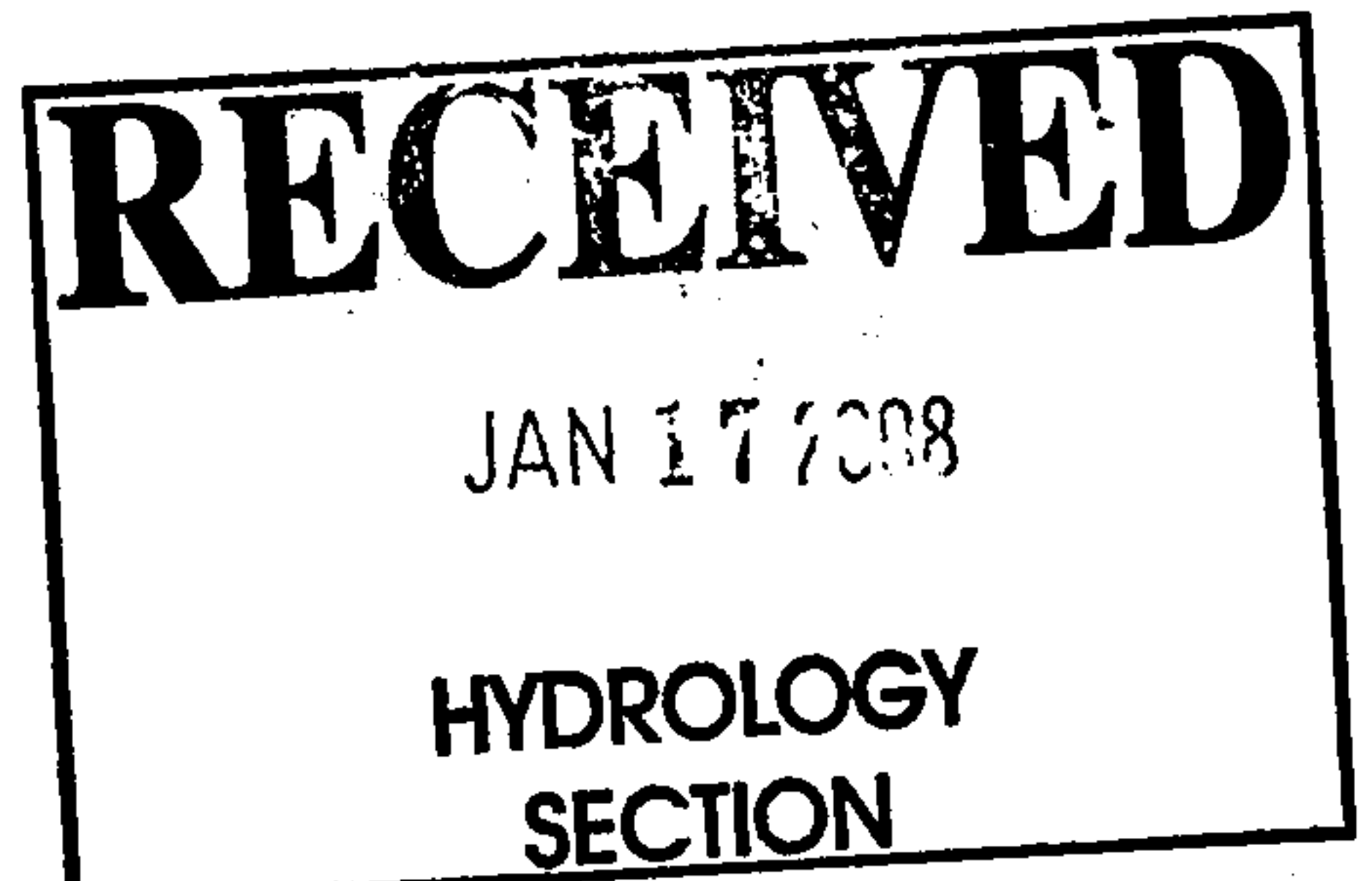
ACKNOWLEDGEMENT:

State of New Mexico)
SS
County of Bernalillo)



This foregoing instrument was acknowledged before me this 11 day of December, 2007, by Steven L. Coe hereby known to me to be Managing Member of San Mateo/Indian School LLC, the owner(s) and proprietor(s) of the properties referred to herein, and that they hereby acknowledged the same as thier own free act and deed.

Notary Public  My Commission Expires: 11/19/09, 2007.



Doc# 2008001940

01/07/2008 02:13 PM Page: 1 of 2
EASE R:\$11.00 M. Toulouse, Bernalillo County



LOT 9-A, BLOCK 16
W.J. WAGNER SUBDIVISION
Filed April 11, 1974
Vol. C9, page 176

Found Nail
in face of pilaster

N 89°48'57" E
102.34'

LOT 5-A
0.5069 ACRES
242.36'

OLD LOT LINE TO BE
ELIMINATED BY THIS PLAT (TTP)

INGRESS-EGRESS
SURFACE
DRAINAGE
ESM 84.90'

S 89°47'15" W
101'

LOT 4-A
0.4600 ACRES
237.64'

S 00°11'03" E 480.00'
16' PUBLIC ALLEY

SAN MATEO BOULEVARD NE

RIGHT-OF-WAY VARIES

5' Roadway Esm't.
(Granted by this Plat)

END nail, disc in Asph.
PS 11463

W 00°10'30" N 170.98'
N 00°19'19" W (W. 61.00N)

END nail, disc in Asph.
PS 11463

W 00°29'46" N 110.29'46"
(N 10°47'16" W) (30.82')

END 1/2" Rebar, cap
PS 11463 (70.65')
67.65'

END nail, disc in Asph.
PS 11463

S 89°48'57" W

HAINES AVENUE NE
60' R/W

(GRID)
S 00°42'45" W
738.28'
(GROUND)

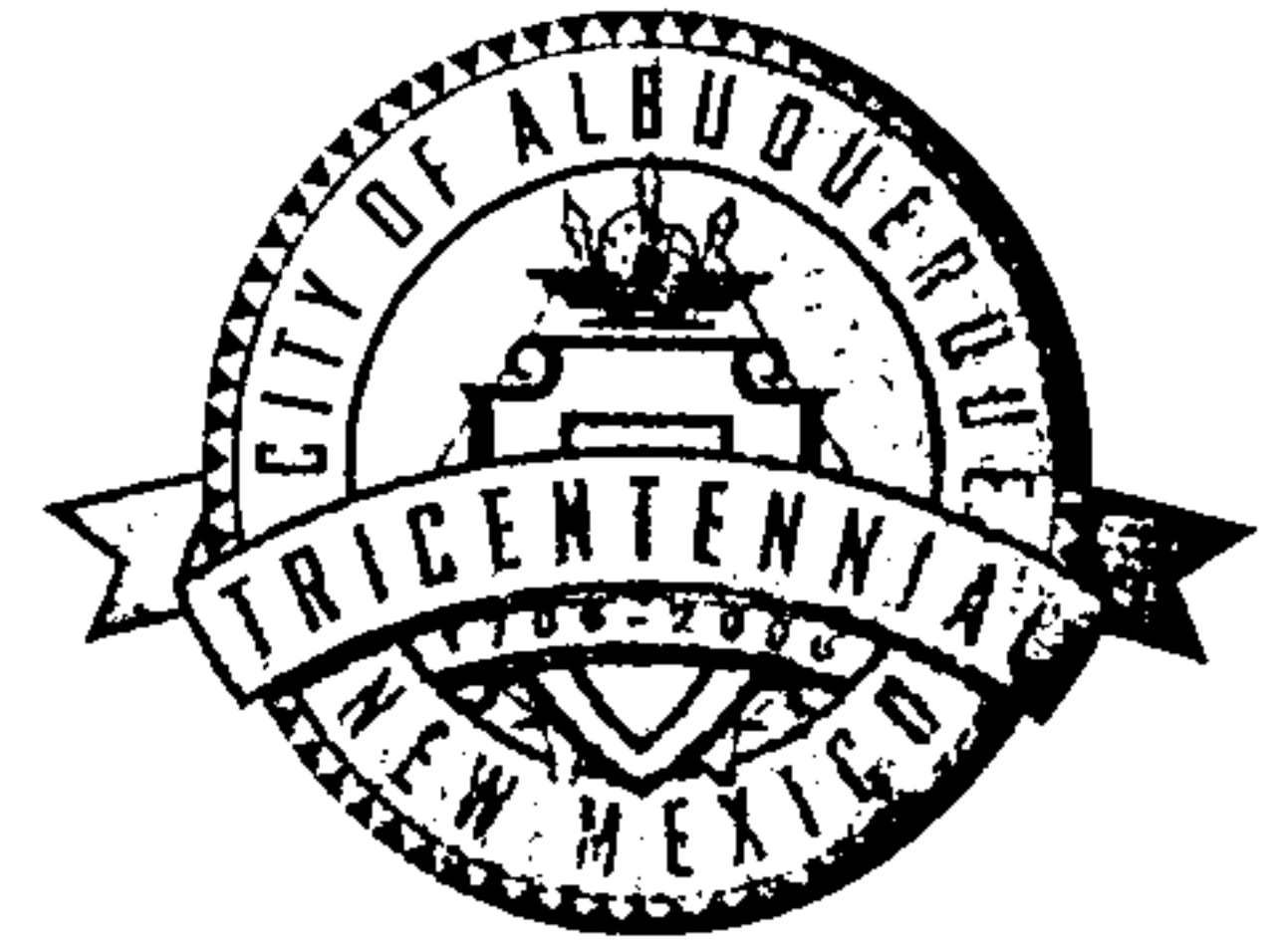
ACS STATION "19-J18"
X=399,626.86
Y=1,491,120.74
GRD TO GRID=0.99966155
Δc = -00°11'35"
CENTRAL ZONE, NAD 1927

N.T.S.



EXHIBIT "A"
RECEIVED
JAN 17 2008
HYDROLOGY
SECTION

CITY OF ALBUQUERQUE



December 27, 2007

Levi J. Valdez, P.E.
George T. Rodriguez - Development Consultant .
12800 San Juan N.E.
Albuquerque, NM 87123

Re: Starbucks Coffee Co., Lot 4-A, Grading and Drainage Plan
Engineer's Stamp dated 12-04-07 (J-18/D023)

Mr. Valdez,

P.O. Box 1293

Based upon the information provided in your submittal received 12-10-07, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

Albuquerque

New Mexico 87103

1. Provide the recording information for the 10' wide Private Ingress-Egress & Surface Drainage Easement. Who benefits from this easement?
2. It appears there will be grading on the property to the north; this will require approval from the owner of lot 5-A.
3. Additional elevations will be needed for the motorcycle parking area. This looks like an area where ponding could occur.


If you have any questions, you can contact me at 924-3982.

www.cabq.gov

Sincerely,

Timothy Sims

Plan Checker-Hydrology, Planning Dept.
Development and Building Services

C:  Bradley L. Bingham
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

J-18/10023

PROJECT TITLE: STARBUCKS @ SAN MATEO & HAINES N.E. ZONE MAP: J18
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT "4-A", BLOCK 16, W. J. WAGNER SUBDIVISION
 CITY ADDRESS: SAN MATEO BLVD. N.E.

ENGINEERING FIRM: LEVI J. VALDEZ, P.E. CONTACT: LEVI VALDEZ
GEORGE T. RODRIGUEZ-DEVEL CONSULT. GEORGE RODRIGUEZ
 ADDRESS: 12800 SAN JUAN N.E. PHONE: 610-0593
 CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87123

OWNER: COE & PETERSON, LLC CONTACT: STEVE COE
 ADDRESS: 2325 SAN PEDRO N.E. - SUITE 'A' PHONE: 250-2205
 CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87110

ARCHITECT: GEORGE RAYHART - ARCHITECT CONTACT: STEVE DUNBAR
 ADDRESS: 2325 SAN PEDRO N.E. - SUITE PHONE: 884-9110
 CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87110

SURVEYOR: HARRIS SURVEYING CONTACT: TONY HARRIS
 ADDRESS: _____ PHONE: 889-8056
 CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87110

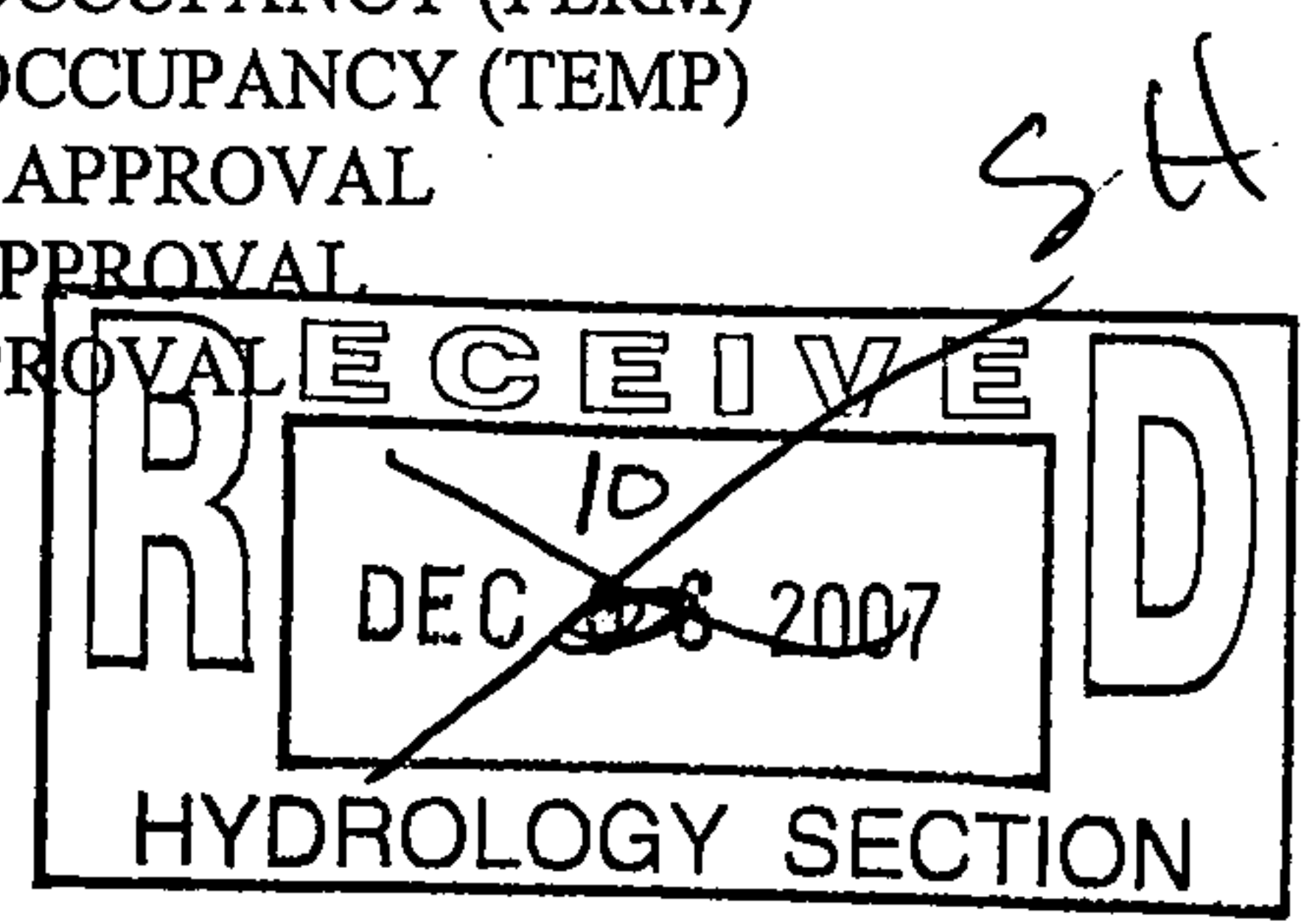
CONTRACTOR: WILGER CONST. CO. CONTACT: JOHN WILGER
 ADDRESS: 425 EDMON N.E. PHONE: 345-2854
 CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87107

- TYPE OF SUBMITTAL:**
- ☐ DRAINAGE REPORT
 - ☒ DRAINAGE PLAN 1st SUBMITTAL
 - ☐ DRAINAGE PLAN RESUBMITTAL
 - ☐ CONCEPTUAL G & D PLAN
 - ☐ GRADING PLAN
 - ☐ EROSION CONTROL PLAN
 - ☐ ENGINEER'S CERT (HYDROLOGY)
 - ☐ CLOMR/LOMR
 - ☐ TRAFFIC CIRCULATION LAYOUT
 - ☐ ENGINEER'S CERT (TCL)
 - ☐ ENGINEER'S CERT (DRB SITE PLAN)
 - ☐ OTHER (SPECIFY) _____

- CHECK TYPE OF APPROVAL SOUGHT:**
- ☐ SIA/FINANCIAL GUARANTEE RELEASE
 - ☐ PRELIMINARY PLAT APPROVAL
 - ☐ S. DEV. PLAN FOR SUB'D APPROVAL
 - ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
 - ☐ SECTOR PLAN APPROVAL
 - ☐ FINAL PLAT APPROVAL
 - ☐ FOUNDATION PERMIT APPROVAL
 - ☒ BUILDING PERMIT APPROVAL
 - ☐ CERTIFICATE OF OCCUPANCY (PERM)
 - ☐ CERTIFICATE OF OCCUPANCY (TEMP)
 - ☐ GRADING PERMIT APPROVAL
 - ☐ PAVING PERMIT APPROVAL
 - ☐ WORK ORDER APPROVAL
 - ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:
☐ YES
☒ NO
☐ COPY PROVIDED

50.00
\$PAID



DATE SUBMITTED: DECEMBER 6, 2007 BY: GEORGE T. RODRIGUEZ

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

