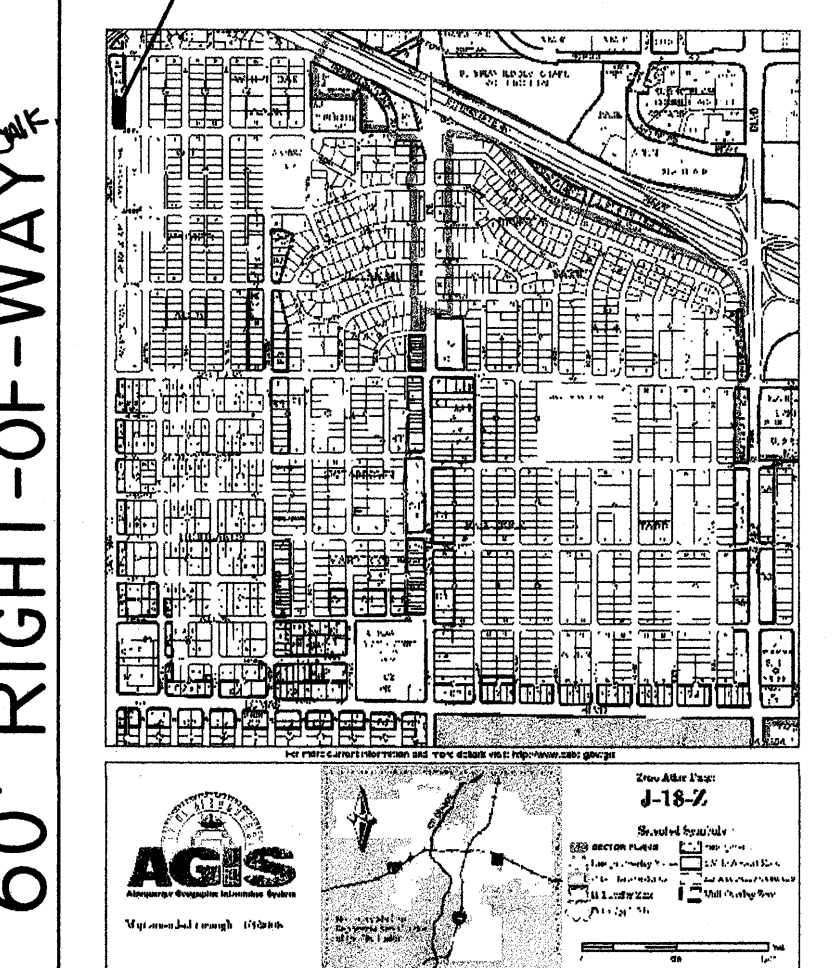


NOTE: RAMP AREAS N.T.E 8%
EXISTING CURB CUT TO BE REMOVED AND REPLACED W/ NEW CURB DESIGN W/ SIDEWALK PER COA STD DETAIL #2428
PROJECT LOCATION



VICINITY MAP

PROVIDE NEW H.C RAMP PER COA STD DETAIL 2441
EXISTING RAMP (WITH TRUNCATED DOMES) TO REMAIN

EXISTING 6" GAS STEEL LINE NEAR BACK OF SIDEWALK (VERIFY LOCATION)

TRAFFIC CIRCULATION LAYOUT APPROVED
Signed: [Signature] Date: 2/1/18

ENGINEER STATEMENT:
LEVI J. VALDEZ, N.M.P.E. NO 5693, DO HEREBY STATE THAT I AM RESPONSIBLE SOLELY FOR THE SURFACE AND SUBSURFACE UTILITY LINE INFORMATION SHOWN HEREON THAT WAS OBTAINED FROM SURVEY FIELD VERIFICATIONS AND PUBLIC INFORMATION RECORDS.

UTILITY PRECAUTIONS:
THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES IN PLANNING AND CONDUCTING EXCAVATION. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.

CONSTRUCTION NOTES:
1. TWO(2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 260-1990 FOR THE ACTUAL FIELD LOCATION OF THE EXISTING SURFACE OF SUB-SURFACE UTILITIES
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS; SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH
4. ALL CONSTRUCTION WITHIN PUBLIC STREET RIGHT-OF-WAY(S) SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE/ BERNALILLO COUNTY STANDARDS AND PROCEDURES

1 SITE PLAN
Scale: 1"=10'
10 0 5 10 20

SAN MATEO BOULEVARD N.E. RIGHT-OF-WAY VARIES (100'+)

REMOVE EXISTING SIDEWALK & REPLACE WITH SIDEWALK/CURB & GUTTER

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

EXISTING WATER METER LOCATION: VERIFY METER SIZE TO SATISFY TENANT WORK LETTER REQUIREMENT/ ROUTE NEW LINE FROM METER TO BUILDING POINT OF ENTRY

EXISTING 16" CONC. CYL. WATERLINE

EXISTING 6" GAS STEEL LINE NEAR BACK OF SIDEWALK (VERIFY LOCATION)

EXISTING 2 H.P. GAS MAIN
EXISTING 8" CONC. SEWER LINE

EXISTING CONC. VALLEY GUTTER TO REMAIN

EXISTING OVERHEAD UTILITY TO BE REMOVED

EXISTING OVERHEAD UTILITY TO BE REMOVED

EXISTING SWALE TO REMAIN

EXISTING CURB CUT TO BE REMOVED AND REPLACED W/ NEW CURB DESIGN PER COA STD DETAIL #2426

EXISTING TRANSFORMER LOCATION

EXISTING GAS METER LOCATION TO BE REMOVED

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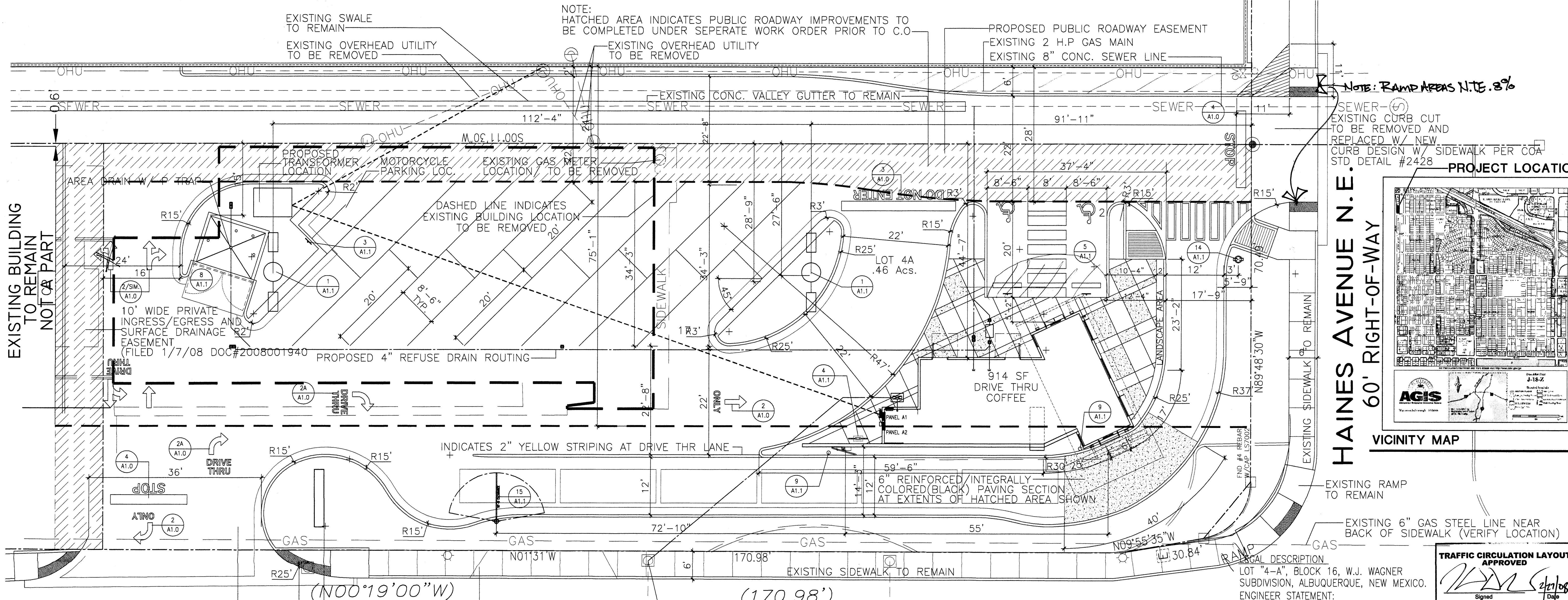
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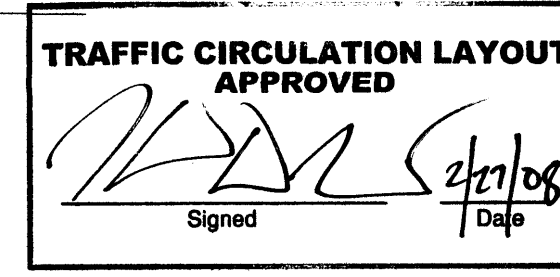
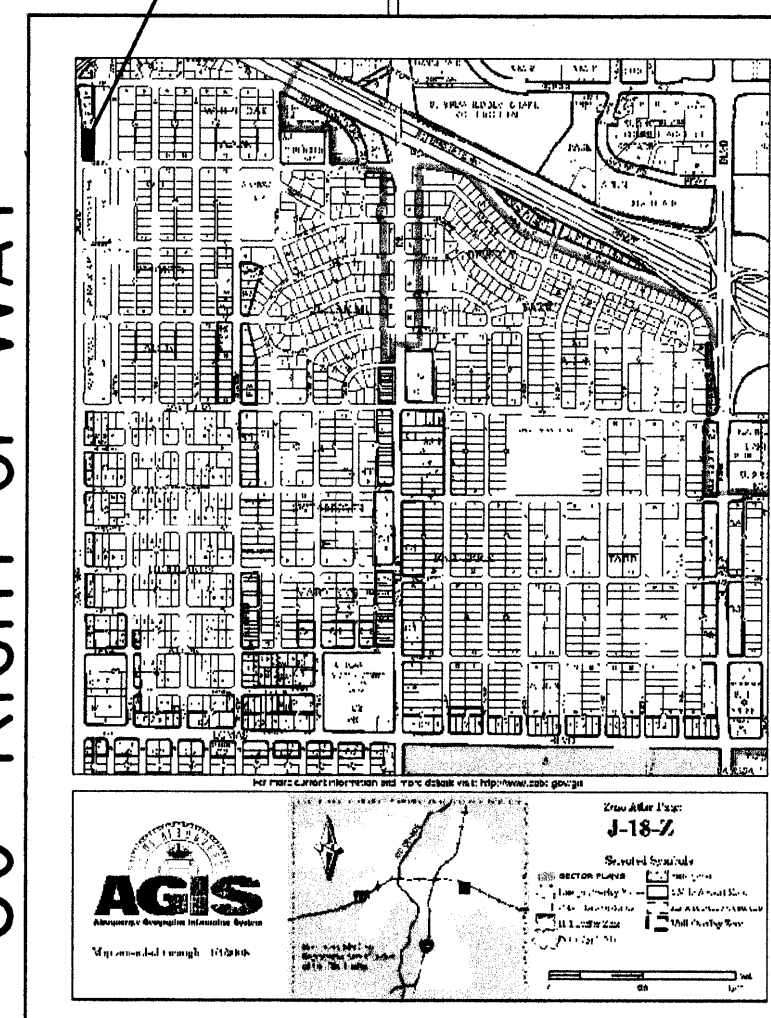
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EXISTING 8" CONC. SEWER LINE



NOTE: RAMP AREAS N.T.E. 8%



EXISTING BUILDING TO REMAIN NOT A PART

HAINES AVENUE N.E.
60' RIGHT-OF-WAY

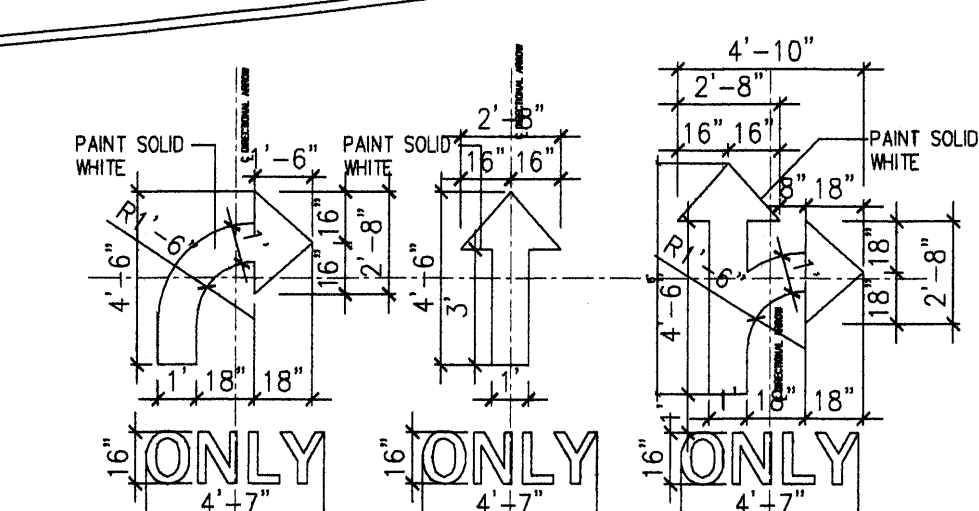
SAN MATEO BOULEVARD N.E. RIGHT-OF-WAY VARIES (100'+)

LEGAL DESCRIPTION
LOT "4-A", BLOCK 16, W.J. WAGNER SUBDIVISION, ALBUQUERQUE, NEW MEXICO.
ENGINEER STATEMENT:
LLEVI J. VALDEZ, N.M.P.E. NO 5693, DO HEREBY STATE THAT I AM RESPONSIBLE SOLELY FOR THE SURFACE AND SUBSURFACE UTILITY LINE INFORMATION SHOWN HEREON THAT WAS OBTAINED FROM SURVEY FIELD VERIFICATIONS AND PUBLIC INFORMATION RECORDS.
UTILITY PRECAUTIONS:
THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
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4. ALL CONSTRUCTION WITHIN PUBLIC STREET RIGHT-OF-WAY(S) SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE/ BERNALILLO COUNTY STANDARDS AND PROCEDURES

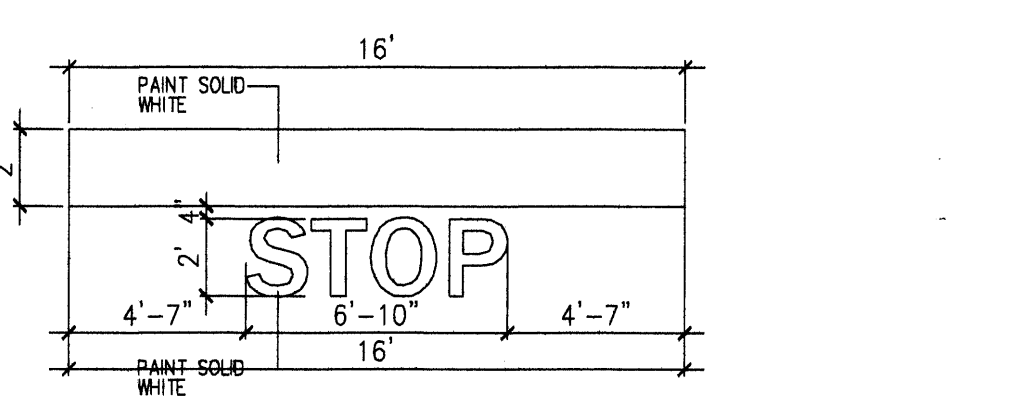
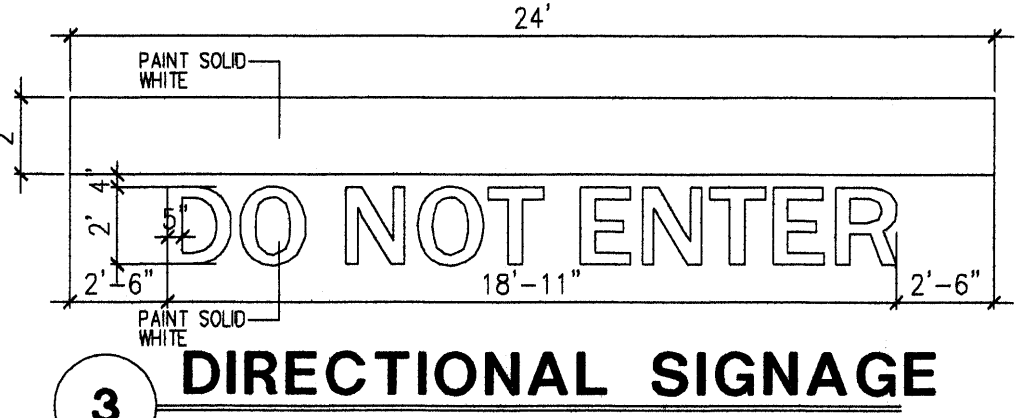
Public Infrastructure shown on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

- SYMBOLS LEGEND**
- ☆ = LIGHT POLE
 - = POWER POLE
 - OHU- = OVERHEAD UTILITY LINE
 - SEWER- = UNDERGROUND SEWER LINE
 - WATER- = UNDERGROUND WATER LINE
 - ⊙ = SEWER MANHOLE
 - ⊙ = TELEPHONE MANHOLE
 - ⊙ = WATER METER
 - ⊙ = WATER VALVE
 - ⊙ = SEWER CLEANOUT
 - ⊙ = EXISTING SEWER CLEANOUT
 - ⊙ = ELECTRIC BOX
 - ⊙ = ELECTRIC METER
 - ⊙ = GAS VALVE
 - ⊙ = GAS METER
 - = BLOCK WALL



2A DIRECTIONAL SIGNAGE(DRIVE THRU)
Scale: N.T.S.



4 DIRECTIONAL SIGNAGE
Scale: N.T.S.

LEGAL DESCRIPTION	
PROPOSED TRACT NUMBER:	LOT 4A
TOTAL ACREAGE:	AREA= .46AC
EXISTING ZONING:	C-1
PROPOSED ZONING:	C-1
BUILDING SIZE/ REQ DINNING SEATS:	± 900 SF
FAR:	.04
PROPOSED NUMBER OF STRUCTURES:	1
PROPOSED USE:	DRIVE THRU COFFEE
TOTAL PARKING PROVIDED:	18 SPACES
TOTAL PARKING REQ (INC. EMPLOYEE):	4 SPACES
HC PROVIDED:	2 H.C (INC. 2 VAN ACCESIBLE)
HC REQUIRED:	1 H.C SPACES
BIKE SPACES PROVIDED:	5 BIKE SPACES
BIKE SPACES REQUIRED:	1 BIKE SPACES
MOTORCYCLE SPACES REQUIRED:	1 SPACES
MOTORCYCLE SPACES PROVIDED:	2 SPACES

← NORTH

1 SITE PLAN

Scale: 1"=10'

10 0 5 10 20

RECEIVED

FEB 27 2008

HYDROLOGY SECTION

REVISION

REV	DATE	BY
1		
2		
3		
4		
5		
6		

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
2325 SAN PEDRO N.E. SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE
STARBUCKS
SAN MATEO AND HAINES
ALBUQUERQUE NEW MEXICO

PROJECT MANAGER
STEPHEN DUNBAR ALA

JOB NO.

DRAWN BY
S

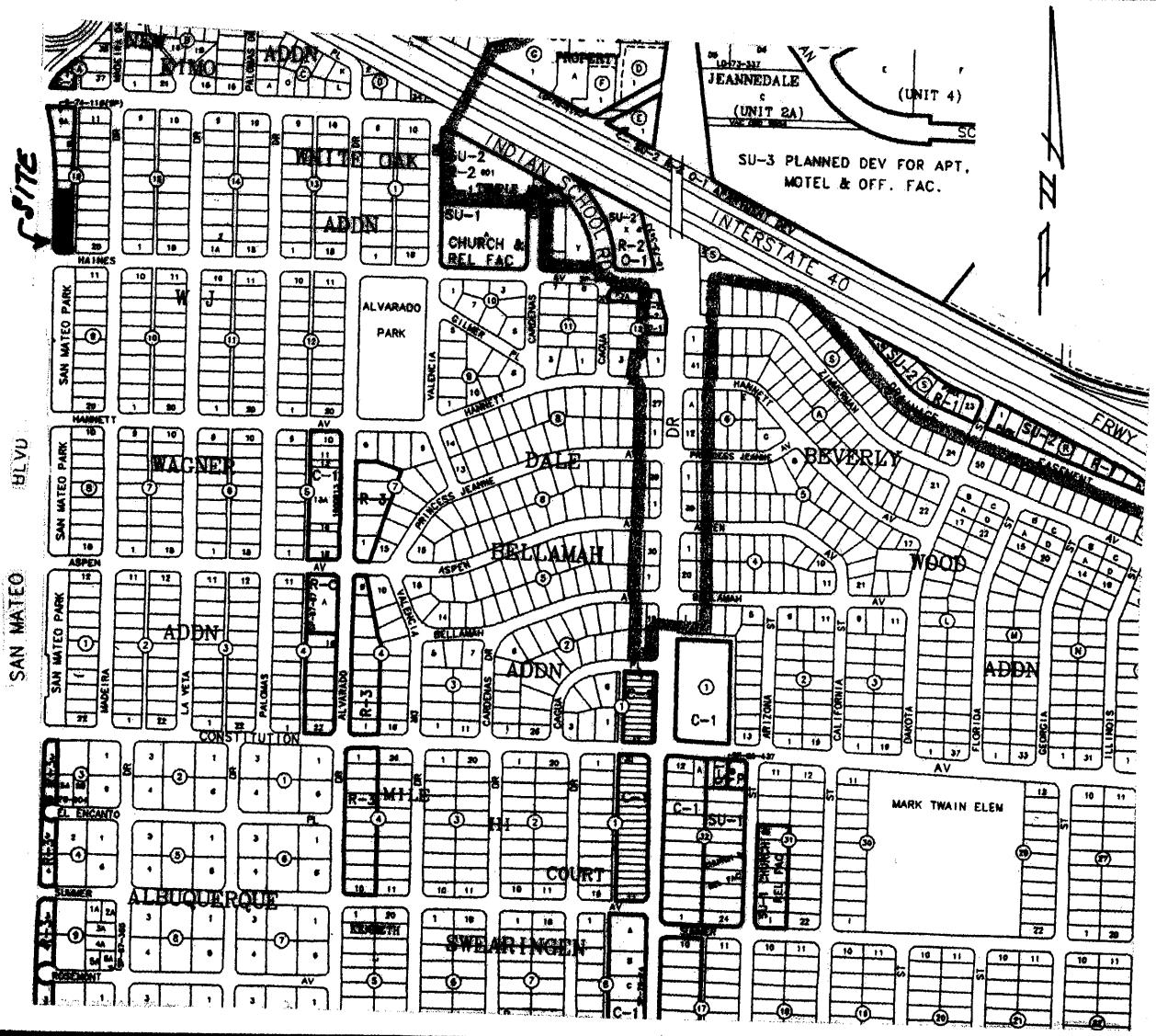
SHEET TITLE
ENLARGED SITE PLAN

DATE
FEB 27 2008

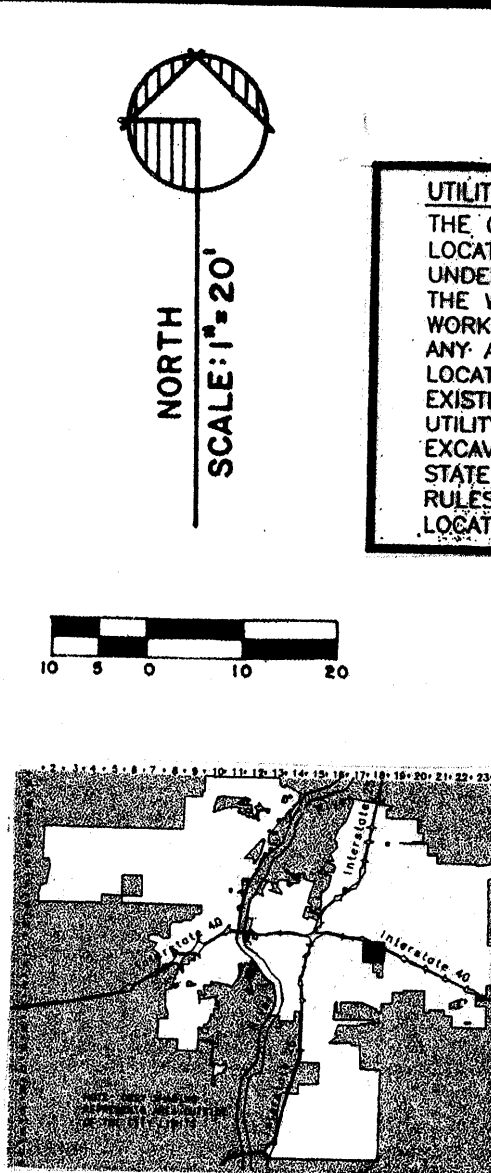
SCALE
1"=10'

sheet
A1.0

of



VICINITY MAP
J-18-Z



LOCATION MAP

UTILITY PRECAUTIONS
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EROSION CONTROL MEASURES:

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUNOFF DURING CONSTRUCTION. HE SHALL ENSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

- ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DIKES, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SUBJECT SITE AND ENTERING ADJACENT PROPERTIES.
- ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SUBJECT SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREET RIGHT-OF-WAYS.
- THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT FROM PUBLIC STREETS THAT HAS BEEN ERODED FROM THE SUBJECT SITE AND DEPOSITED THEREON.

CONSTRUCTION NOTES:

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 260-1990 FOR THE ACTUAL FIELD LOCATION OF THE EXISTING SURFACE OF SUB-SURFACE UTILITIES.
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- ALL CONSTRUCTION WITHIN PUBLIC STREET RIGHT-OF-WAY(S) SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE/BERNALILLO COUNTY STANDARDS AND PROCEDURES.

GENERAL NOTES:

- NO PERIMETER BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED PER THIS SURVEY OF THE SUBJECT PROPERTY.
- NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD OTHER THAN SHOWN HEREON.

LEGEND:

- TOP OF CURB ELEVATION = $TC = 18.85$
- CURB FLOWLINE ELEVATION = $FL = 18.33$
- EXISTING SPOT ELEVATION = 18.15
- EXISTING CONTOUR ELEVATION = 19.0
- PROPOSED SPOT ELEVATION = 20.25
- PROPOSED CONTOUR ELEVATION = 19.50
- PROPOSED OR EXISTING CONCRETE SURFACE = $---$
- EXISTING FENCE LINE = $---$

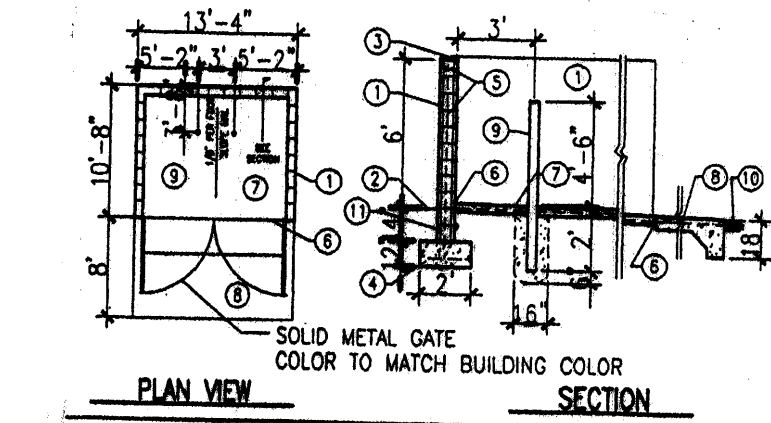
- (A) - PROPOSED LANDSCAPE AREA
- (B) - PROPOSED NEW ASPHALT PAVING
- (C) - REMAIN EXISTING CONC. CURBING
- M.C. = 5'X8' MOTORCYCLE PARKING SPACE

LEGAL DESCRIPTION:

Lot "4-A", Block Sixteen (16), of W.J. Wagner Subdivision, Albuquerque, New Mexico.

BENCHMARK REFERENCE:

ACS Station No. "19-J18R", Located at San Mateo Blvd. N.E. and Hannett Ave. N.E., (Elevation = 5227.995); T.B.M. as shown on the plan hereon.

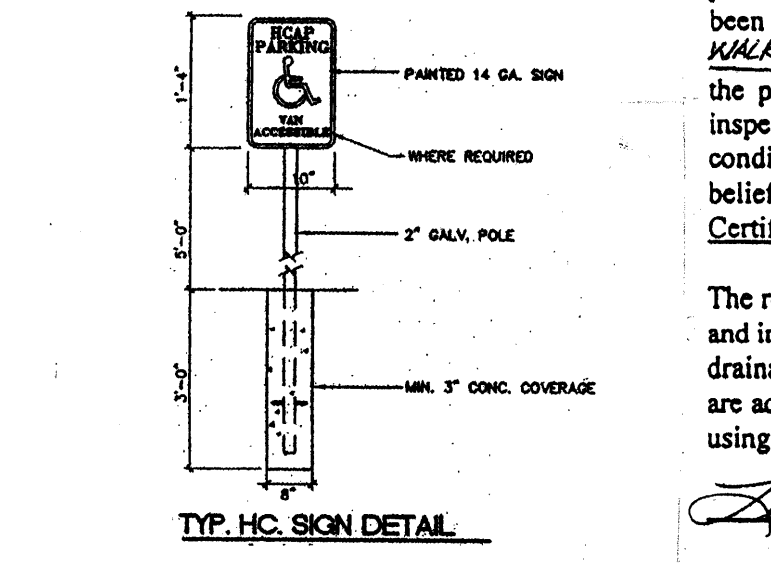


PLAN VIEW

- OK'D NOTES**
- 8" DIA. WALL WITH STUCCO SYSTEM OVER BUILDING PAPER, COLOR BY ARCHITECT.
 - FINISH GRADE.
 - 5% SLOPE SUDCO CAP.
 - 4" FA BASE CONC. @ BOTTOM OF FOOTING #4 @ 18" O.C. ACROSS BOTTOM OF FOOTING.
 - 2" FA BASE @ TOP INDOOR-OUT BLOSS BLOSS WALL. CONTINUOUS #4 BARS @ 32" O.C. VERTICAL. GROUT REINFORCED CILLS, GORUMALL @ 18" O.C. HORIZONTAL.
 - 1/2" EXPANSION JOINT MATERIAL.
 - 4" CONCRETE SLAB 3000 PSI 3/4" AGGREGATE WITH BARS 10X10 W/M.
 - 6" CONCRETE APPROX 3000 PSI 3/4" AGGREGATE WITH BARS 10X10 W/M W/ TURNDOWN EDGE.
 - 4" CONCRETE FILL PIPE 16" DIA. X 2'-8" DEEP CONC. FOOTING. PAINT TO MATCH STUCCO FINISH.
 - ASPHALT FINISH.
 - GROUT ALL CELLS SOLID BELOW GRADE, TYPICAL.

SECTION

Refuse Enclosure
Scale: Not to Scale



TYP. H.C. SIGN DETAIL

DRAINAGE CERTIFICATION

I, LEVI J. VALDEZ, NMPE #10-9893 of the firm

hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 08-28-08. The record information edited onto the original design document has been obtained by STEPHEN WALKER NMPS GLO of the firm WALKER WALKER. I further certify that I have personally visited the project site on 08-28-08, and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certification of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Levi J. Valdez
NMPE

Date 08-28-08

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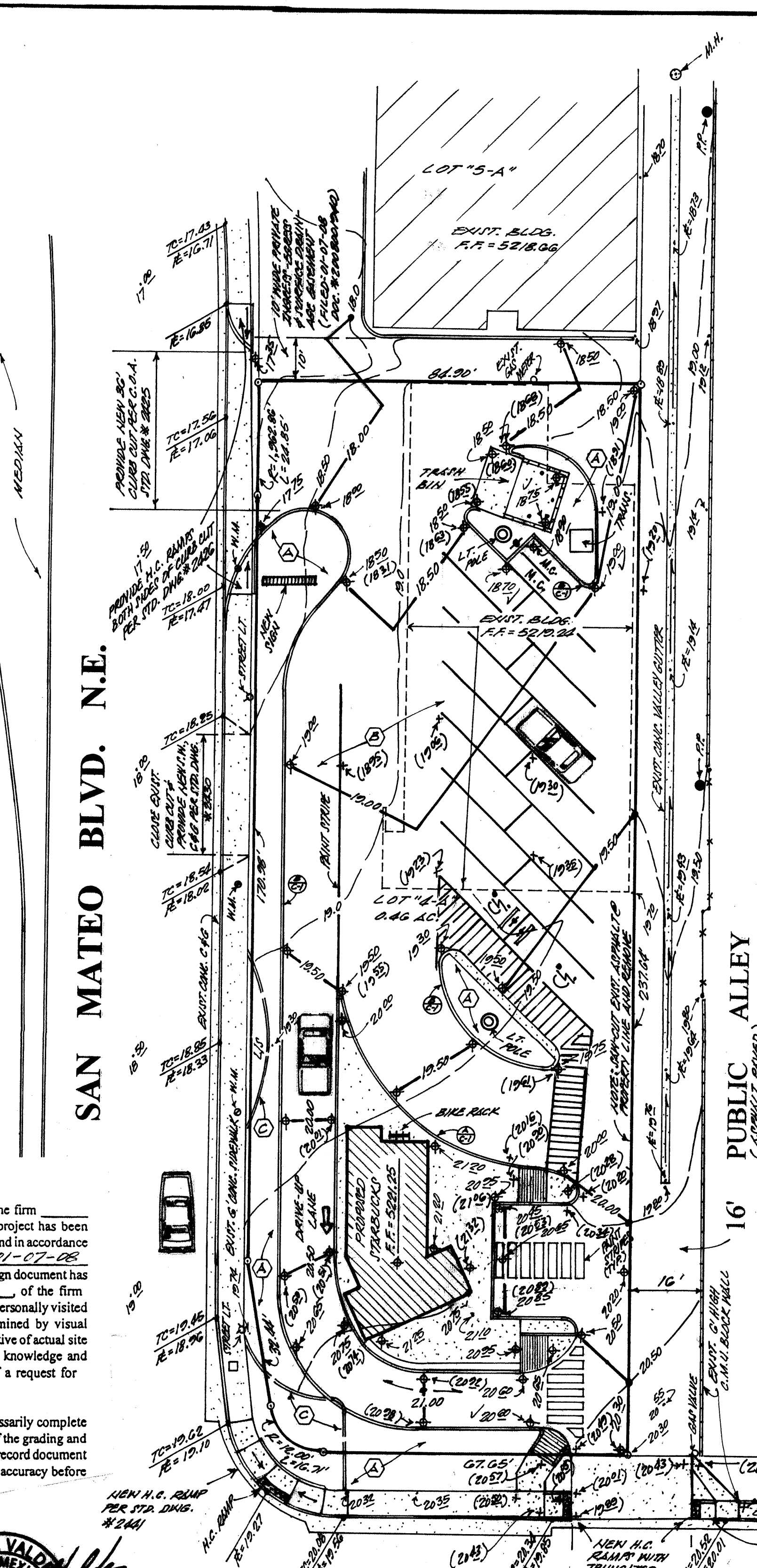
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HAINES AVE. N.E.

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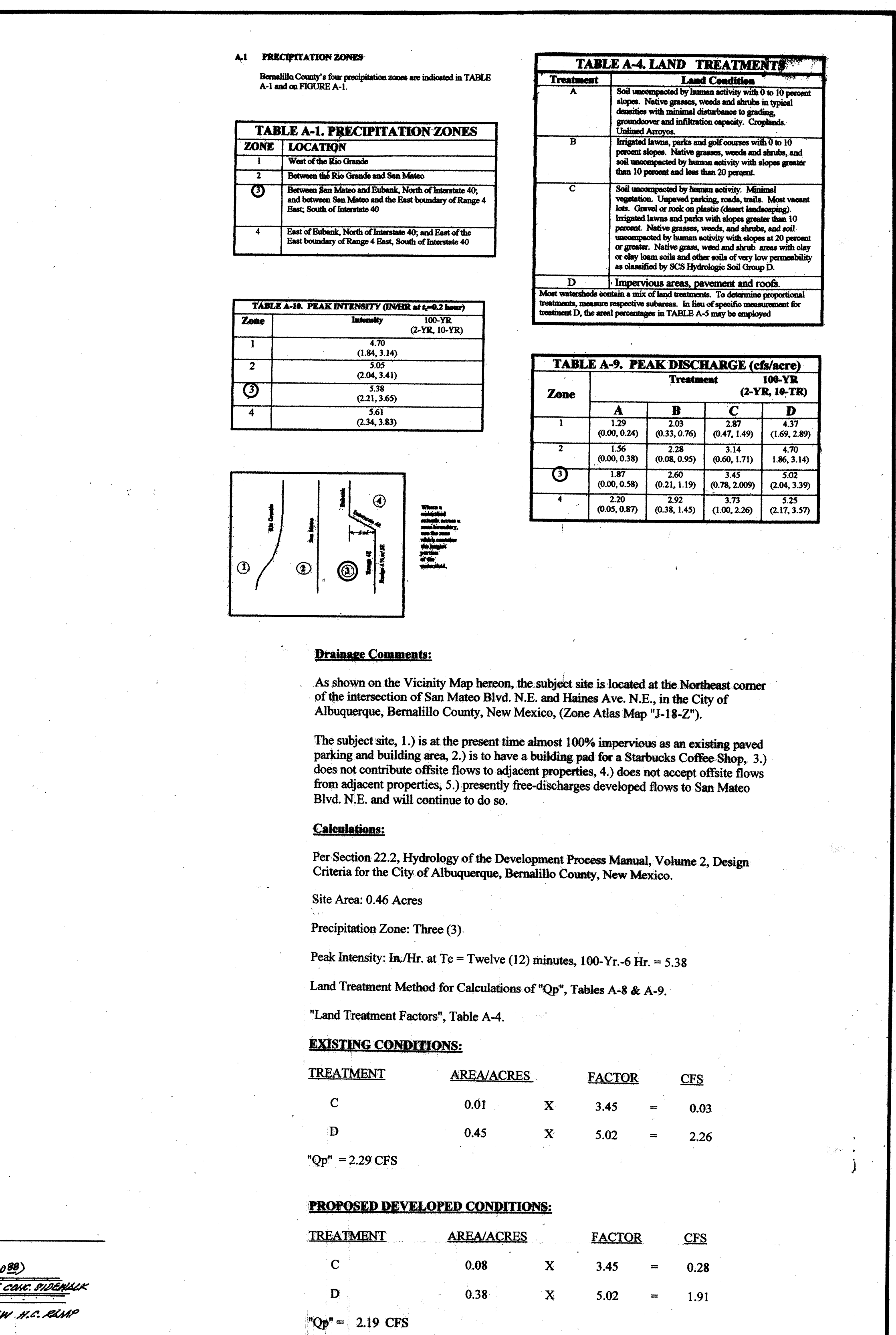
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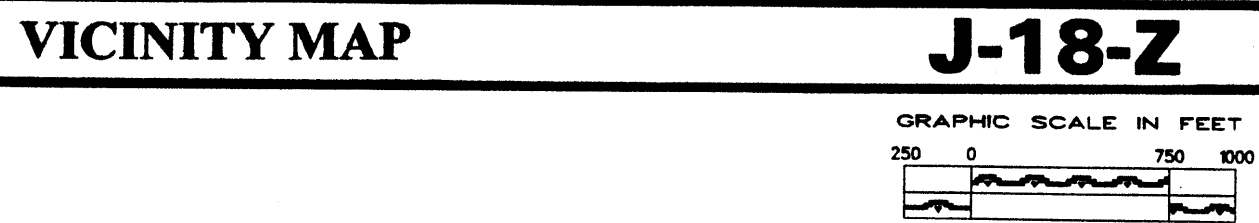
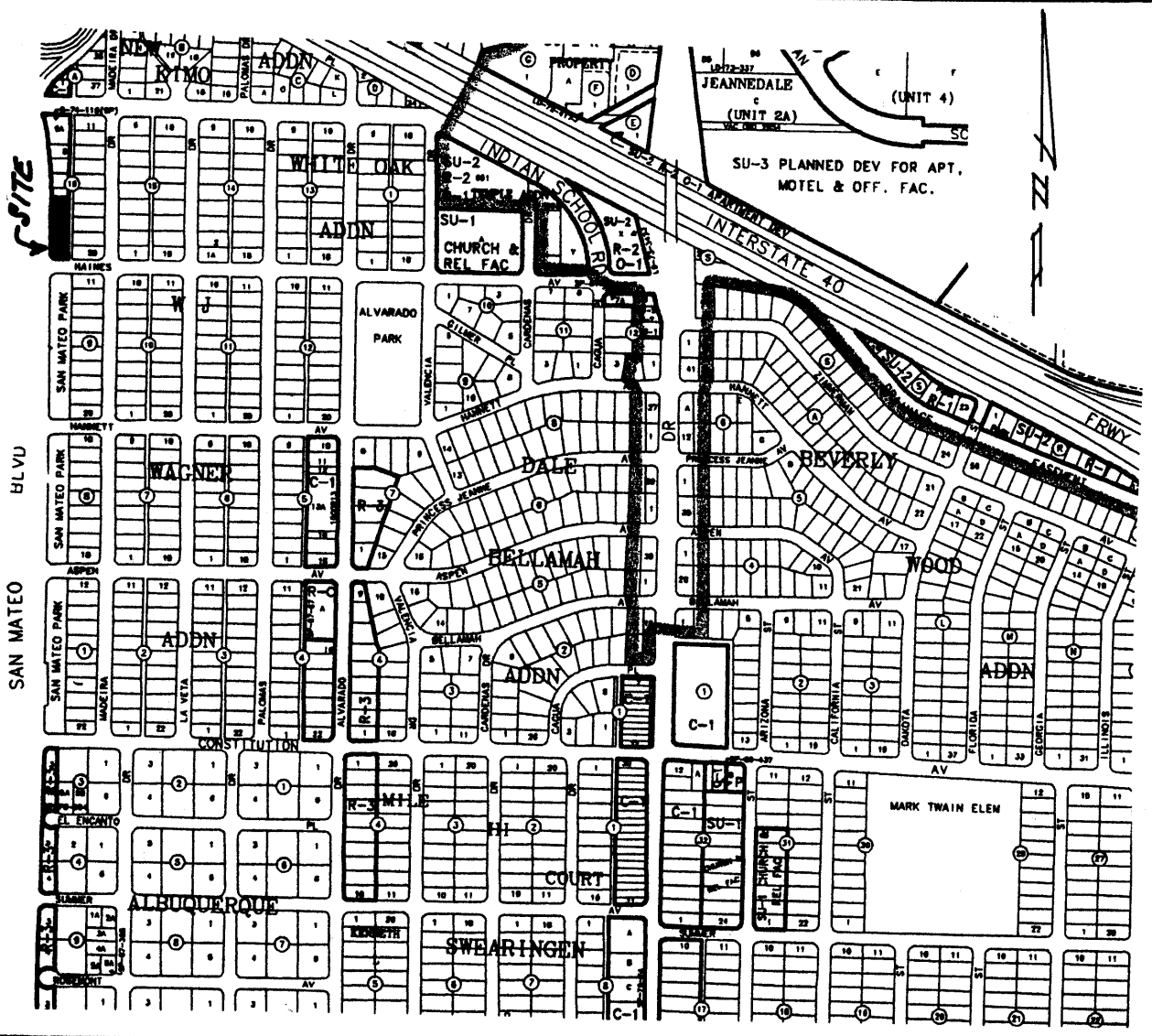
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EROSION CONTROL MEASURES:

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUNOFF DURING CONSTRUCTION. HE SHALL ENSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

- ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DICES, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SUBJECT SITE AND ENTERING ADJACENT PROPERTIES.
- ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SUBJECT SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREET RIGHT-OF-WAYS.
- THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT FROM PUBLIC STREETS THAT HAS BEEN ERODED FROM THE SUBJECT SITE AND DEPOSITED THEREON.

CONSTRUCTION NOTES:

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 260-1990 FOR THE ACTUAL FIELD LOCATION OF THE EXISTING SURFACE OF SUB-SURFACE UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN PUBLIC STREET RIGHT-OF-WAY(S) SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE/BERNALILLO COUNTY STANDARDS AND PROCEDURES.

GENERAL NOTES:

- NO PERMETER BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED PER THIS SURVEY OF THE SUBJECT PROPERTY.
- NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD OTHER THAN SHOWN HEREON.

LEGEND:

TOP OF CURB ELEVATION = $TC = 19.85$
CURB FLOWLINE ELEVATION = $LC = 19.33$
EXISTING SPOT ELEVATION = 19.15
EXISTING CONTOUR ELEVATION = 19.0
PROPOSED SPOT ELEVATION = 20.25
PROPOSED CONTOUR ELEVATION = 19.50
PROPOSED OR EXISTING CONCRETE SURFACE = $---$
EXISTING FENCE LINE = $---$

- PROPOSED LANDSCAPE AREA
 - PROPOSED NEW ASPHALT PAVING
 - REMOVE EXISTING CONC. CURBING
- M.C. = 5'x8' MOTORCYCLE PARKING SPACE

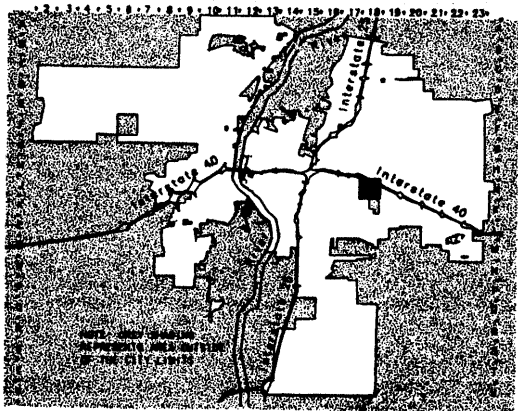
LEGAL DESCRIPTION:

Lot "4-A", Block Sixteen (16), of W.J. Wagner Subdivision, Albuquerque, New Mexico.

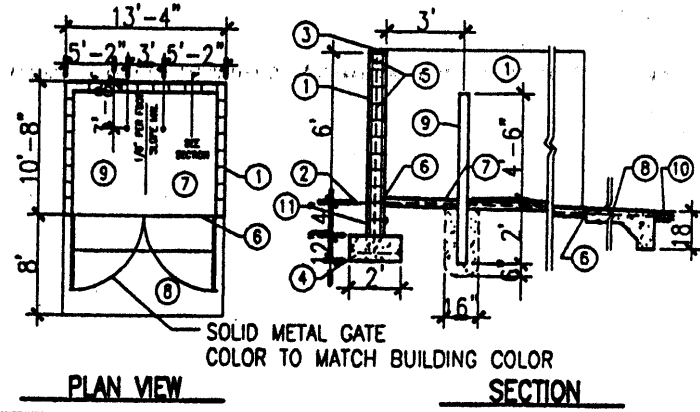
BENCHMARK REFERENCE:

ACS Station No. "19-J18R", Located at San Mateo Blvd. N.E. and Hannett Ave. N.E., (Elevation = 5227.995); T.B.M. as shown on the plan hereon.

UTILITY PRECAUTIONS
THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.



LOCATION MAP



PLAN VIEW

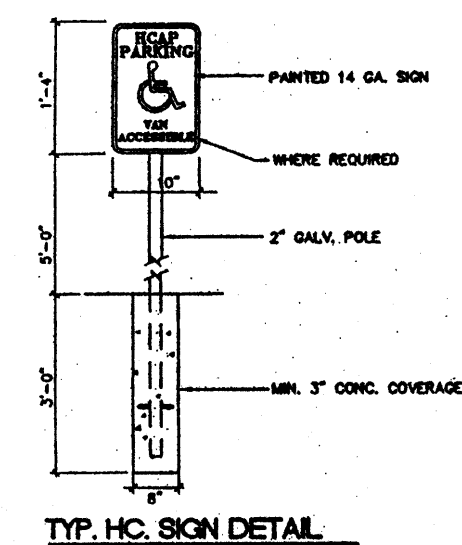
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OKAYED NOTES

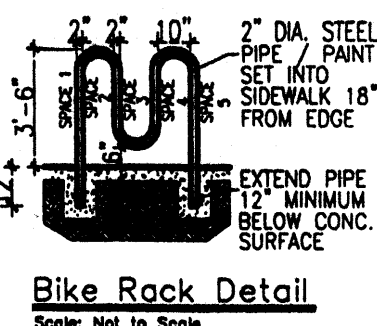
- 8" CHU WALL WITH STUCCO SYSTEM OVER BUILDING PAPER, COLOR BY ARCHITECT.
- FINISH GRADE.
- SLOPE STUCCO CHU.
- 4-1/2" BASE CONC. @ BOTTOM OF FOOTING IN 18" O.C. ACROSS BOTTOM OF FOOTING.
- 2-1/2" BASE @ TOP KNOCK-OUT BLOCK BAND SEAL. COMPANIES: 6" BASE @ 32" O.C. VERTICAL. GROUT FILL. 18" O.C. HORIZONTAL.
- 1/2" EXPANSION JOINT MATERIAL.
- 4" CONCRETE SLAB 3000 PSI 3/4" AGGREGATE WITH 818 - 10X10 W/M.
- 8" CONCRETE APRON 3000 PSI 3/4" AGGREGATE WITH 818 - 10X10 W/M 1/2" TURNDOWN EDGE.
- 4" CONCRETE FILL PIPE IN 18" O.C. 1/2" BASE CONC. STUCCO FINISH.
- ASPHALT PAVING GROUT ALL CELLS SOLID BELOW GRADE, TYPICAL.

Refuse Enclosure

Scale: Not to Scale



TYP. H.C. SIGN DETAIL



Bike Rack Detail

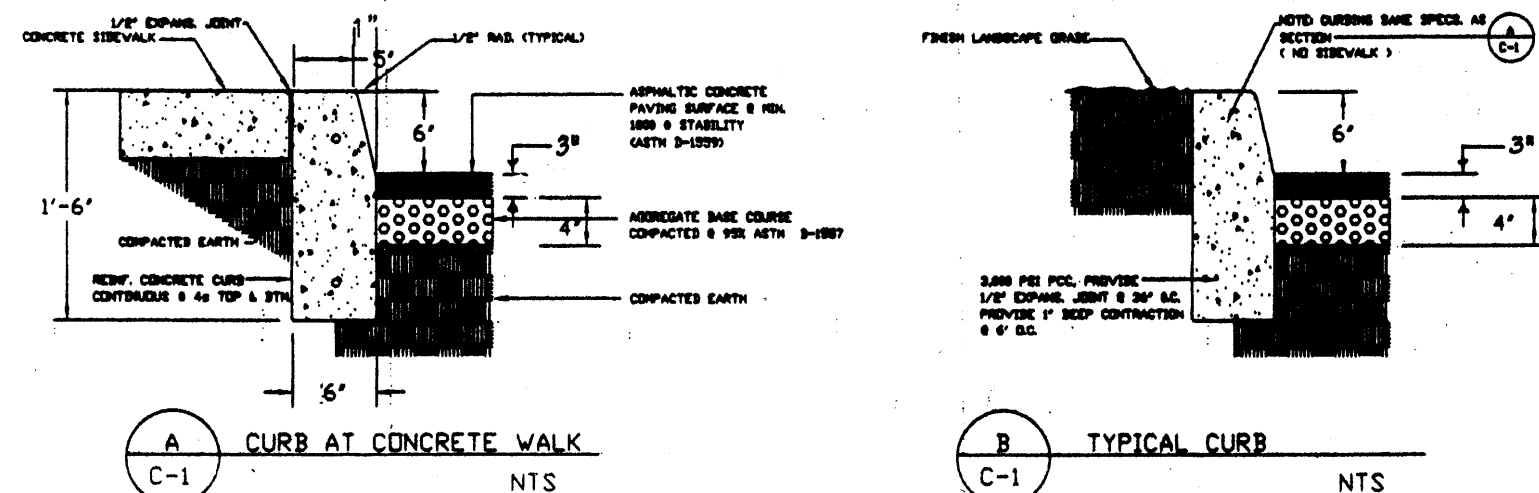
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NOTE: REMOVE EXISTING BUILDING AND ASPHALT PAVING WITHIN SUBJECT SITE AND REGRADE AND PAVE PER PLAN HEREON.

SAN MATEO BLVD. N.E.

HAINES AVE. N.E.

PUBLIC ALLEY
(ADJACENT BAYED)



CURB AT CONCRETE WALK

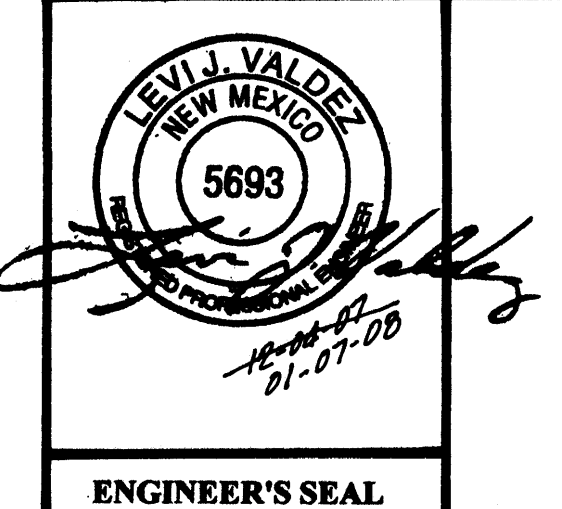
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TYPICAL CURB

NTS

NOTE:
OWNER(S) AND PROPRIETOR(S) OF LOT "4-A" & "5-A", BLOCK 16, W.J. WAGNER SUBDIVISION, (AS SHOWN ON THE PLAN HEREON).

SAN MATEO TIDMILL, CHOD, L.L.C.
(A NEW MEXICO LIMITED LIABILITY COMPANY)
STEVEN L. BOE, MANAGING MEMBER



A-1 PRECIPITATION ZONES

Bernalillo County's four precipitation zones are indicated in TABLE A-1 and on FIGURE A-1.

TABLE A-1. PRECIPITATION ZONES	
ZONE	LOCATION
1	West of the Rio Grande
2	Between the Rio Grande and San Mateo
3	Between San Mateo and Edmundo, North of Interstate 40; and between San Mateo and the East boundary of Range 4 East, South of Interstate 40
4	East of Edmundo, North of Interstate 40, and East of the East boundary of Range 4 East, South of Interstate 40

TABLE A-1B. PEAK INTENSITY (INCHES AT 2-4.5 HOURS)	
Zone	Intensity 100-YR (2-YR, 10-YR)
1	4.70 (1.84, 3.14)
2	3.05 (2.04, 3.41)
3	5.38 (2.21, 3.65)
4	5.61 (2.34, 3.83)

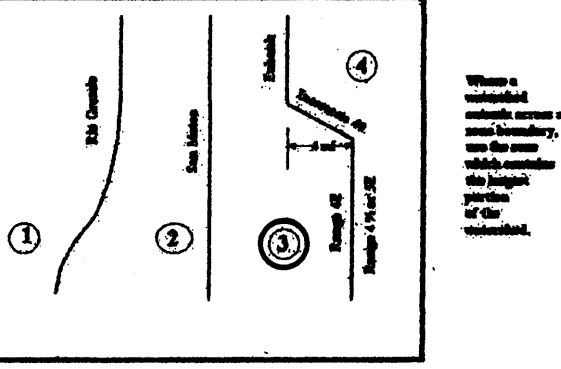


TABLE A-4. LAND TREATMENT	
Treatment	Land Condition
A	Soil uncompacted by human activity with 0 to 10 percent slopes. Native grasses, weeds and shrubs in typical densities with minimal disturbance to grading, groundwater and infiltration capacity. Crophands. Unfilled Arroyos.
B	Irrigated lawns, parks and golf courses with 0 to 10 percent slopes. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes greater than 10 percent and less than 20 percent.
C	Soil uncompacted by human activity. Minimal vegetation. Upgraded parking, roads, trails. Most recent lots. Gravel or rock on plastic (asphalt landscaping). Irrigated lawns and parks with slopes greater than 10 percent. Native grasses, weeds, and shrubs, and soil uncompacted by human activity with slopes at 20 percent or greater. Native grass, weed and shrub areas with clay or clay loam soils and other soils of very low permeability as classified by SCS Hydrologic Soil Group D.
D	Impervious areas, pavement and roofs.

TABLE A-9. PEAK DISCHARGE (cfs/acre)				
Zone	Treatment			
	A	B	C	D
1	1.29 (0.00, 0.24)	2.03 (0.33, 0.76)	2.87 (0.47, 1.49)	4.37 (1.69, 2.89)
2	1.56 (0.00, 0.39)	2.28 (0.08, 0.95)	3.14 (0.60, 1.71)	4.70 (1.86, 3.14)
3	1.87 (0.00, 0.58)	2.60 (0.21, 1.19)	3.43 (0.78, 2.009)	5.02 (2.04, 3.39)
4	2.29 (0.05, 0.87)	3.52 (0.38, 1.45)	5.25 (1.00, 2.26)	7.57 (2.17, 3.57)

Drainage Comments:

As shown on the Vicinity Map hereon, the subject site is located at the Northeast corner of the intersection of San Mateo Blvd. N.E. and Haines Ave. N.E., in the City of Albuquerque, Bernalillo County, New Mexico, (Zone Atlas Map "J-18-Z").

The subject site, 1.) is at the present time almost 100% impervious as an existing paved parking and building area, 2.) is to have a building pad for a Starbucks Coffee Shop, 3.) does not contribute offsite flows to adjacent properties, 4.) does not accept offsite flows from adjacent properties, 5.) presently free-discharges developed flows to San Mateo Blvd. N.E. and will continue to do so.

Calculations:

Per Section 22.2, Hydrology of the Development Process Manual, Volume 2, Design Criteria for the City of Albuquerque, Bernalillo County, New Mexico.

Site Area: 0.46 Acres

Precipitation Zone: Three (3)

Peak Intensity: In./Hr. at T_c = Twelve (12) minutes, 100-Yr.-6 Hr. = 5.38

Land Treatment Method for Calculations of "Qp", Tables A-8 & A-9.

"Land Treatment Factors", Table A-4.

EXISTING CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.01	X	3.45 = 0.03
D	0.45	X	5.02 = 2.26

"Qp" = 2.29 CFS

PROPOSED DEVELOPED CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.08	X	3.45 = 0.28
D	0.38	X	5.02 = 1.91

"Qp" = 2.19 CFS

*DECREASE = 0.10 CFS

A PROPOSED
DRAINAGE PLAN
FOR
STARBUCKS COFFEE CO.
SAN MATEO BLVD. N.E. AND HAINES AVE. N.E.
ALBUQUERQUE, NEW MEXICO
NOVEMBER, 2007

RECEIVED
JAN 17 2008
HYDROLOGY
SECTION